



Planning & Zoning Board Regular Meeting

Agenda

April 4, 2023 @ 6:00 pm

City Hall Commission Chambers
401 S. Park Avenue

welcome

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please note

Times are projected and subject to change.

-
1. **Call to Order**
 2. **Consent Agenda**
 - a. [Approval of the March 7, 2023 Meeting Minutes.](#) 1 minute
 3. **Public Comments (for items not on the agenda): Three minutes allowed for each speaker**
 4. **Public Hearings**
(Public participation and comment on these matters must be in-person.)
 - a. [SPR #23-03. Request of Mark Nasrallah](#) 10 minutes
Request of Mark Nasrallah for approval to construct a new, two-story, 5,555 square-foot, single-family home, located at 1034 Turner Road on Lake Bell, zoned R-1A.
 - b. [Request of Rollins College for: Final Conditional Use approval to maintain the existing 4-story Lawrence Center office building and to build a new 31,791 square foot Rollins Art Museum and a new 47,138 square foot Crummer Graduate School of Business building, on the properties at 200 E. New England and 203 E. Lyman Avenues.](#) 45 minutes
 5. **Action Items**
 6. **Non-Action Items**
 7. **Staff Updates**
 8. **Board Comments**
 9. **Upcoming Agenda Items**
 10. **Adjournment**



Planning & Zoning Board

agenda item

item type	Consent Agenda	meeting date	April 4, 2023
prepared by	Nicholas Lewis	approved by	John Harbilas, Allison McGillis
board approval	Completed		
strategic objective			

subject

Approval of the March 7, 2023 Meeting Minutes.

motion / recommendation

background

alternatives / other considerations

fiscal impact

ATTACHMENTS:

[PZ March 7 2023 Draft Meeting Minutes.pdf](#)



Planning & Zoning Board Regular Meeting Minutes

March 7, 2023 at 6:00 p.m.

City Hall | Commission Chambers
401 S. Park Ave. | Winter Park, Florida

Present

Present: Richard James, Melissa Vickers, Vashon Sarkisian, Jim Fitch, Alex Stringfellow, Michael Spencer, and David Bornstein. Also Present: City Attorney Dan Langley. Staff: Director of Planning & Zoning Jeff Briggs, Assistant Director of Planning & Zoning Allison McGillis, Senior Planner & Zoning Official John Harbilas, Planner I Nicholas Lewis, Planning Technician Aaron Hull, and Recording Secretary Mary Bush.

(1) Call to Order

Chairman Richard James called the meeting to order at 5:59 p.m.

(2) Consent Agenda

Approval of Minutes:

Motion made by Jim Fitch, seconded by David Bornstein to approve the February 7, 2023 meeting minutes.

Motion carried unanimously with a 7-0 vote.

(3) Public Comments (for items not on Agenda)

No one from the public wished to speak. The public hearing was closed.

(4) Public Hearings

- CU #23-03: Request of R. B. Equities, Inc. for Conditional Use approval to allow for the development of four two-story townhouses at 730 Minnesota Avenue, zoned R-3.

Mr. Briggs provided the Board a brief summary of the request. He presented to the Board an area map and noted that the property consisted of three significant live oak trees located toward the center of the property, which presented a design challenge to the applicant. He explained that the applicant met with staff on the site of the property several times and they developed a plan that would work for the applicant, preserve the live oak trees, and meet code requirements. He added that the plan would also provide the applicant full use of their maximum floor-area-ratio (FAR) and the ability to build four units comprising of a duplex and two single-family homes. Mr. Briggs noted that the City is flexible on the setbacks due to the design challenge with the live oak trees, so the applicant was able to request small variances to come closer to the property's side setbacks and the street-side setback. He also indicated that the plan meets storm water retention requirements and the applicant was provided some flexibility with regard to the swale requirements due to the root structure of the live oak trees.

Staff recommendation was for approval with the following conditions:

- That the demolition contractor meet with the urban forestry staff on-site prior to permit issue and prior to the start of demolition to outline the procedures for protection of the trees and operation standards during demolition;
- That the foundation design and implementation for the building sides closest to the trees be comprised of a pier and lenti system/grade beam spanning from pier footing to pier footing at the base of the wall to minimize impact upon the tree root systems; and
- That a waiver on complete compliance with storm water retention may be provided if deemed in the best interest to preserve the tree root systems.

The Board requested clarification on the existing structures on the lot and asked what would occur if the live oaks did not survive.

The applicant's representative, Attorney Becky Wilson of 215 N. Eola Drive, Orlando, FL 32801 addressed the Board. Attorney Wilson let the Board know that she and the applicant's architect, Randall Slocum was available to answer any questions.

No one from the public wished to speak. The public hearing was closed.

The Board briefly expressed their favor for the application.

Motion made by David Bornstein, seconded by Jim Fitch, for approval to allow for the development of four two-story townhouses at 730 Minnesota Avenue, zoned R-3 with the following conditions:

- That the demolition contractor meet with the urban forestry staff on-site prior to permit issue and prior to the start of demolition to outline the procedures for protection of the trees and operation standards during demolition;
- That the foundation design and implementation for the building sides closest to the trees be comprised of a pier and lentil system/grade beam spanning from pier footing to pier footing at the base of the wall to minimize impact upon the tree root systems; and
- That a waiver on complete compliance with storm water retention may be provided if deemed in the best interest to preserve the tree root systems.

Motion carried unanimously with a 7-0 vote.

- CU #23-02: Request of Hill/Gray Seven LLC for Conditional Use Approval to develop a 3,331 square-foot bank with drive-thru, and an 11,000 square-foot office building for the property located at 900 & 950 N. Orlando Avenue, zoned C-3.

Mr. Harbilas provided the Board a brief summary of the request. He presented to the Board an area map of the property. He noted that the property was located on the southeast side of the intersection of Lee Road and U.S. 17-92 and was initially a part of the Whole Foods Plaza masterplan about seven years ago. He also noted that the plan had a total of 255,610 square feet of master development entitlements, which included 14,331 square feet for the applicant's proposed bank/office. He added that in exchange for the Lee Road extension that passes through the development, the City allowed for the FAR that would have been generated from the land to be used as part of the future development for the masterplan. Mr. Harbilas presented and reviewed the applicant's initially submitted site plan for the project, which had been previously reviewed by the city's Technical Advisory Committee (TAC). He noted that staff requested the applicant make adjustments to the perimeter drive aisles to pull the buildings closer to the road and eliminate some of the perimeter parking to create a more urban feel. He also noted that staff provided the applicant with two alternative site plan designs that encompassed what staff was requesting. He indicated that the applicant came back with a revised site plan that meets the setback and FAR requirements, preserves certain live oak trees on the eastside of the property, and meets the minimum parking requirements. He also indicated that the applicant was insistent on having a total of 75 parking spaces, although it significantly exceeds the minimum requirements of 57 parking spaces, and a 20-foot drive aisle for the west side, although code only requires a 12-foot drive aisle. He added that staff confirmed with the fire department that the drive aisle was not needed for fire access. He then briefly reviewed the proposed elevations for the project.

Staff recommendation was for approval of:

1. A revised site plan consistent with "Staff Alternative #1";
Or
2. The Applicant's proposed site plan subject to reducing the west drive aisle width to 14 feet, installing a 3 foot decorative screen wall to hide the west drive aisle, and provide an enhanced landscape buffer with both hedges and canopy trees along North Orlando Avenue.

The Board inquired about the following:

- location of the bank and the setbacks of the buildings on the applicant's revised plan,
- whether or not the applicant's revised site plan meets all setback requirements,

- if there would be any additional architectural reviews if the applicant's revised site plan was approved,
- clarification of the maximum number of allowed parking spaces,
- and why the applicant wanted 75 parking spaces.

The applicant's representative, Attorney Becky Wilson of 215 N. Eola Drive, Orlando, FL 32801 addressed the Board. Attorney Wilson spoke on staff's recommendations, noting that staff's alternative #1 site plan's circulation does not work with the applicant's requirements and the alternative #2 site plan does not provide the 20-foot drive aisle desired by the applicant. She reviewed the applicant's revised site plan and discussed the parking needed for employees, the other developments in the area, and the applicant's proposed landscaping buffer.

The applicant's engineer, Bob Ziegenfuss of 708 E. Colonial Drive, Orlando, FL 32803 addressed the Board and discussed a turn analysis that was completed on behalf of the applicant, the proposed 20-foot drive aisle and knee wall, and the development trend of the intersection of Lee Road and U.S. 17-92.

Brief discussion ensued with Mr. Ziegenfuss about his concern for the width for the drive aisle involving fire apparatus, the turning radius for the drive aisle, meeting setbacks for all buildings for the project, pedestrian connectivity, the façade of the bank building, the reason for the frontage road, and including decorative features for the gateway. Chairman James confirmed with staff that the fire department had no issue with staff's alternative plans that did not include the 20-foot drive aisle.

The applicant, Drew Hill with Hill/Gray Seven LLC addressed the Board and spoke on possibly losing the tenants for the project if the buildings were required to be pushed forward with no circulation. Brief discussion ensued with the Board and Mr. Hill regarding reducing the drive aisle to 14 feet, the amount of space available on the corner for the project, designing a wall and water feature for the frontage, adding greenspace, and the reason for the requested 75 parking spaces.

Attorney Wilson addressed the Board and noted that the applicant was willing to reduce the 20-foot drive aisle to 16 feet and enhancing the landscape for the frontage. Brief discussion then ensued regarding design guidelines, minimum transparency requirements, the parapet and ACM wall paneling of the bank building, and massing requirements. The Board shared concerns about the elevation designs for the bank and expressed desire to have their input addressed in revisions to the elevations. Mrs. McGillis advised the Board that they could make a condition of approval that the site plan could go in front of the City Commission, but the final elevations would have to go back to the Planning & Zoning Board for final approval. Attorney Wilson expressed that the suggestion made by Mrs. McGillis would not work for the applicant. Brief discussion continued regarding the location of the bank in relation to the frontage.

No one from the public wished to speak. The public hearing was closed.

Motion made by Alex Stringfellow, seconded by Michael spencer, for approval to develop a 3,331 square-foot bank with drive-thru, and an 11,000 square-foot office building for the property located at 900 & 950 N. Orlando Avenue, zoned C-3 with the following conditions:

- The west drive aisle be reduced to 16ft
- A decorative screen wall be added along the west drive aisle to screen from view
- An enhanced landscape feature provided at the NW intersection which is compatible with the SW Whole Foods plaza corner
- No more than 50% of a single building material (excluding glass) is to be used on each face of the building façade.

Motion carried with a 6-1 vote. (In Favor: Richard James, Vashon Sarkisian, Alex Stringfellow, Michael Spencer, Melissa Vickers, and David Bornstein. Opposed: Jim Fitch.)

Chairman James called for a recess at 7:25pm and reconvened the meeting at 7:29pm.

- ZTA #23-05: Request of the City of Winter Park for an Ordinance to extend the expiration of conditional use and variance approvals.

Mr. Briggs provided the Board a brief summary of the request. He noted that variance approvals expire after one year and conditional use approvals expire after two years. He also noted that after the expiration all previous work done for the approval process must be redone to reinstate the approval. He expressed that staff

recommended extending the expirations one additional year. He indicated that the Board of Adjustment had recently discussed the request and agreed with the one-year extension recommendation.

Staff recommendation was for approval.

The Board inquired if there was any caveat to the extension such as anything being changed during the approval period and if there was language in the code for substantial changes not being allowed with the extensions.

No one from the public wished to speak. The public hearing was closed.

Motion made by Melissa Vickers, seconded by Michael Spencer, for an Ordinance to extend the expiration of conditional use and variance approvals.

Motion carried unanimously with a 7-0 vote.

(5) Action Items

No action items.

(6) Non-Action Items

No non-action items.

(7) Staff Updates

No staff updates.

(8) Board Comments

No Board comments.

(9) Upcoming Agenda Items

There was no discussion on upcoming agenda items.

(10) Adjournment

Meeting adjourned at 7:36 p.m.

/s/ Recording Secretary Mary Bush



Planning & Zoning Board

agenda item

item type Public Hearings (Public participation and comment on these matters must be in-person.)	meeting date April 4, 2023
prepared by Nicholas Lewis	approved by John Harbilas, Allison McGillis
board approval Completed	
strategic objective	

subject

SPR #23-03. Request of Mark Nasrallah

item list

Request of Mark Nasrallah for approval to construct a new, two-story, 5,555 square-foot, single-family home, located at 1034 Turner Road on Lake Bell, zoned R-1A.

motion / recommendation

Staff recommendation is for approval.

background

Mark Nasrallah, on behalf of the homeowners Daryl and Ashlei Bush, is requesting approval to construct a new, two-story, 5,555 square-foot, single-family home at 1034 Turner Road on Lake Bell. The property is zoned R-1A and the unsubmerged portion of the property is 16,855 square feet in size. The proposed impervious lot coverage of 7,152 square feet is 42% of the total lot, which is under the maximum 50% as the code allows. The maximum Floor Area Ratio (FAR) for properties greater than 12,500 square feet in size is 35% or 5,000 square feet, whichever is greater. The applicant is proposing a 5,555 square-foot home which equates to a FAR of 33%, meeting this requirement.

Lakefront Review Criteria:

Tree Preservation

The purpose and intent of the lakefront lots section of the code states that existing trees shall be preserved to the degree reasonably possible. There are no trees being removed as part of this request; thus, the applicant meets this requirement. Further, the applicant designed the swales to maintain a 15-foot buffer from any existing canopy trees on the lot.

View from the Lake

The code direction is to minimize the height and extent of stem walls or retaining walls facing the lake. Generally, the policy does not permit walls/swimming pool decks facing the lake in excess of 3-feet in height. This plan complies with that provision. The issues that are typically dealt with about grades and pool decks/retaining walls are not present in this case because the lot is relatively flat, sloping from 92-feet in the front of lot to the 88.6-foot ordinary high-water line. The pool and pool deck will be 2.5-feet above grade.

View of Neighbors

The code direction is to minimize the degradation of traditional views across properties by new houses, additions, second-story additions, etc., alongside property lines toward the lake that may block traditional views. Along this portion of Turner Road, the houses are minimalist-traditional style originally constructed towards the street and all of their front and lakefront setbacks are roughly in line. The average lakefront setback of the neighboring lakefront homes is 95-feet. This proposed home will have a lakefront setback of 68.6-feet, which does not meet the average.

However, the average is uniquely limiting in this case because the houses were all built roughly in line. The code, therefore, limits the buildable area to the mold of the existing home, making construction of a larger home on a lakefront as we would traditionally expect, impossible. The applicant seeks to go beyond the average with the understanding that they are the first to redevelop along the street. Staff believes that the applicant has successfully provided a design that limits any visual impact of the neighbors, despite the lesser setback. Design elements such as traditional increased side setbacks for the second-story, stepping the second-story in further towards the lakefront, and then limiting the furthestmost portion of the home towards the lake as single-story, help to mitigate any potential infringement on the traditional views by the neighbors.

Stormwater Retention

The code requires the retention of stormwater. The amount of impervious surface on the lot determines the needed size/depth of the retention. In this case, the applicant is proposing four swale retention areas throughout the property, which meet the required stormwater retention.

Summary

Overall, the plans meet the intent of the lakefront review criteria. The proposal also meets all single-family code requirements. Although the proposed home does not meet the lakefront average, this is the first house on the street to redevelop and the applicant

has created an effective design that limits any infringement on the lakefront views of the neighbors.

[alternatives / other considerations](#)

[fiscal impact](#)

ATTACHMENTS:

[1034 Turner Rd - Area Map.pdf](#)

ATTACHMENTS:

[1034 Turner Rd - Aerial Map.pdf](#)

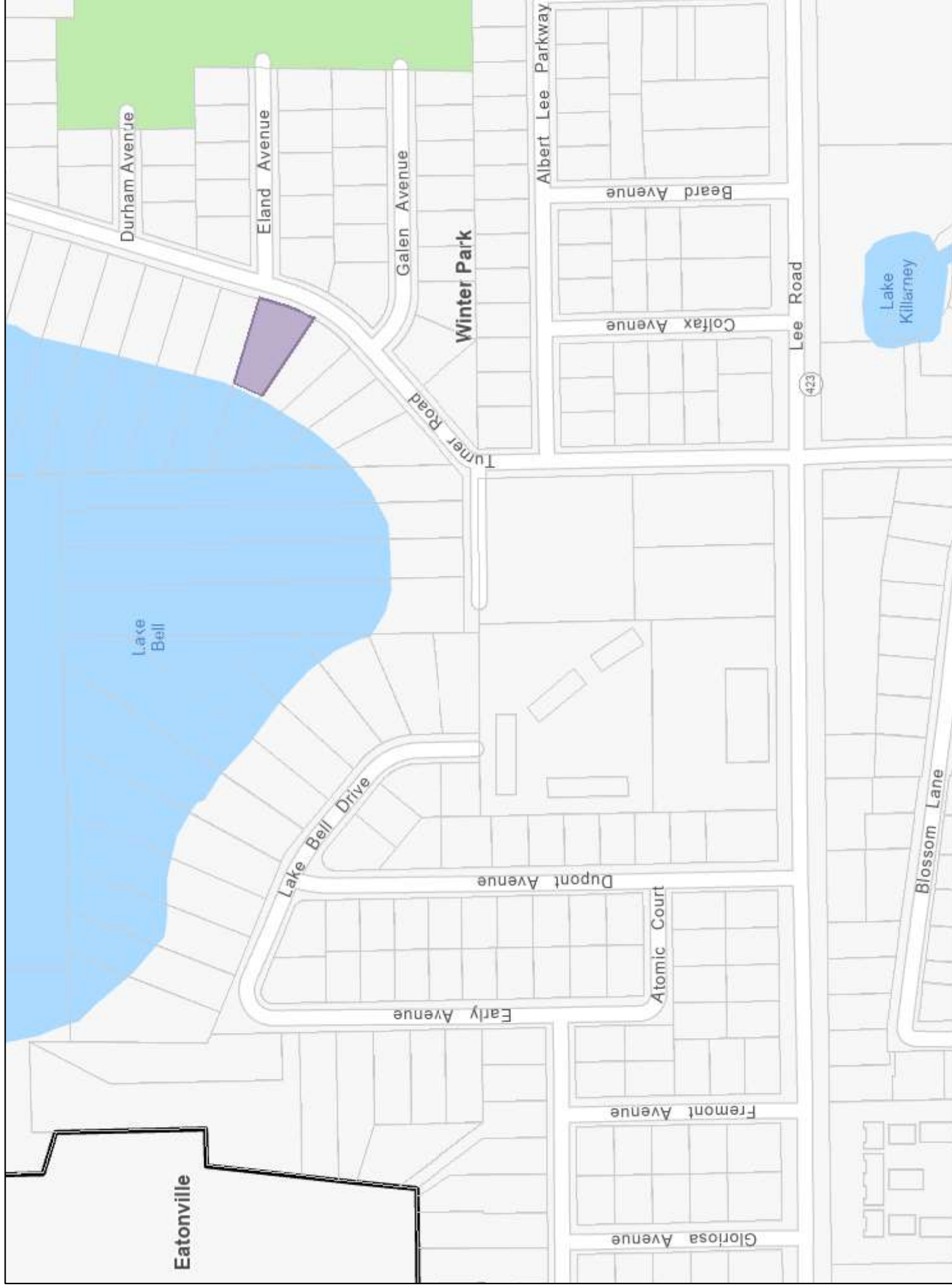
ATTACHMENTS:

[1034 Turner Rd - Lakefront Table.pdf](#)

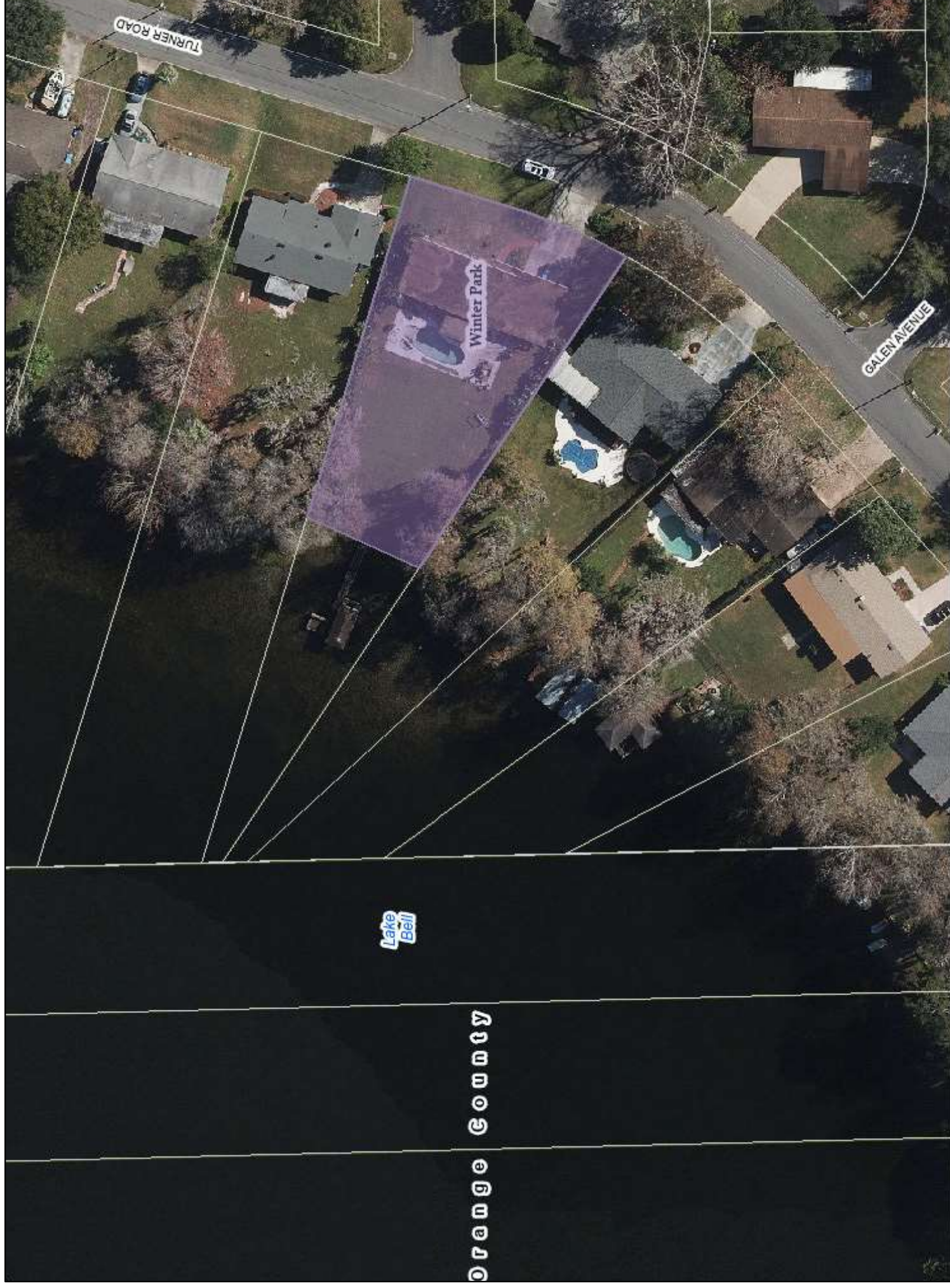
ATTACHMENTS:

[1034 Turner Rd Plan Set.pdf](#)

1034 Turner Rd - Area Map

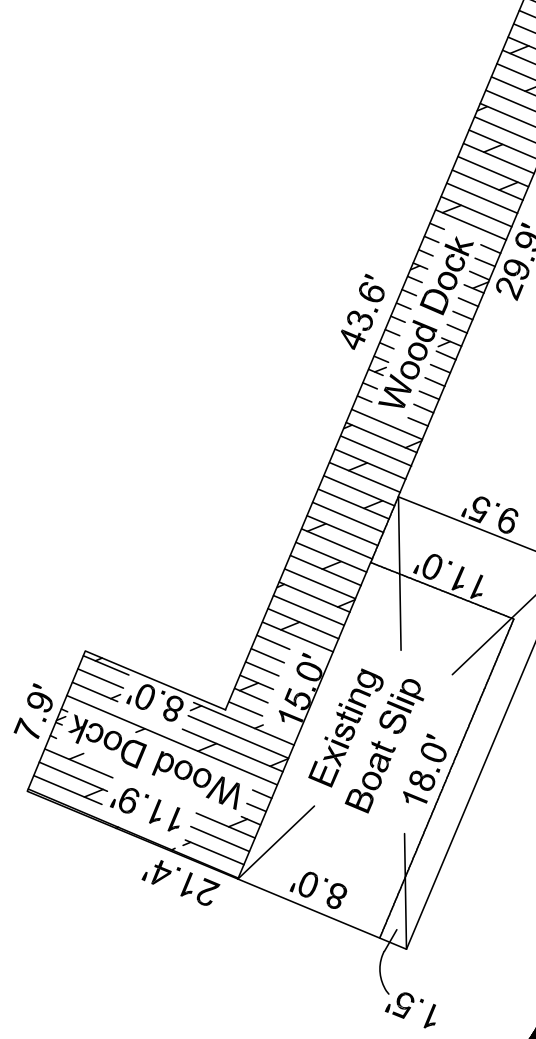


1034 Turner Rd - Aerial Map



Lakefront Site Plan Review: 1034 Turner Rd

	R-1A Requirements	Proposed
Zoning	N/A	R-1A
Future Land Use	N/A	SFR
Lot Width	75 ft.	110 ft.
Lot Depth	N/A	176.5 ft. (avg.)
Lot Area	8,500 sf	16,855 sf
Floor Area Ratio	35% (5,899 sf)	33% (5,555 sf)
Impervious Lot Coverage	50% (8,428 sf)	42% (7,152 sf)
Front Setback	26 ft.	26 ft. 10 in.
Side Setbacks	16.5 ft./22 ft.	16.5 ft./22 ft.
Lakefront Setbacks	95 ft. (avg.)	68.6 ft.
Pool Lakefront Setback	50 ft.	50 ft.



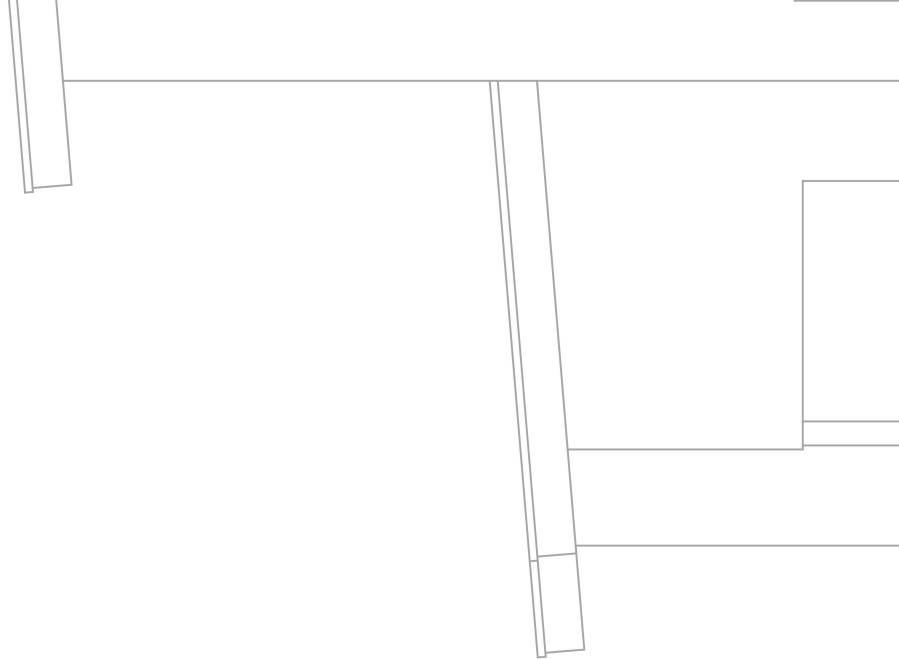
50' SETBACK LINE

Normal High Water Line
Elev. = 89.4' (NAVD '88)
(Per Orange County Lake Facts Sheet)

Witness Corner
Fnd. 1/2" Iron Rod
(No Identification)

Cypress
(15")
6.68

6.68



BELOW

FIRST FLOOR BELOW





Planning & Zoning Board

agenda item

item type Public Hearings (Public participation and comment on these matters must be in-person.)	meeting date April 4, 2023
prepared by Jeffrey Briggs	approved by Allison McGillis, Jeffrey Briggs
board approval Completed	
strategic objective	

subject

Request of Rollins College for: Final Conditional Use approval to maintain the existing 4-story Lawrence Center office building and to build a new 31,791 square foot Rollins Art Museum and a new 47,138 square foot Crummer Graduate School of Business building, on the properties at 200 E. New England and 203 E. Lyman Avenues.

motion / recommendation

Staff Recommendation is for approval of the Final Conditional Use subject to a reduction in the western museum sign size from 400 sq. ft. to 200 sq. ft., a suggested reduction in the Museum parapet height to 1 foot, a 14-foot setback for site improvements from the triple oaks and setbacks areas confined to at-grade landscape/hardscape.

background

Rollins College owns the 2.37 acres at 200 E. New England and 203 E. Lyman Avenues, which is the entire block bounded by New England, Interlachen, Lyman and Knowles Avenues. There is an existing 4-story Lawrence Center office building at the corner of New England and Knowles Avenues (which is to remain as-is) and a 2-story College office building at the corner of Lyman and Knowles Avenues (which is to be demolished).

In March 2020 the City Commission approved the following actions:

1. Changes to the Comprehensive Plan future land use map and Zoning map for the Lawrence Center block from the existing Office (O-1) designation to an Institutional (PQP) designation, in order to permit additional college buildings, and
2. Preliminary Conditional Use approval which retains the existing 4-story Lawrence Center office building, demolishes the existing 2-story College office building and adjacent drive-thru tellers and provides preliminary approval to build a new 3-story, 30,766 square foot, Rollins College Art Museum and a new 3-story, 77,189 square foot Crummer Graduate School of Business.

Prior Approvals: Comp. Plan FLU and Zoning Map changes

These properties, historically, were privately held (Winter Park Federal Savings & Loan) until their acquisition by Rollins College in 1993. The 4-story Lawrence Center office building (at the New England/Knowles corner) has been predominately privately leased office space, including a bank with drive-thru tellers and additionally the 2-story Pioneer office building (at the Knowles/Lyman corner) has been used as the business offices for the Hamilton Holt school. As such, the existing Office zoning designations fit the previous uses of the property.

The City Commission approvals from 2020 now allow the buildings on this block to be predominately College related functions of the Rollins College Art Museum and Crummer Graduate Business School. The changes then approved to the Comp. Plan FLU map and Zoning Map match the land use designations that exist on the Rollins College campus, which is Institutional (PQP).

A Development Agreement (Community Development Agreement) was also approved by the City Commission. The Agreement limited the total building size (floor area ratio) to 150% versus the otherwise permitted floor area ratio of 200% for Institutional (PQP) properties within the Central Business District. Thus, this 2.37-acre block could potentially hold up to a maximum of 154,856 square feet at the 150% floor area ratio.

The existing Lawrence Center office building (39,747 sq. ft.) and proposed Rollins Art Museum (39,791 sq. ft.) and Crummer Business School (47,138 sq. ft.) total cumulatively to 127,285 sq. ft. which is a 123% floor area ratio, per the numbers on the applicant's plan submittals. *Note that the size of the Crummer Business School has been significantly reduced from the 2020 approval of 77,189 sq. ft to the 2023 submittal for 47,138 sq. ft.*

Preliminary Conditional Use Approval

The Preliminary Conditional Use approval granted in 2020 was made subject to conformance to a specific site plan with specific setbacks indicated. Those setbacks were a minimum of a 25-foot setback from the adjacent streets in order to achieve compatibility with the existing street setback of the Congregational Church, Villa Siena Condominium, Alford Hotel, the Residences condominium and All Saints Episcopal Church.

In essence, the Preliminary Conditional Use approval provided Rollins College with the entitlements for these two new facilities of a Museum and Graduate Business school.

The Preliminary Conditional means that the final exterior architectural design, site development plans and landscape plans come back to the Planning and Zoning Board and City Commission as part of a Final Conditional Use approval.

Final Conditional Use Submittal

The plan package submitted for this Final Conditional Use request contains all of the plan information as required and for the most part is consistent with the site plan approved

by the City Commission in 2022.

The first part of the Final Conditional Use review is for the new 2-story, 47,138 square foot Crummer Graduate School of Business. The growth in the Crummer School will allow, as the floor plans indicate, administration and facility offices, classrooms for teaching and learning, meeting rooms, an auditorium, and ancillary facilities.

From a site plan and architectural image perspective, the proposals for the Crummer Business school are consistent with the preliminary conditional use approval. The size, height and scale are in keeping with the context of the surroundings. The architectural styling continues the flavor of the college campus with a Mediterranean influenced image.

On the other street fronts for the Crummer Business School building, it meets the required 25-foot street setbacks. Setbacks are areas that do not have structures or improvements other than landscaping or hardscaping with the exception of any stairs leading to/from a building.

The second part of the Final Conditional Use review is for the Rollins College Art Museum. One change to the approved site plan is linked to the goal to create an open space pedestrian courtyard/plaza area similar to the courtyard/plaza at the Alford Hotel. The creation of this courtyard/plaza open space of green-scape and hardscape on the Interlachen/New England corner also important to achieves the preservation of the three major live oak trees at the New England/Interlachen corner, as a focal point of the pedestrian plaza/courtyard.

Moving the Museum further away from the New England/Interlachen corner required the Museum building to be located closer (10-foot setback) to New England Avenue than originally anticipated. From the staff's perspective, having the Museum closer to New England Avenue is a positive change. First it engages the street and pedestrian travel for guests at the Alford Inn. Guests at the Alford Inn will be walking past the new Museum which helps to promote the City's brand as the 'city of arts and culture' and will also hopefully engage visitors to visit the museum thereby expanding and promoting increased visitor numbers and programming at the museum. Second, it is difficult to conclude that a 10-foot setback is too close to the street when that is the exact same street building setback as the Lawrence Center office building.

From an architectural image perspective, the challenge with any Museum is that museum gallery or theatre space cannot have windows which creates an architecture image challenge of solid exterior façade/walls needed for gallery and theatre space (similar to the Morse Museum) versus the visual desire for windows to break up a façade and provide exterior architectural appeal. This Museum design hopes to break up some of that stone panel mass on the New England Avenue side by having glass window elements

on the first-floor level opposite the pedestrian orientation along the street. The design makes the stone panel mass somewhat less imposing on the Interlachen Avenue side due to the setback distance back from Interlachen Avenue, some window penetrations on that façade and the triple live oak tree visual screening on the corner.

The building height to the roof level of the Museum is 42.5 feet and to the top of the parapet is 47 feet. For context this 2-story Museum will be 8 feet lower than the adjacent 4 story Lawrence Center office building. The 2-story Museum is visibly (with parapet) 10-feet taller than the 2-story Crummer Business School at 37 feet of visible height. To the degree that some height could be reduced from the parapet, would make the two building heights more comparable. The rooftop mechanical on both buildings has screening around those facilities so the parapet's primary purpose is rain water control.

Variance Requests

One variance is for the size of the major Museum wall sign on the New England Avenue frontage from the maximum allowable 50 sq. ft. to a sign at 400 sq. ft. Everyone recognizes the value of rotating signage to highlight new displays and offerings at the museum. One often sees temporary banners on Museum walls highlighting the current exhibits. The façade has one smaller display sign or banner display area of 64 sq. ft. which is minor variance and the larger sign or banner display area of (20 x 20) at 400 sq. ft. The signs/banner displays have frames around them which have LED lighting within the frame structures, so the signs are illuminated but not backlit or electronic. Individual exhibit banners will be displayed and rotated seasonally.

The issue is context for the scale of the larger sign/banner display. For comparison the largest size pole/pylon signs allowed on Orlando/Aloma/Fairbanks Avenues are 100 sq. ft. The billboard located at 1613 Lee Road on a four-lane arterial State highway is a similar 400 sq. ft. These conditional use requests are often a question of balancing the size and scale of projects with the context of their location. It is 'art work' but it also is a billboard sized sign at 400 sq. ft. across the street from the Congregational Church.

The second variance is to construct student seating (concrete stands) within the required setback area between the Crummer building and the sidewalk along Interlachen Avenue. A setback is the distance from the property line in which no structures or improvements are built that is typically either landscape area or hardscaping. One can build a wall along the street property line up to 3-feet in height. This concrete seating structure is 5 feet to the top of the concrete and 2-feet of wood (seat back) for 7-feet of visual vertical dimension. The staff is not comfortable with what will be visually, a 7-foot tall wall along the Interlachen sidewalk.

Project Technical Plans and Infrastructure

Included in the submissions are the detailed technical plan submissions involving storm

water retention, site lighting, fire and handicapped access, sidewalk details, landscaping, tree preservation, street scaping and a host of other technical details. The various city departments have provided comments and those have been resolved or addressed in conditions of approval.

Parking Analysis

The site will also hold a small parking lot of 30 spaces. This is to provide opportunities for convenient accessible handicapped parking, quick service deliveries and other special parking needs. As agreed upon for the Preliminary Conditional Use, the parking for these facilities is to occur within the Truist/Rollins parking garage across the street. Much has changed since the construction of the new 900 space parking garage at Ollie Avenue by Dinky Dock which is closer to student and staff destinations and safer for access. All of the Crummer students currently park in either of those two parking garages based upon their destinations. There are approximately 800 spaces in the Truist/Rollins parking garage. The times of usage with the needs of the Crummer School and Alfond Hotel being primarily in the evening and the Truist, Lawrence Center and Alfond Inn during the day, work to maximize the efficiency of the Truist/Rollins parking garage. It is a good example of a compatible shared parking arrangement.

Staff Evaluation and Recommendation

The reason for a Preliminary Conditional Use approval and the later a Final Conditional Use approval for major projects is to allow the first step to grant the entitlements and then allow additional time for the more detailed architectural elevations and the other technical construction plans to be developed based upon the entitlements granted. The modifications to the site plan, museum setbacks and other matters have been discussed.

alternatives / other considerations

fiscal impact

ATTACHMENTS:

[Original and Proposed Site Plan.pdf](#)

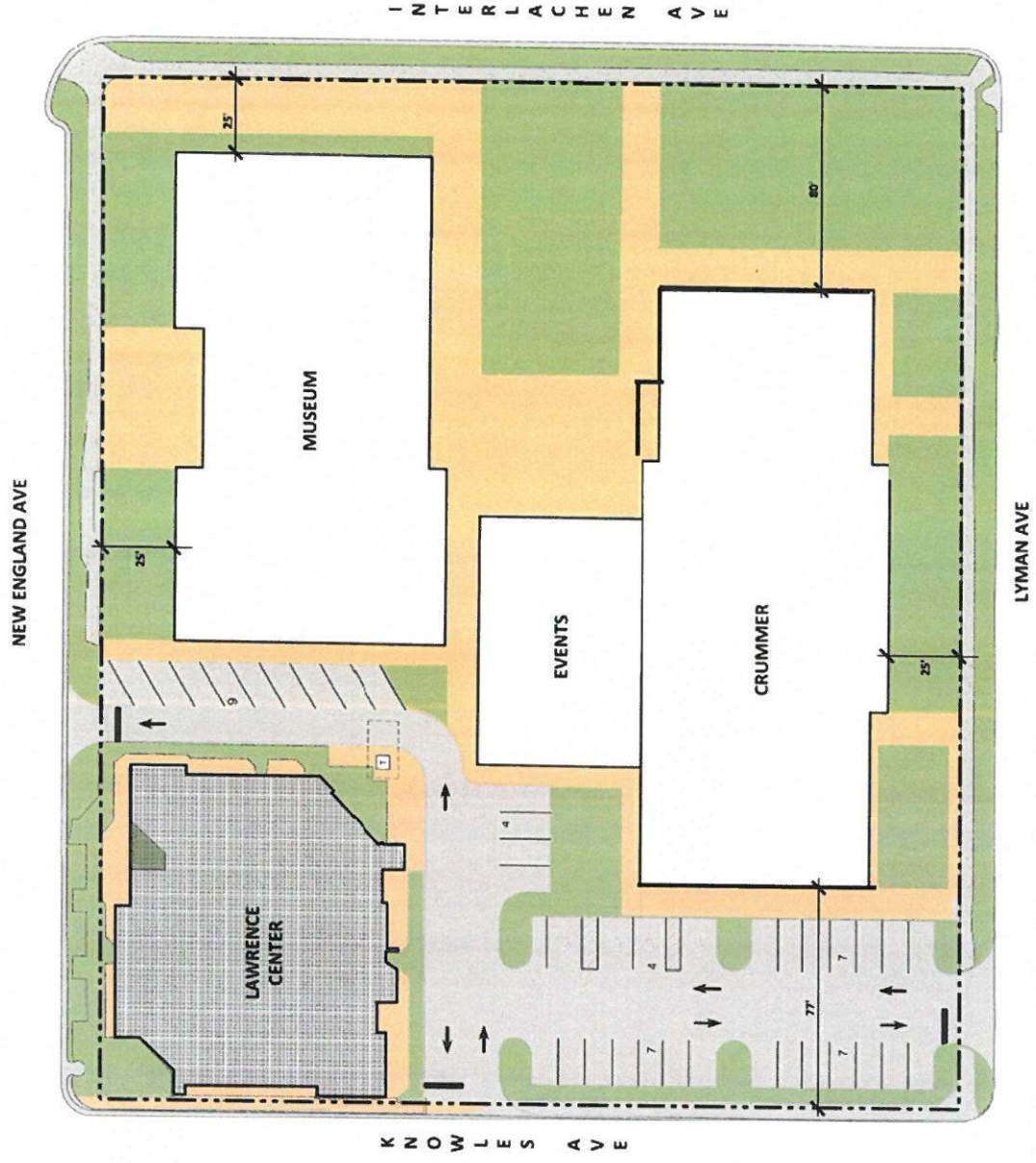
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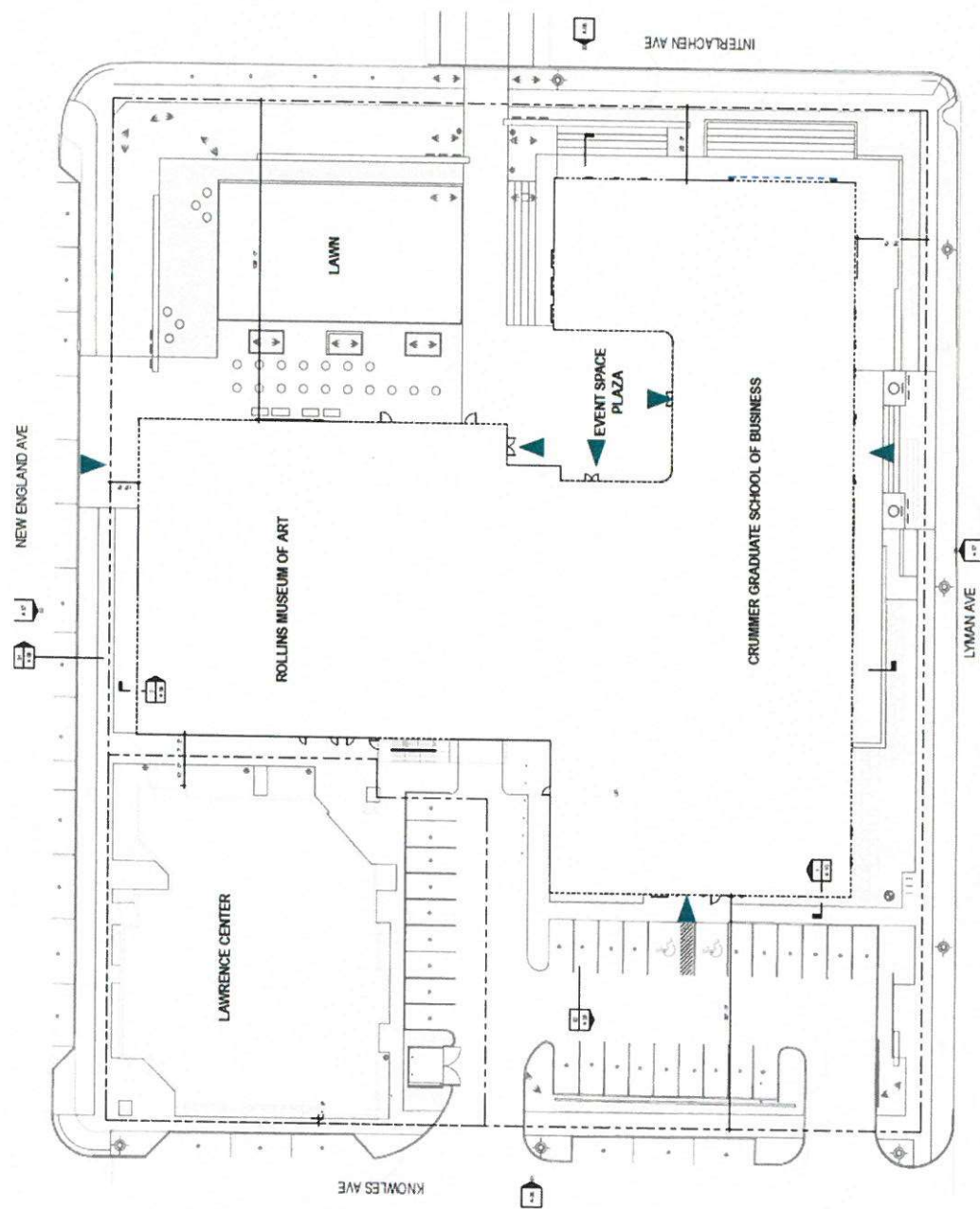
[Rollins CU Plan set.pdf](#)

ATTACHMENTS:

[Museum Facade with sign.pdf](#)

College's Original Site Plan





ROLLINS INNOVATION TRIANGLE

FINAL CONDITIONAL USE APPLICATION

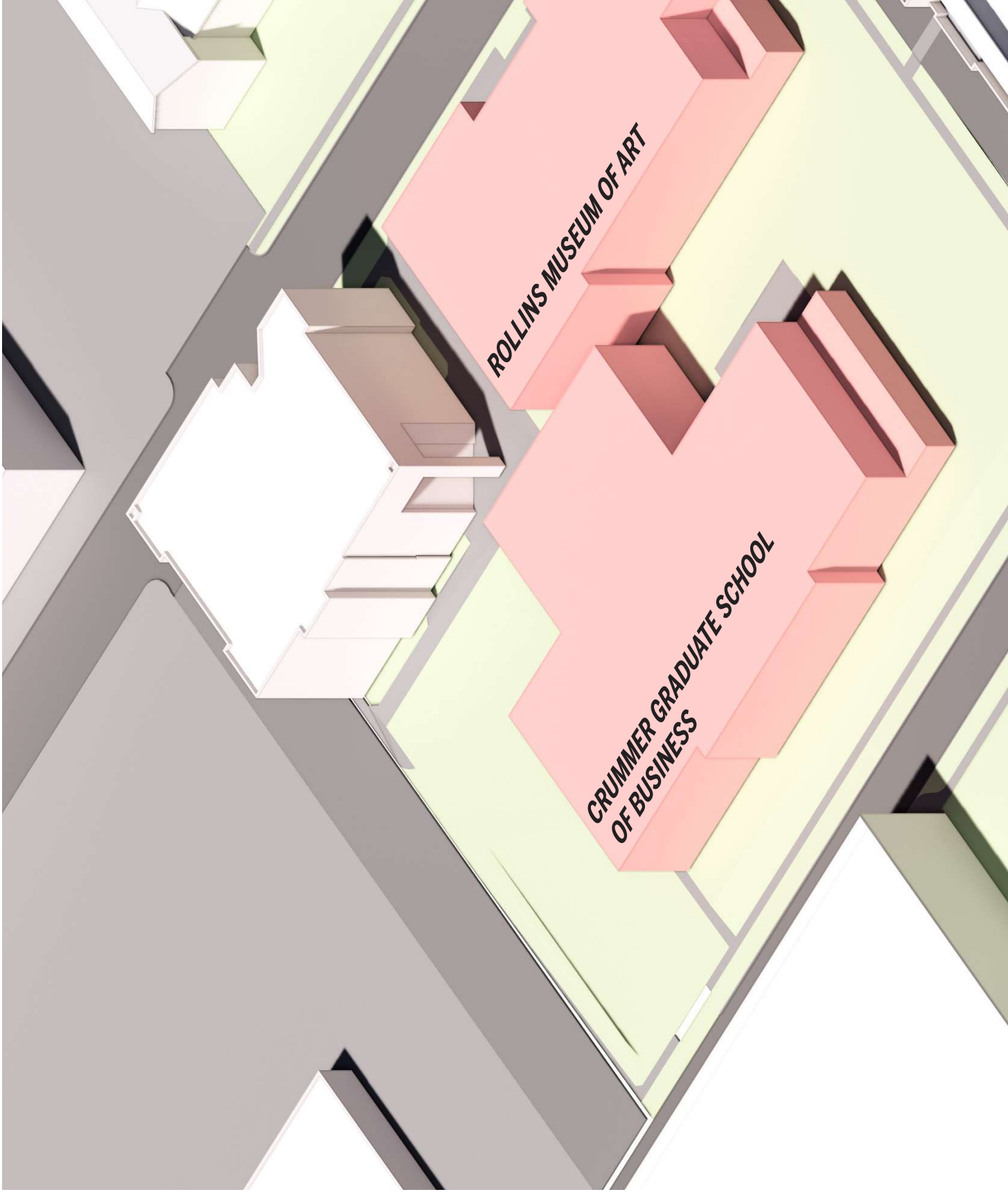
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ROLLINS INNOVATION TRIANGLE SHEET INDEX		
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G-04	04	CONDITIONAL USE
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67917001 2 OF 3	06	SURVEY BOUNDARY DETAILS
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LEGEND & ABBREVIATIONS:

	= BACKFLOW PREVENTER	-BEL-	= BURIED ELECTRIC LINE	LS	= LICE
	= BURIED TELEPHONE PEDESTAL	-BFO-	= BURIED FIBER OPTIC LINE	RLS	= REG
	= CLEAN OUT	-G-	= GAS LINE	PSM	= PRC
	= DRAINAGE MANHOLE	-OHL-	= OVERHEAD UTILITY LINE	ID	= IDEN
	= ELECTRIC FIXTURE	-WL-	= WATER LINE	FF	= FINI
	= ELECTRIC SERVICE METER	-UNK-	= UNKNOWN UTILITY LINE	NAD	= NOR
	= FLAT GRATE INLET	CMP	= CORRUGATED METAL PIPE	NAVD	= NOR
	= FIRE HYDRANT	DIP	= DUCTILE IRON PIPE	ADA	= AME
	= GAS METER	PVC	= POLYVINYL CHLORIDE PIPE	R/W	= RIG
	= GAS VALVE	RCP	= REINFORCED CONCRETE PIPE		

UE
PROPERTY APPRAISER

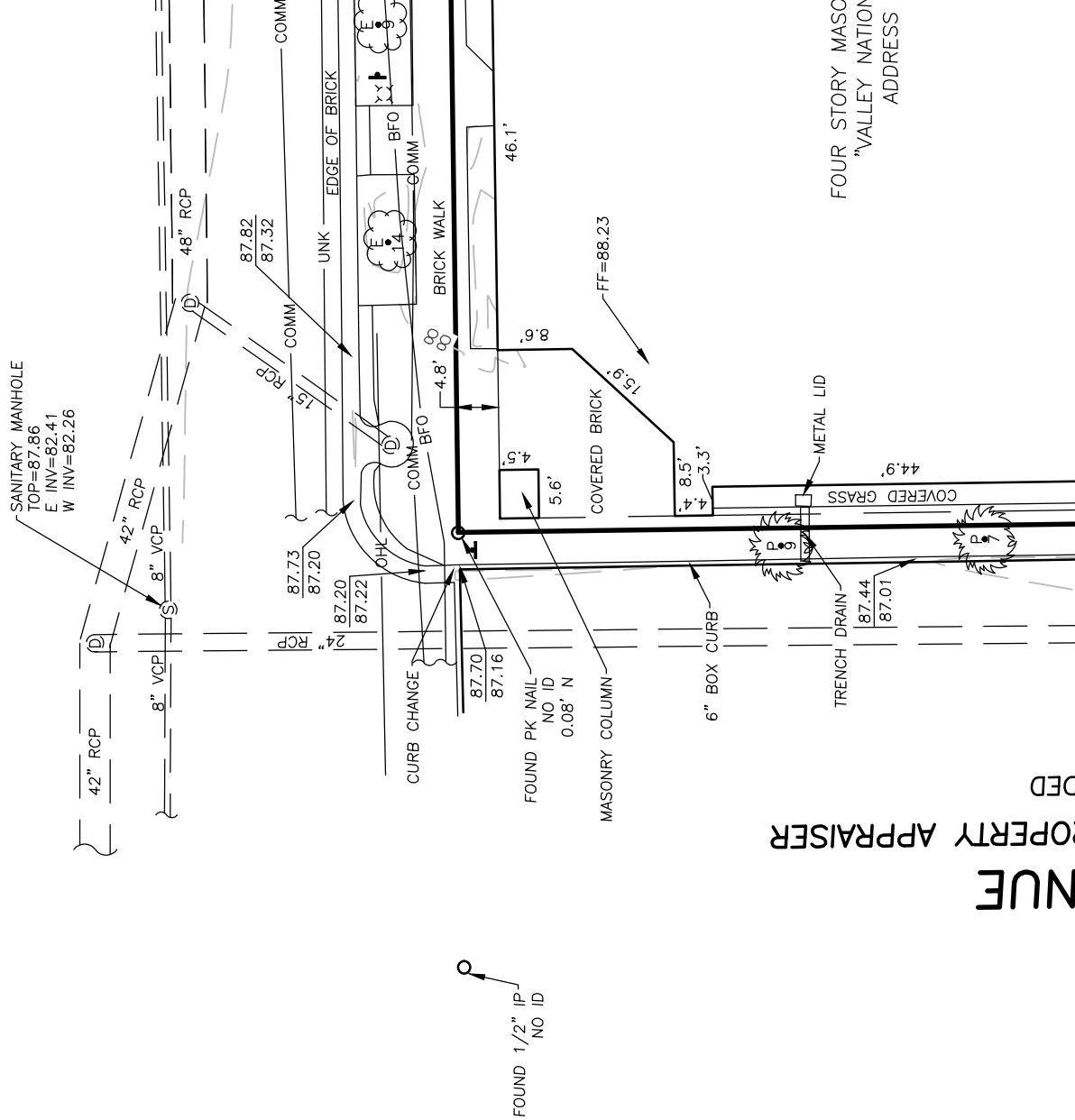
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NO ID
0.08' N

FOUND 1/2" IP
NO ID

N89°13'07"E
50.20'

CED

—METAL LID



ROLL

SHEET INDEX

CIVIL ENGINEERING

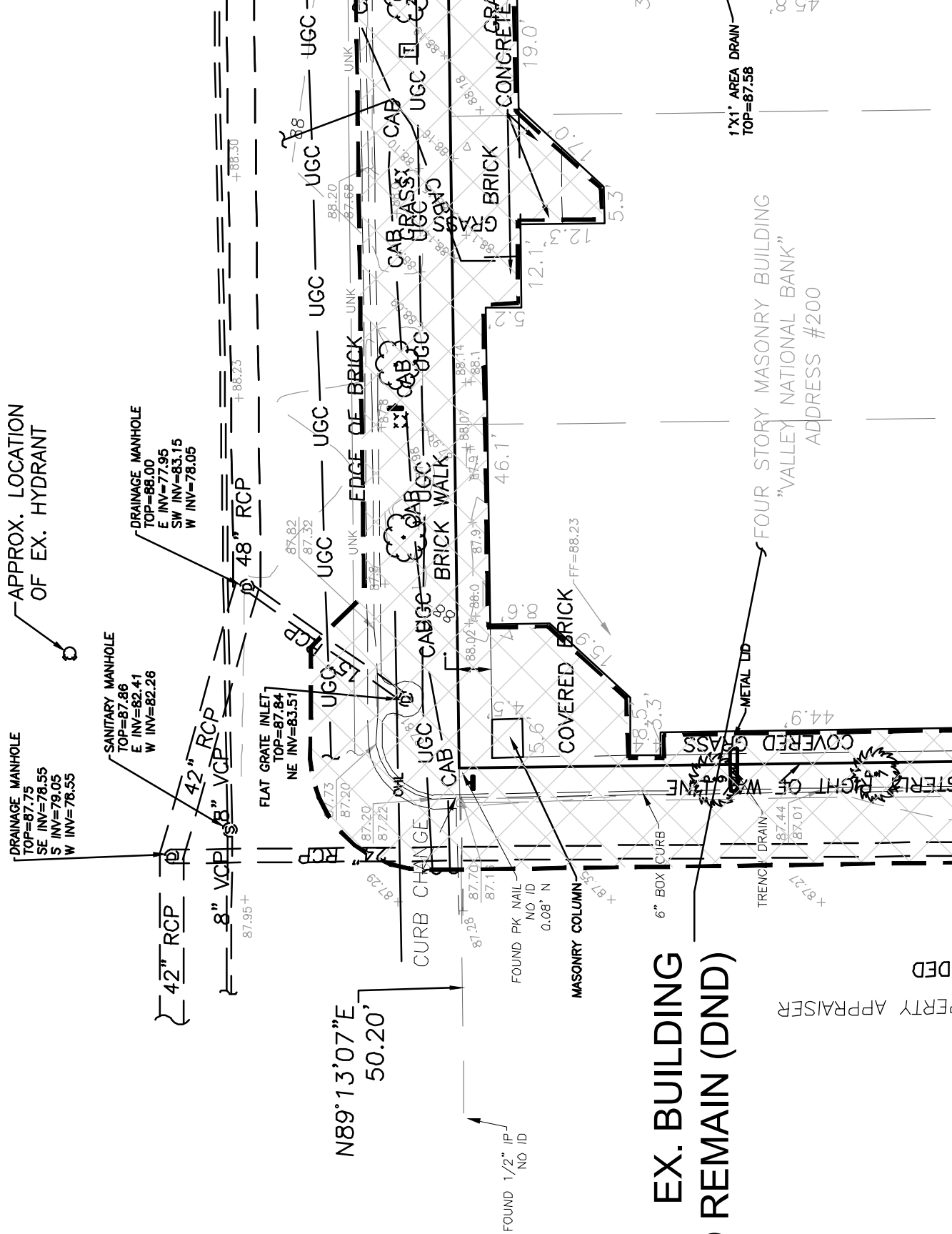
Sheet Number	Sheet Title
C000	COVER
C001	GENERAL NOTES
C002	EXISTING CONDITIONS & DEMOLITION PLAN

SITE PLAN NOTES:

1. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL FDOT AND CITY OF WINTER PARK REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
2. CONTRACTORS SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS OF VESTIBULES, SLOPE PACING, SIDEWALKS, EXIT PORCHES, ETC., PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
3. ALL DISTURBED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, MULCH, SOD AND WATER UNTIL HEALTHY STAND OF GRASS IS ESTABLISHED.
4. ALL ISLANDS WITH CURB & GUTTER SHALL BE LANDSCAPED, UNLESS OTHERWISE NOTED.
5. ALL CURBED RADII ARE TO BE 4' AT FACE OF CURB UNLESS OTHERWISE NOTED.
6. ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
7. EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE MODIFIED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
8. CONTRACTORS SHALL BE RESPONSIBLE FOR ALL RELOCATION. (UNLESS OTHERWISE NOTED ON PLANS) INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC, AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
9. ALL SIGNAGE AND STRIPING TO BE INSTALLED IN ACCORDANCE WITH MUTCD (LATEST EDITION) STANDARD AND SPECIFICATIONS.
10. ALL ROADWAY, SIDEWALK, STORMWATER AND UTILITIES LOCATED ON SITE SHALL BE PRIVATE UNLESS OTHERWISE NOTED.
11. DRAINAGE EASEMENTS SHALL BE OWNED AND MAINTAINED BY CITY OF WINTER PARK.
12. PARKS AND OPEN SPACE TRACTS SHALL BE PRIVATELY OWNED AND MAINTAINED BY CITY OF WINTER PARK.
13. ELECTRIC SERVICE SHALL BE PROVIDED BY CITY OF WINTER PARK.
14. FIRE PROTECTION SHALL BE PROVIDED BY CITY OF WINTER PARK.
15. ALL DRAINAGE DIPS, JOINTS AND STRUCTURE CONNECTIONS ARE TO BE WRAPPED WITH APPROVED

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EX. BUILDING TO REMAIN (DND)



1'X1' AREA DRAIN
TOP=87.56

FOUR STORY MASONRY BUILDING
"VALLEY NATIONAL BANK"
ADDRESS #200

METAL LD

TRENCH DRAIN

6" BOX CURB

FOUND 1/2" IP
NO ID

MASONRY COLUMN

CURB CHANGE

COVERED GRASS

COVERED BRICK

BRICK WALK

CAB

UGC

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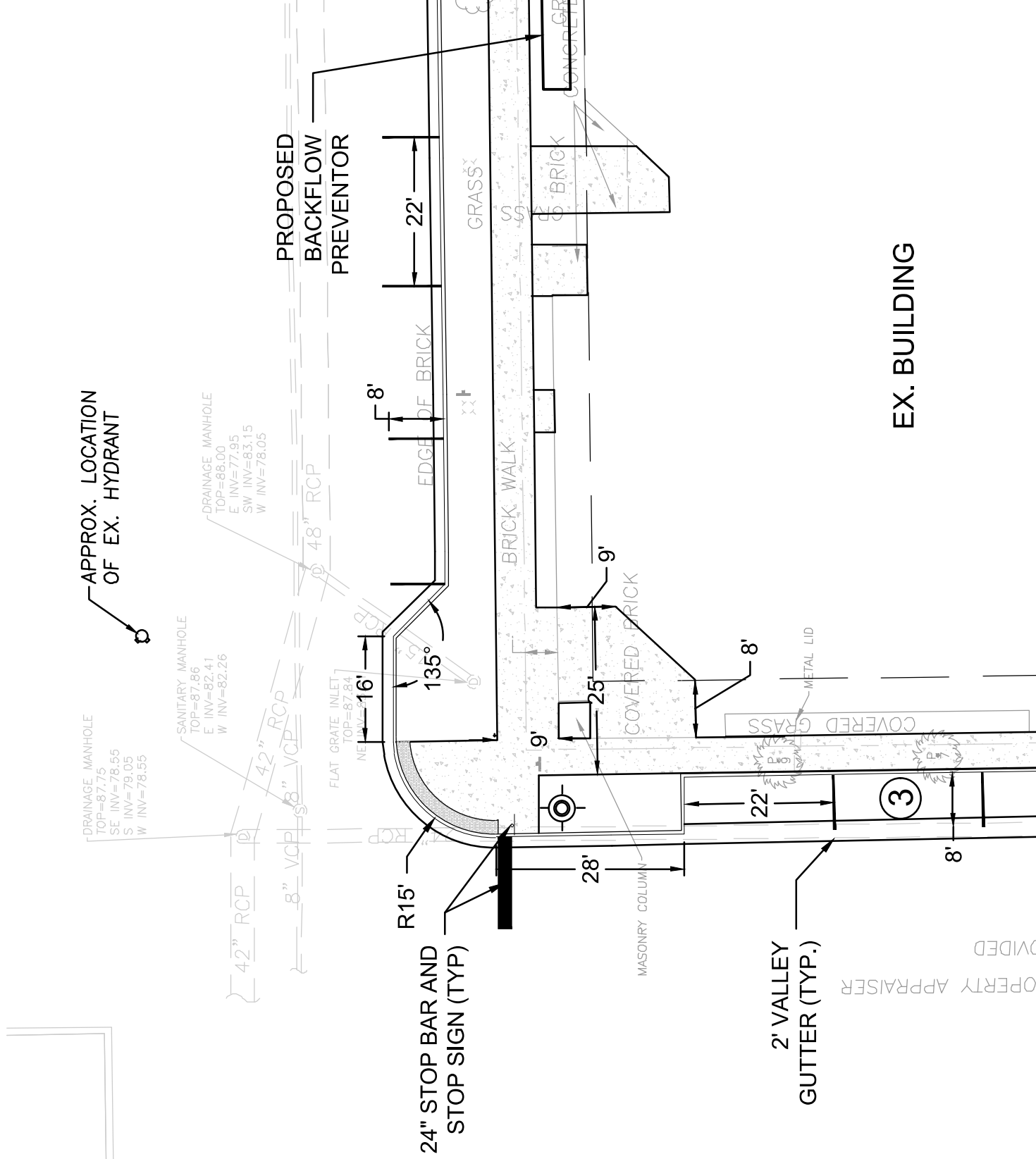
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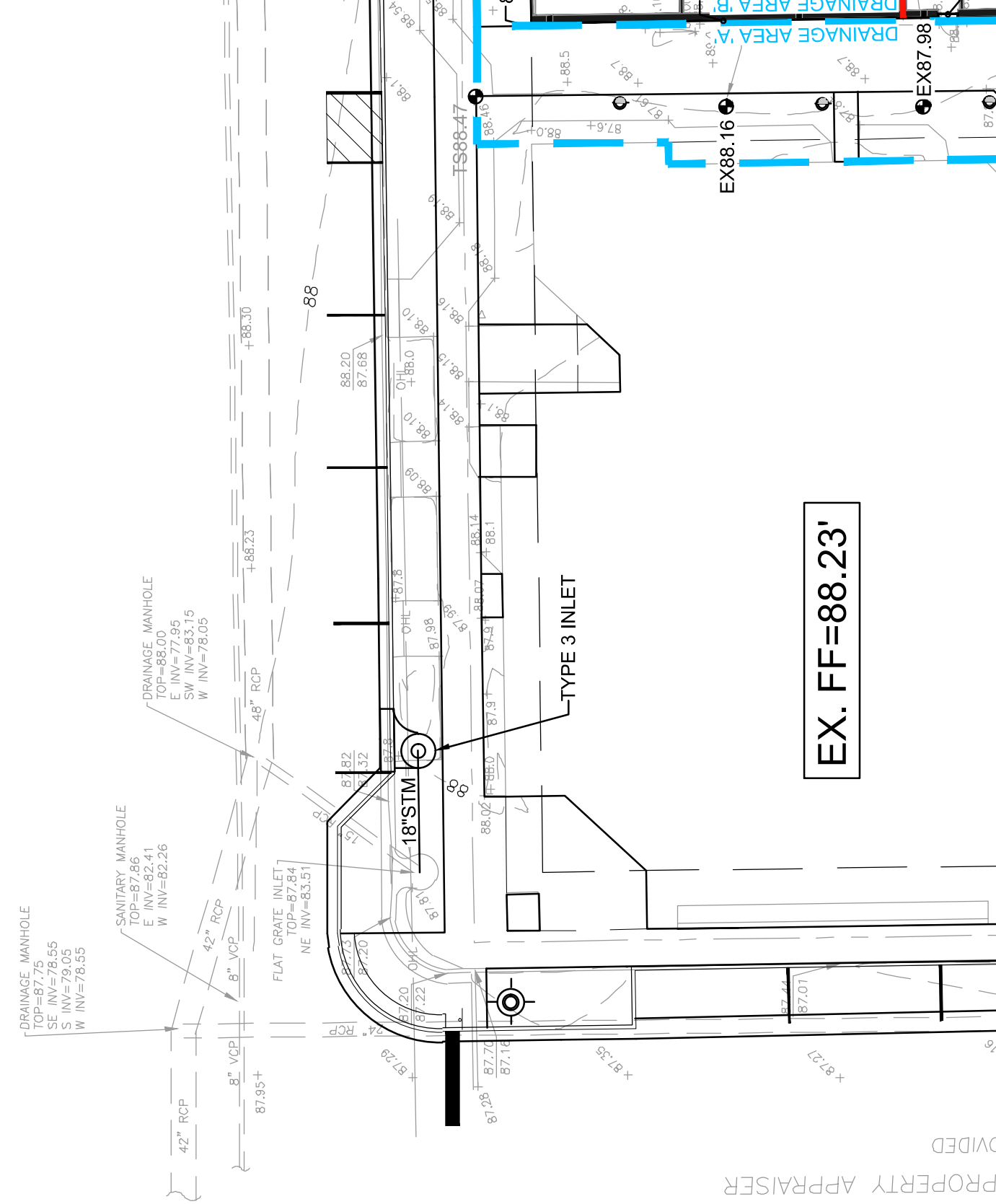
UGC

UGC



EX. BUILDING

ENUE
PROPERTY APPRAISER
DIVIDED



APPROX. LOCATION
OF EX. HYDRANT

DRAINAGE MANHOLE
TOP=87.75
SE INV=78.55
S INV=79.05
W INV=78.55

SANITARY MANHOLE
TOP=87.56
E INV=87.41
W INV=82.26

RELOCATED WATER & FIRE SERVICE
BACKFLOW PREVENTER WITH REMOTE
FIRE DEPARTMENT CONNECTION

EX. WATER SERVICE
CONNECTION ST

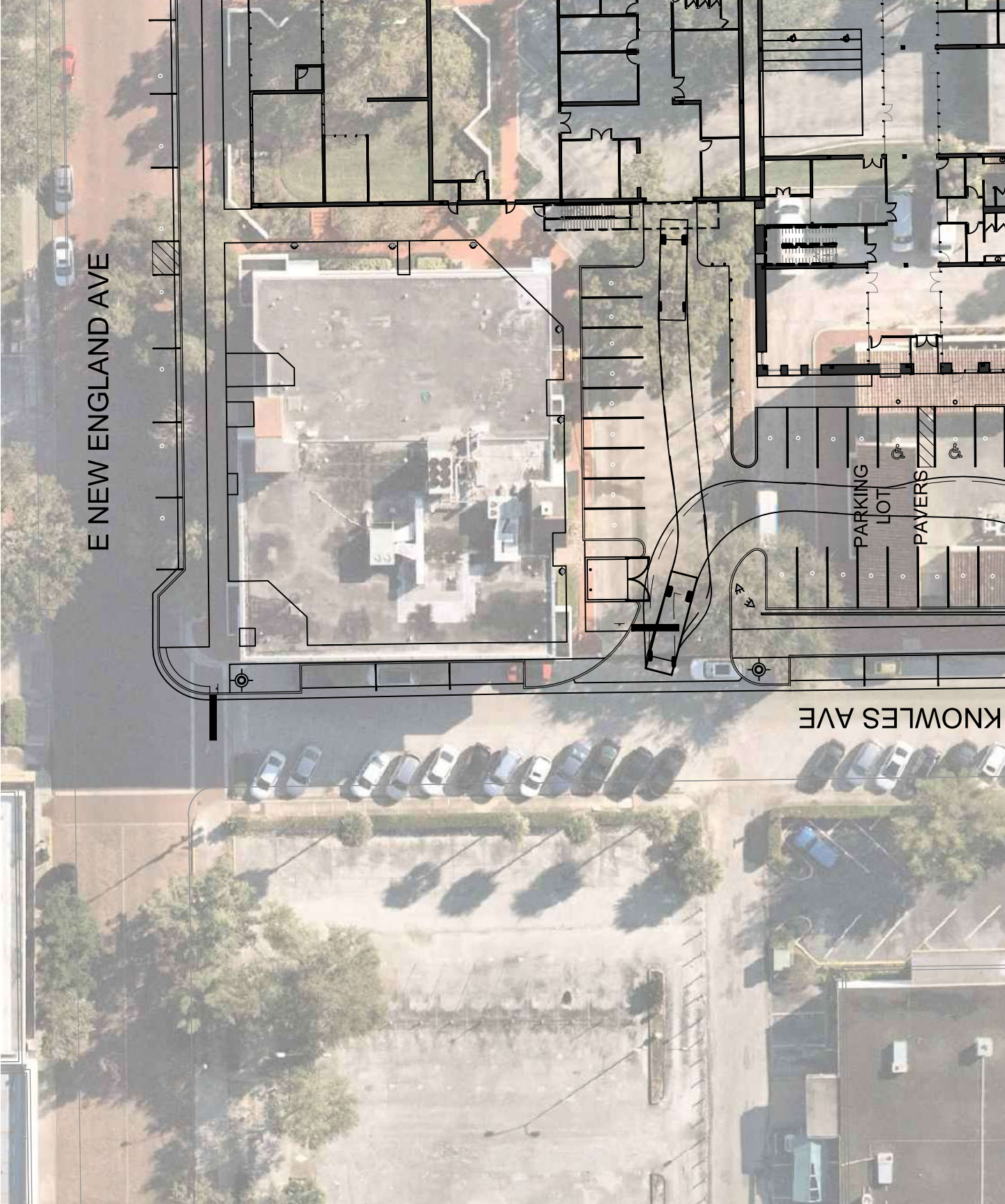
43'

FLAT GRADE INLET
TOP=87.81
NE INV=83.3

PROPOSED REMOTE
FDC FOR LAWRENCE
CENTER

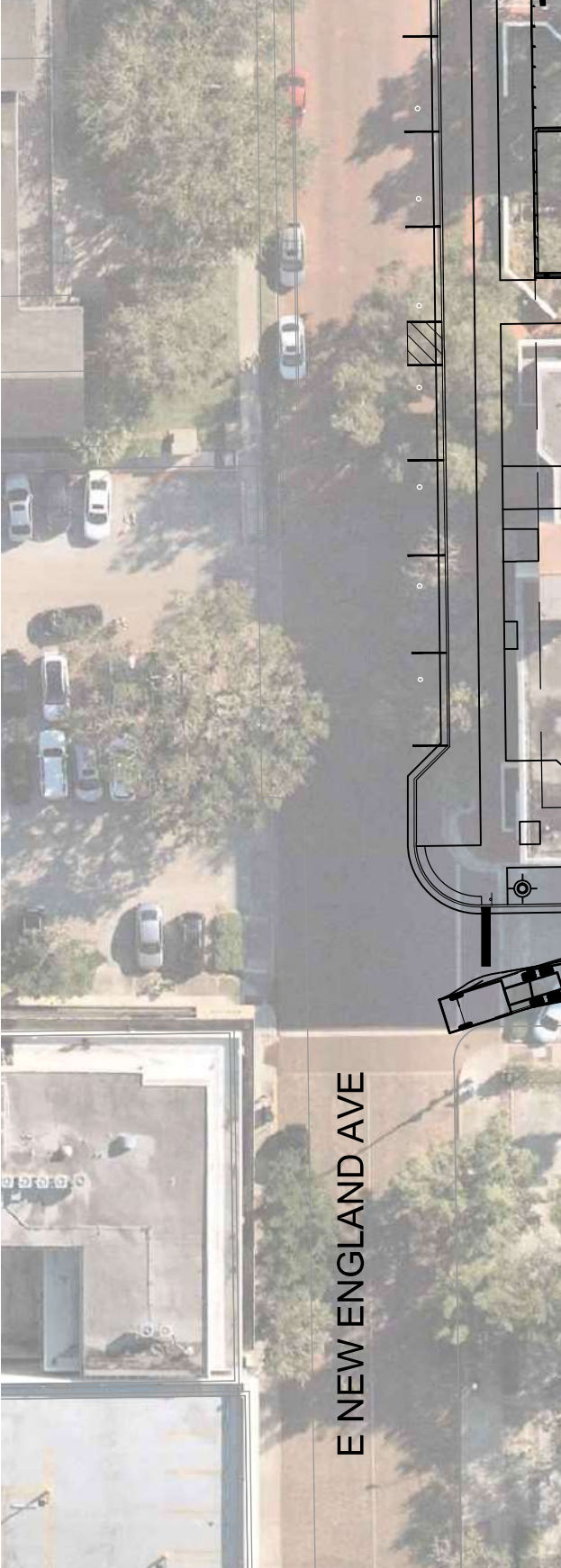
PIV

EX. FF = 88.23'



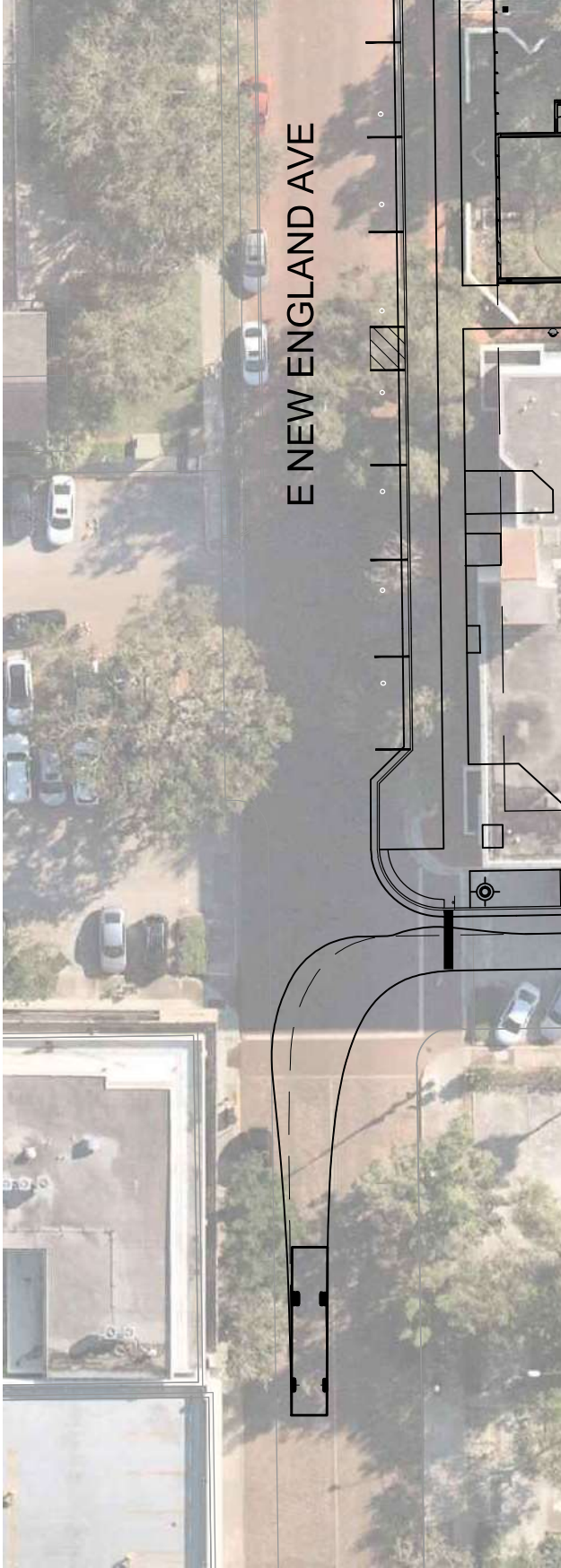
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ROLL

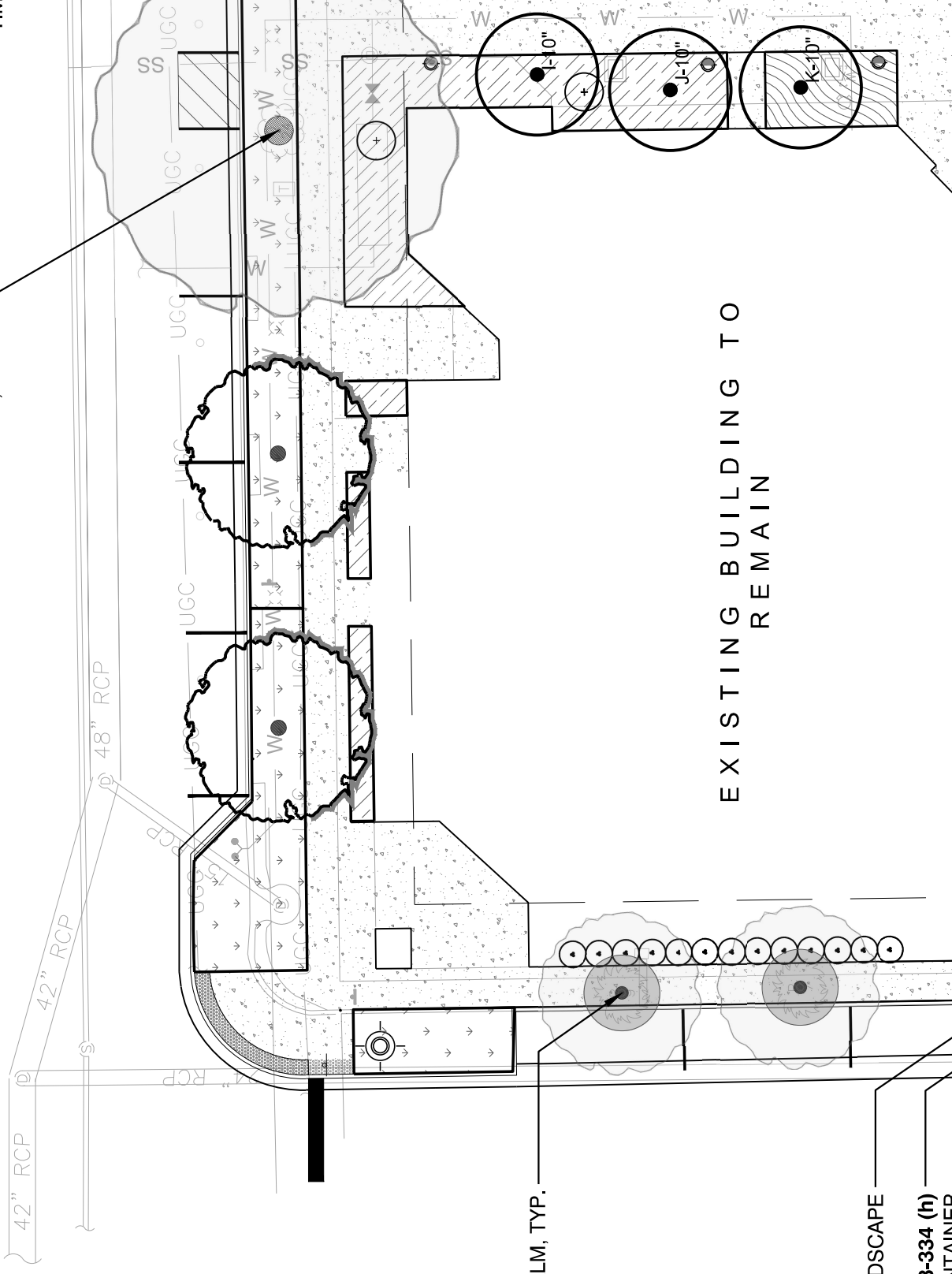
co

GENERAL

1. AS REFERRED TO HEREIN, "CONTRACTOR" IS THE BIDDER OR SELECTED CONTRACTOR RESPONSIBLE FOR INSTALLATION OF WORK REFLECTED IN DIX.HITE + PARTNERS, INC. (HEREIN AFTER REFERRED TO AS "LANDSCAPE ARCHITECT") CONTRACT DOCUMENTS.
2. CONTRACTOR IS EXPECTED TO CARRY OUT ALL RESPONSIBILITIES SET FORTH IN THESE NOTES AND IN THE CONTRACT DOCUMENTS WHICH WILL BE STRICTLY ENFORCED BY LANDSCAPE ARCHITECT.
3. IN THE EVENT OF A CONFLICT BETWEEN QUANTITIES REPRESENTED ON THE PLAN VS. QUANTITIES SHOWN ON ANY LIST, THE PLAN SHALL CONTROL.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR THIS WORK PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL PROVIDE THE DRAWINGS AND OTHER INFORMATION NECESSARY TO OBTAIN ALL REQUIRED PERMITS AND SCHEDULE ALL INSPECTIONS AND TESTING ACCORDING TO THE REQUIREMENTS OF SAID AGENCIES AND THE CONTRACT DOCUMENTS. LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR SECURING CONSTRUCTION PERMITS.
5. ALL WORK PERFORMED BY CONTRACTOR AND BY THOSE FOR WHOM CONTRACTOR IS RESPONSIBLE SHALL COMPLY WITH APPLICABLE CODES, STANDARDS, REGULATIONS, REQUIREMENTS, AND ORDINANCES OF ANY AGENCY HAVING JURISDICTION OVER THE WORK.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF THE PUBLIC AND ALL PERSONNEL ASSOCIATED WITH THE WORK FOR WHICH CONTRACTOR IS RESPONSIBLE. ALL SAFETY REGULATIONS REQUIRED BY APPLICABLE CODES, REGULATIONS AND RECOGNIZED LOCAL PRACTICES SHALL BE ENFORCED BY CONTRACTOR DURING THE CONSTRUCTION AND/OR MAINTENANCE OF CONTRACTOR'S WORK ON THIS PROJECT.
7. CONTRACTOR SHALL COORDINATE WORK WITH RELATED CONTRACTORS AND WITH THE GENERAL CONSTRUCTION OF THE PROJECT SO AS NOT TO IMPEDE THE ORDERLY PROGRESS OF THE WORK.
8. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES REQUIRED FOR THE SAFE EXECUTION AND TIMELY COMPLETION OF THE WORK.
9. CONTRACTOR SHALL EMPLOY, AS REQUIRED BY THE CONSTRUCTION DOCUMENTS AND/OR GOVERNING AUTHORITIES, A QUALIFIED TESTING LABORATORY APPROVED BY LANDSCAPE ARCHITECT TO CONDUCT ALL TESTS NECESSARY TO ENSURE COMPLIANCE WITH THE CONTRACT DOCUMENTS, APPLICABLE STANDARDS, AND CODES.
10. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, CONTRACTOR SHALL VERIFY THE CONDITION AND COMPLETENESS OF RELATED WORK PERFORMED BY OTHERS WORKING ON THIS PROJECT. WITHIN 48 HOURS OF DISCOVERY, CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT IN WRITING OF ANY POTENTIAL DEVIATIONS AFFECTING CONTRACTOR'S SCOPE OF WORK. LANDSCAPE ARCHITECT SHALL NOT BE LIABLE FOR ANY ERROR OR OMISSION THAT MAY RESULT FROM CONTRACTOR'S FAILURE TO SO NOTIFY LANDSCAPE ARCHITECT.
11. CONTRACTOR SHALL IMMEDIATELY NOTIFY LANDSCAPE ARCHITECT UPON DISCOVERY OF ANY POTENTIAL ERROR OR OMISSION IN THE CONTRACT DOCUMENTS. LANDSCAPE ARCHITECT WILL PROVIDE AMENDMENT, INTERPRETATION, OR CORRECTION OF THE CONTRACT DOCUMENTS.
12. IN ADDITION TO LANDSCAPE ARCHITECT'S CONTRACT DOCUMENTS, CONTRACTOR SHALL REFER TO THE CONTRACT DOCUMENTS PREPARED BY OTHERS FOR ADDITIONAL REQUIREMENTS. REFERENCE TO "OTHERS" THROUGHOUT THESE NOTES SHALL INCLUDE BUT IS NOT LIMITED TO ARCHITECT, MECHANICAL / ELECTRICAL / PLUMBING / POOL ENGINEER, IRRIGATION, STRUCTURAL AND CIVIL ENGINEER.
13. CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AT THE SITE AND BE RESPONSIBLE FOR THE ACCURACY AND CORRECTNESS OF SAME.
14. WRITTEN DIMENSIONS, COORDINATES, AND/OR ELECTRONIC FILES PREVAIL OVER SCALED DIMENSIONS. DO NOT SCALE FROM THE CONTRACT DOCUMENTS.
15. LANDSCAPE ARCHITECT SHALL HAVE THE RIGHT AT ANY STAGE OF CONSTRUCTION TO REJECT ALL WORK OR MATERIALS WHICH IN THEIR OPINION DOES NOT MEET WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.

SIGNED
FOR THE
USE OF
TIM

EXISTING TREE, TYP.

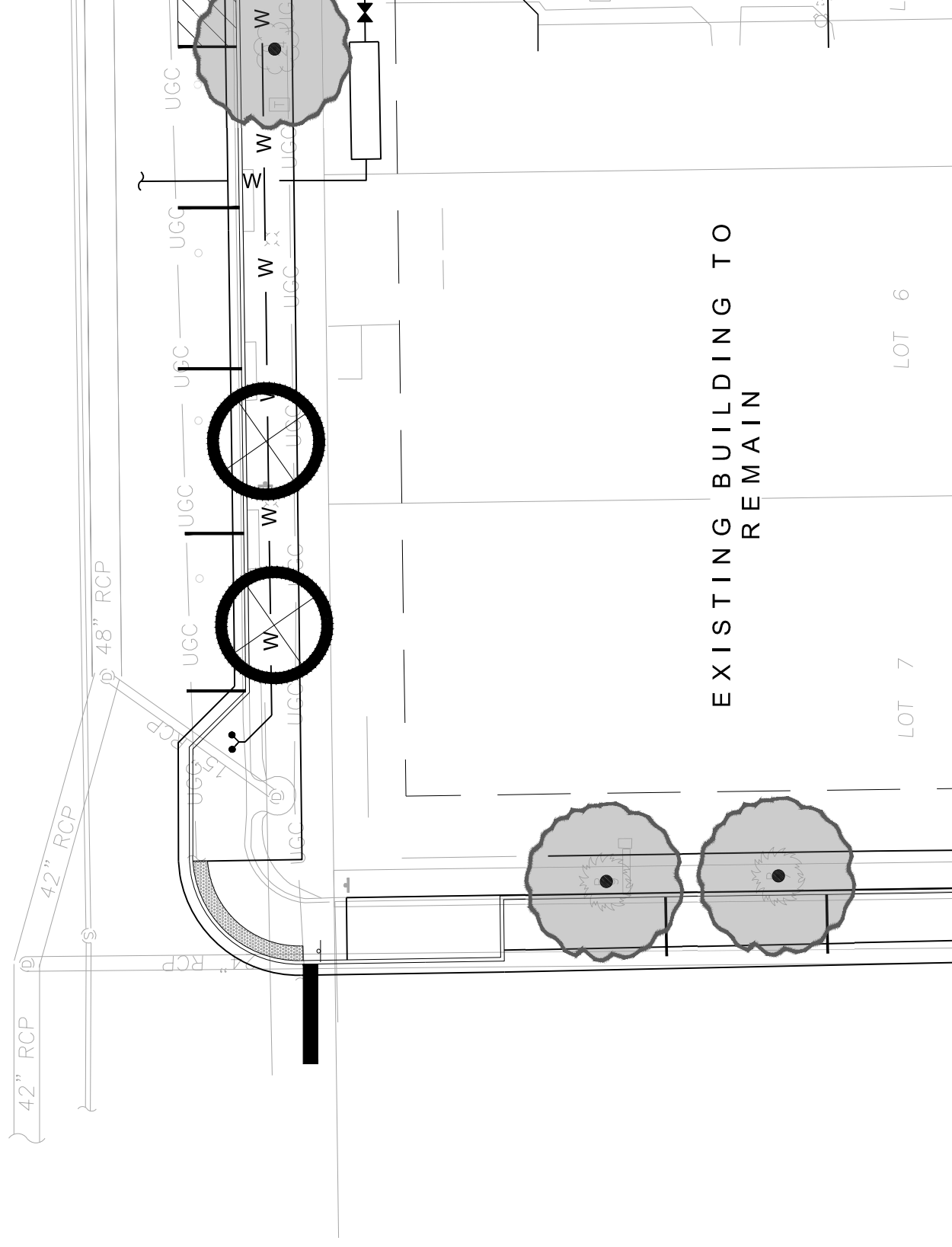


EXISTING PALM, TYP.

EXISTING BUILDING TO
REMAIN

VISUAL SCREEN IN LANDSCAPE

Sec. 58-334 (h)
STOPPED TRASH CONTAINED



EXISTING BUILDING TO
REMAIN

LOT 7

LOT 6

NOTES:

DIVISION 6 TREE PRESERVATION AND PROTECTION

EXISTING TREE TO BE REMOVED:

INCLUDES TREES DEFINED AS EITHER; DEAD OR BEYOND

EXEMPT TREES:

NO PERMIT SHALL BE REQUIRED TO REMOVE THE FOLLO

CAMPHOR (CINNAMOMUM CAMPHORA)

PALM

ANY TREE WITH A DBH LESS THAN NINE INCHES, AS LONG

PROTECTED TREE:

SHALL MEAN ANY SELF-SUPPORTING WOODY OR FIBROU
25 FEET OR GREATER AND HAS A TREE TRUNK DBH OF N
SHALL ALSO APPLY TO ANY REPLACEMENT TREE, ANY NO
PURPOSES OF SECURING AN APPROVED BUILDING OR DE

EXISTING TREE TO REMAIN:

INCLUDES TREES DEFINED AS EITHER; PROTECTED TREE

PRUNING:

SHALL MEAN REMOVING OR REDUCING TREE LIMBS TO B
ACCORDING TO CURRENT STANDARDS ESTABLISHED BY
ARBORICULTURE (ISA) AND THE AMERICAN NATIONAL S

EXISTING STREET
LIGHT TO REMAIN

EXISTING STREET
LIGHTS TO BE
REMOVED

42" RCP

42" RCP

48" RCP

RCP

RCP

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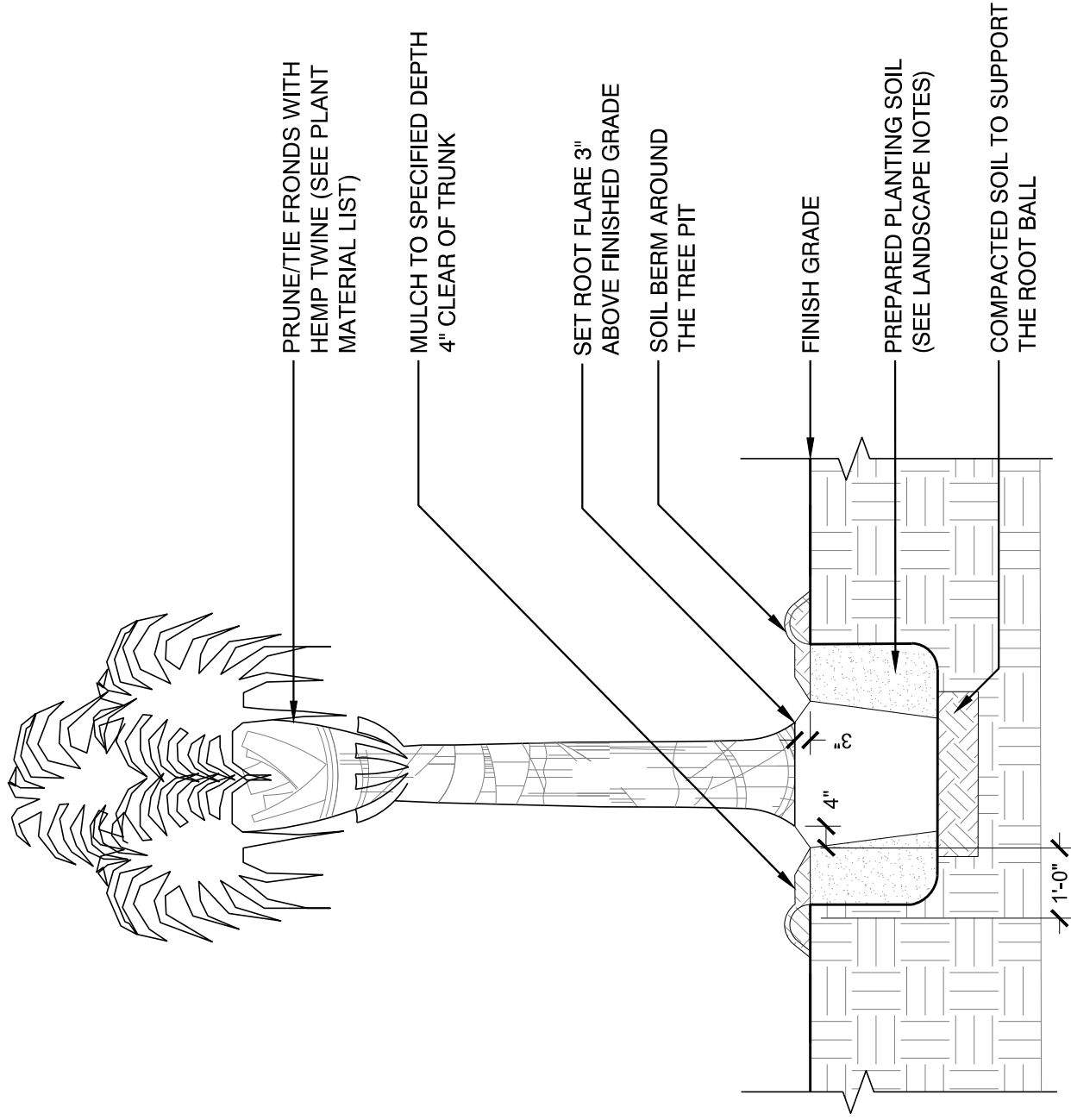
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EXISTING BUILDING TO
REMAIN



NOTE

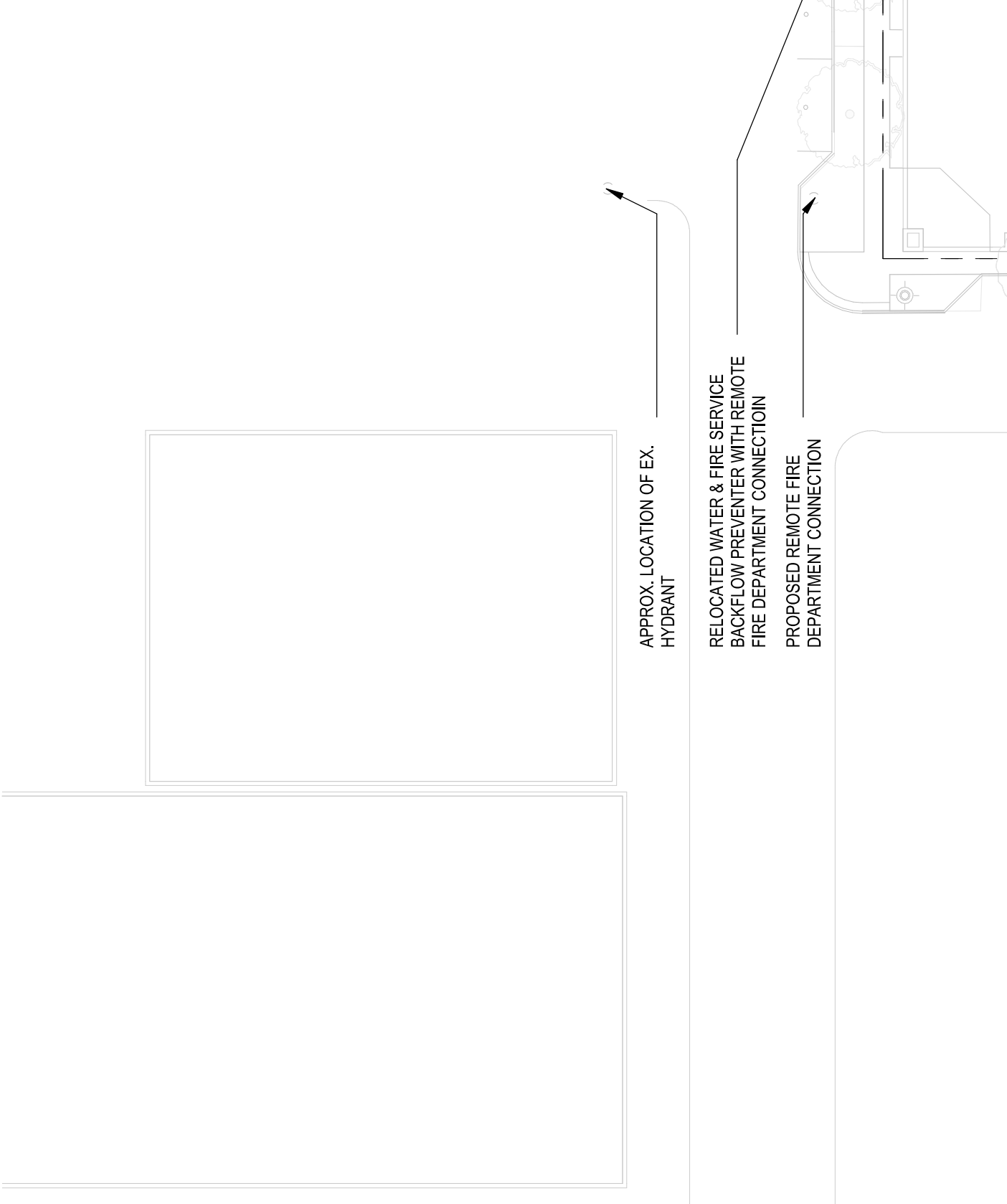
- SEE LANDSCAPE NOTES FOR ADDITIONAL INFORMATION
- CONTRACTOR TO MARK LOCATION OF PALMS FOR REVIEW BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION
- CONTRACTOR TO VERIFY PERCOLATION IN PLANTING PIT PRIOR TO INSTALLATION (SEE LANDSCAPE NOTES)
- SET AND MAINTAIN PALMS IN PLUMB POSITION (REFERENCE THE PALM STAKING DETAILS)

1 PALM PLANTING A

NTS

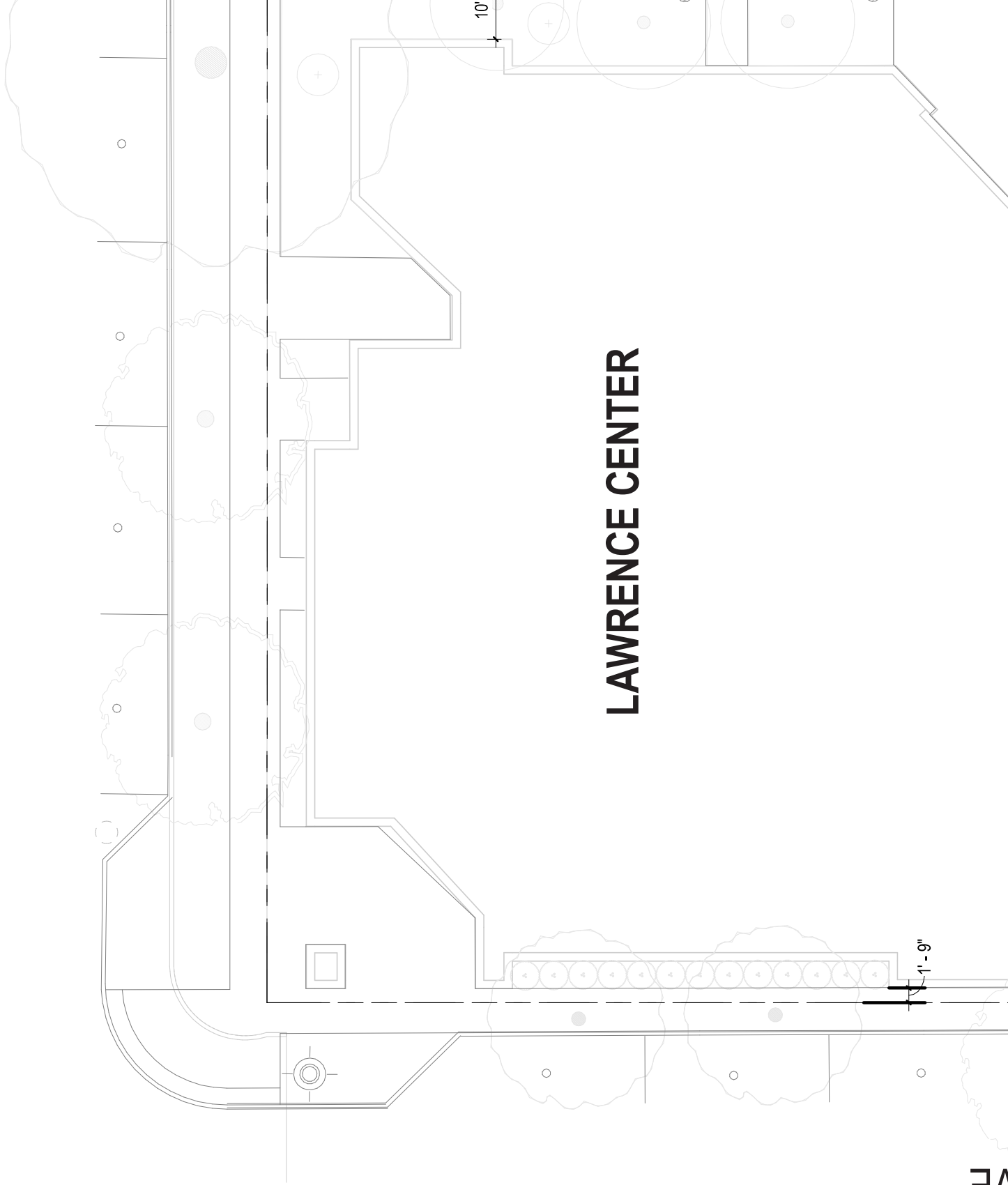
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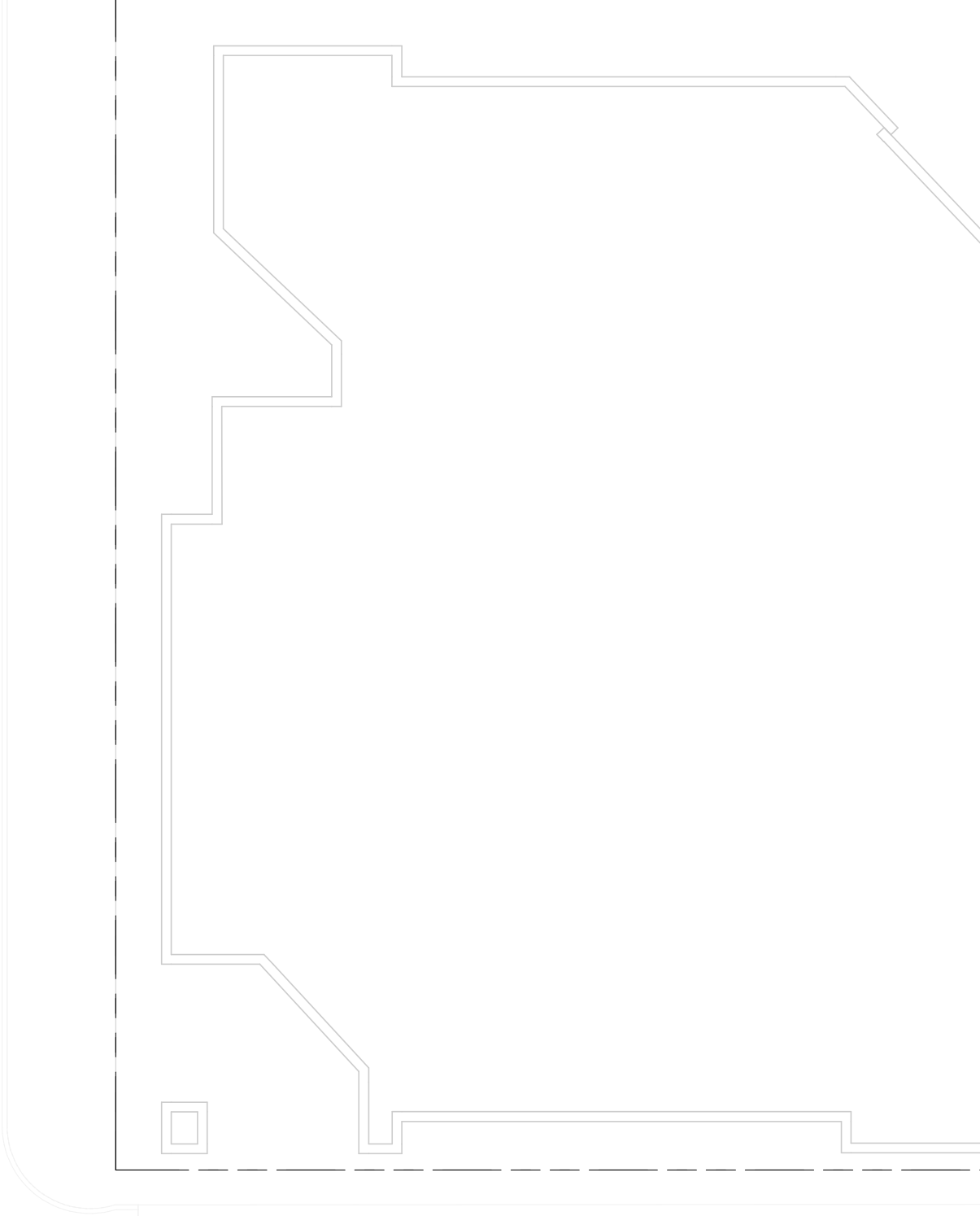
LAWRENCE CENTER



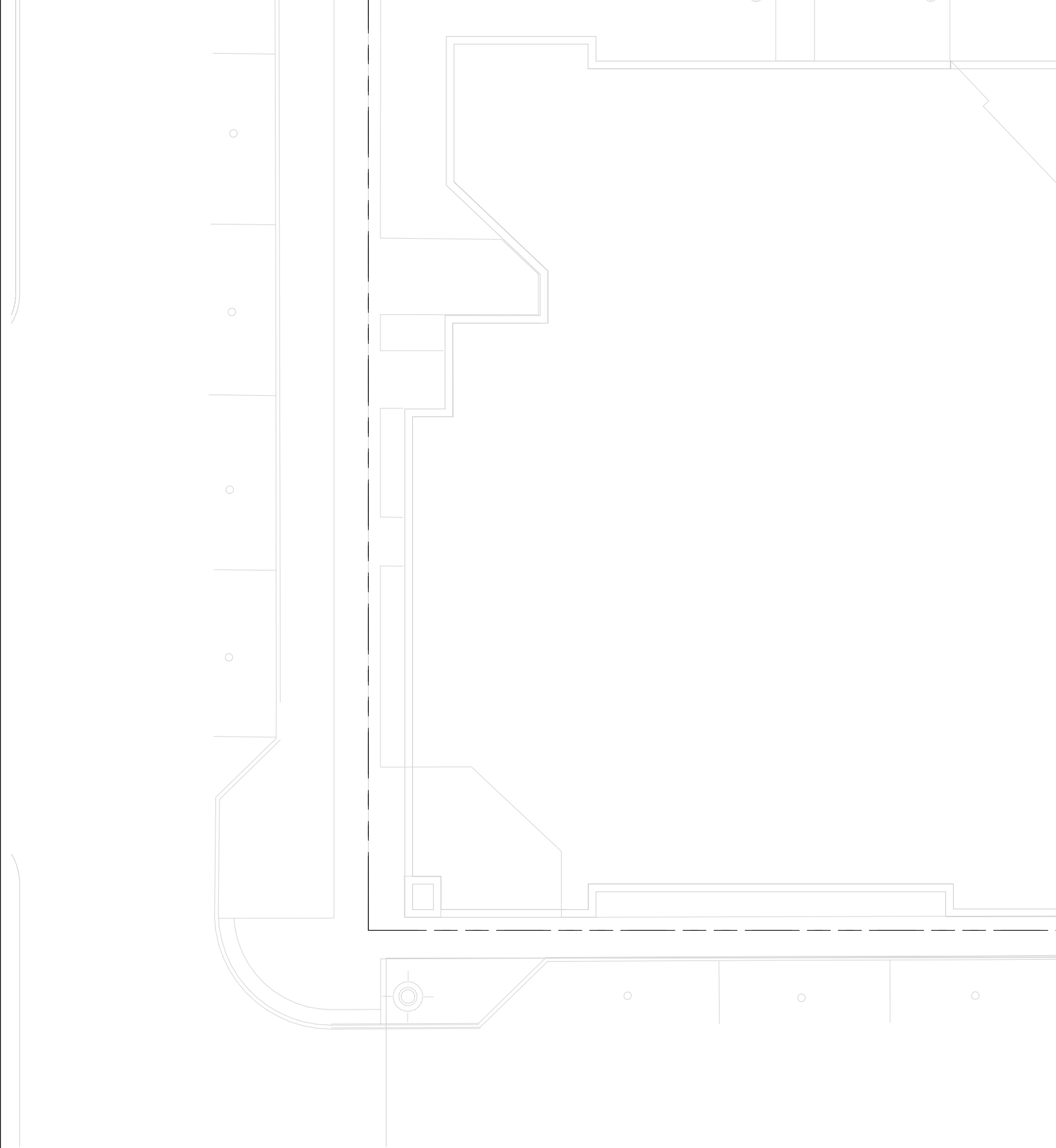
LAWRENCE CENTER



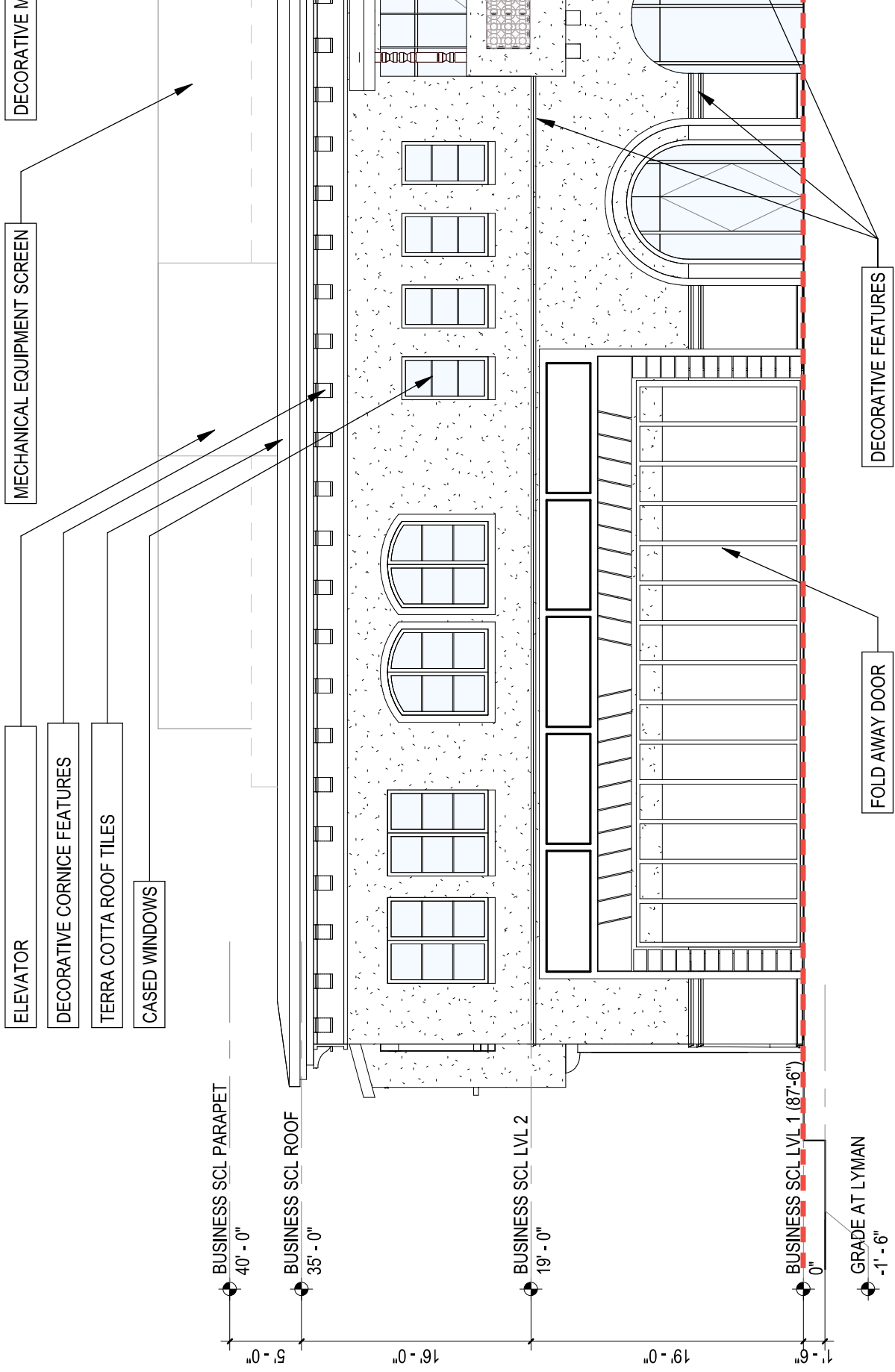
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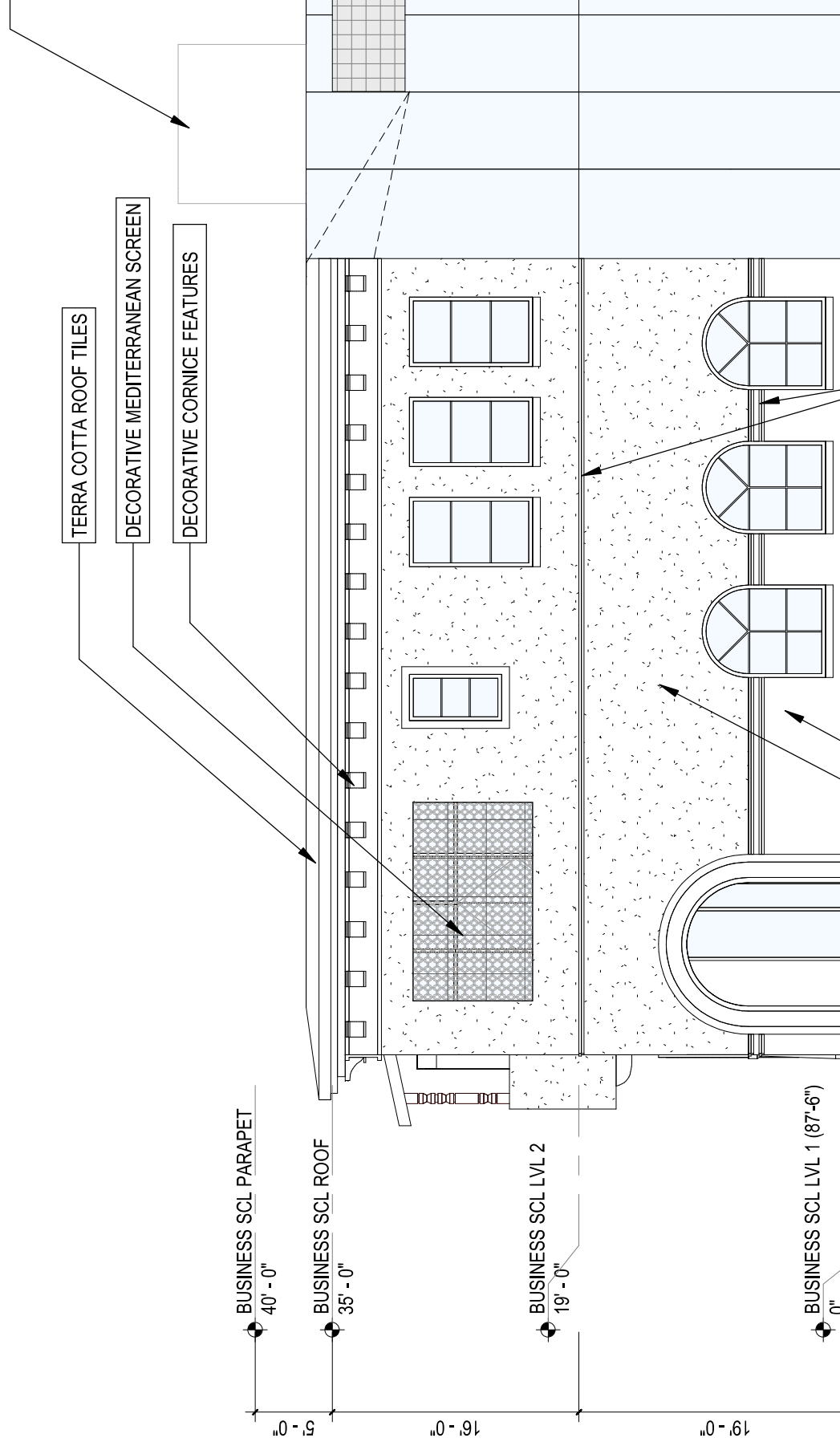


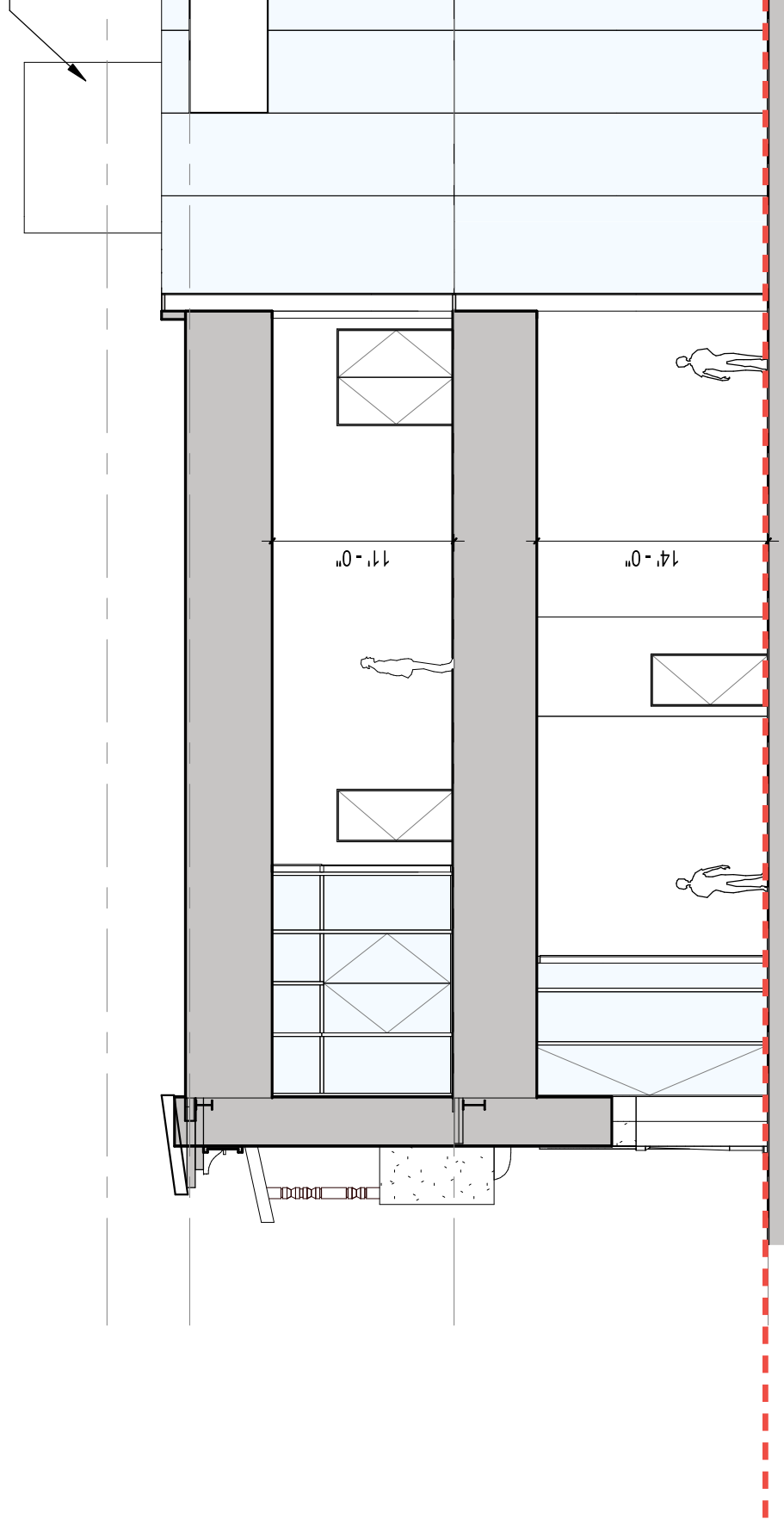
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Clyfford Still Museum, Denver, CO
Contemporary Stone Facade

Design guidelines for Facade



Arches at Rollins College

Contextual Facade



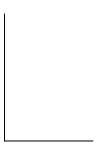
Alfond Inn Outdoor Terrace

Contextual Facade

Design guidelines for Facade



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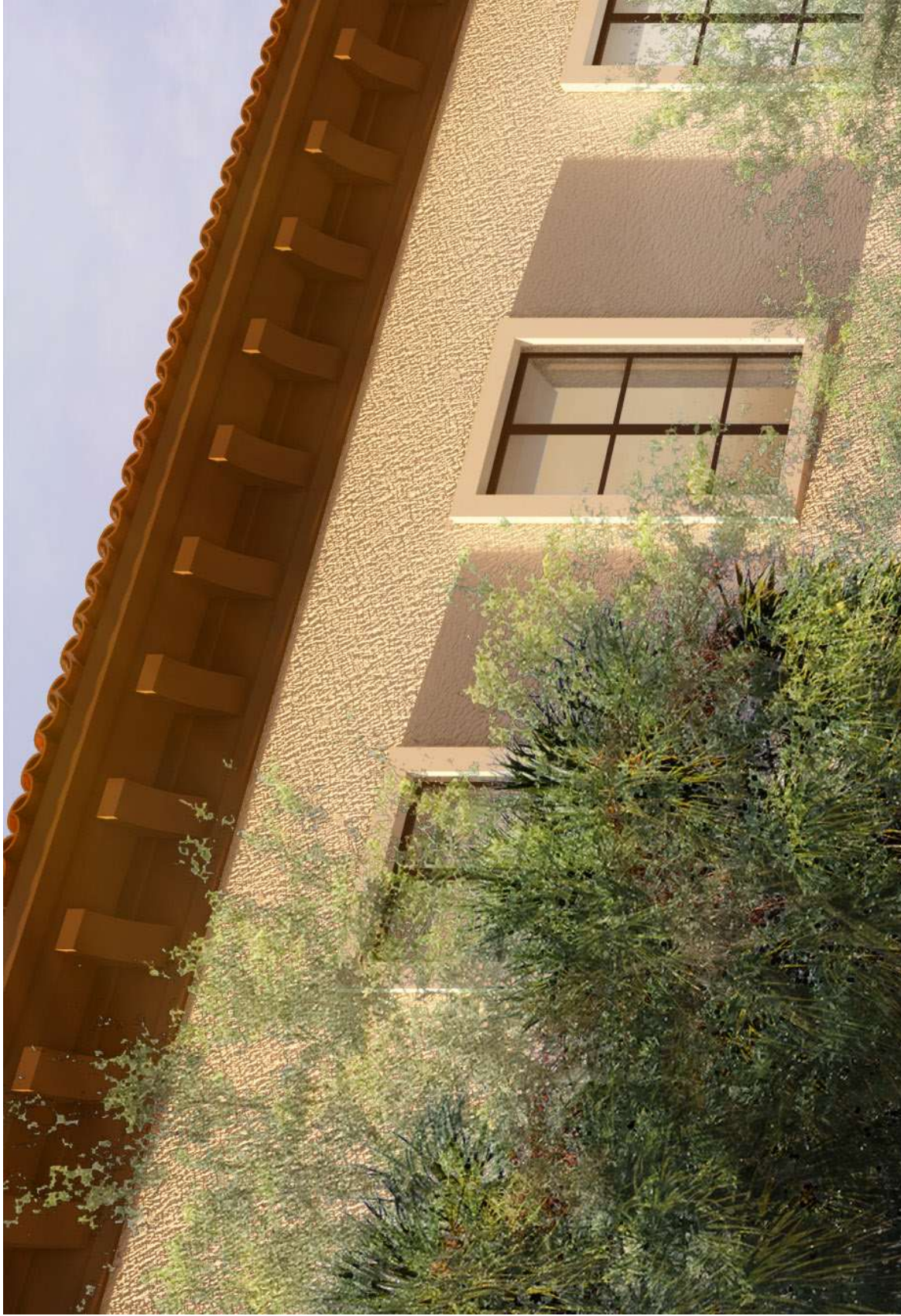
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	= GAS METER	PVC	= POLYVINYL CHLORIDE PIPE	R/W	= RIG
	= GAS VALVE	RCP	= REINFORCED CONCRETE PIPE		

UE
PROPERTY APPRAISER

FOUND PK NAIL
NO ID
0.08' N

FOUND 1/2" IP
NO ID

N89°13'07"E
50.20'

PROPERTY APPRAISER

FOUR STORY MASCOT
"VALLEY NATIONAL"
ADDRESS

