



Lakes & Waterways Board Regular Meeting

Agenda

June 13, 2023 @ 12:00 pm

City Hall Commission Chambers

401 S Park Ave.

Winter Park, FL

welcome

Agendas and all backup material supporting each agenda item are accessible via the city's website at cityofwinterpark.org/bpm and include virtual meeting instructions.

assistance & appeals

Persons with disabilities needing assistance to participate in any of these proceedings should contact the City Clerk's Office ([407-599-3277](tel:407-599-3277)) at least 48 hours in advance of the meeting.

"If a person decides to appeal any decision made by the Board with respect to any matter considered at this hearing, a record of the proceedings is needed to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based." (F.S. 286.0105).

please note

Times are projected and subject to change.

-
1. **Call to Order**
 - a. [Select Chair and Vice Chair](#) 5 minute
 2. **Consent Agenda**
 - a. [Approve the minutes of regular meeting May 9, 2023](#) 1 minute
 3. **Public Comments (for items not on the agenda): Three minutes allowed for each speaker**
 4. **Public Hearings**
(Public participation and comment on these matters must be in-person.)
 - a. [Boathouse / Dock Application \(BLDC-2023-0012\) 1000 Holt Ave](#) 10 Minutes
 - b. [Boathouse / Dock Application \(BLDC-2023-0135\) 2111 Via Tuscany](#) 10 Minutes
 - c. [Boathouse / Dock Application \(BLDR-2023-0224\) 2600 Venetian Way](#) 10 Minutes
 - d. [Boathouse / Dock Application \(BLDR-2023-0471\) 255 Stirling Ave](#) 10 Minutes
 5. **Action Items**
 6. **Non-Action Items**
 7. **Staff Updates**
 - a. [Winter Park Police Department](#) 10 Minutes
 - b. [Lakes Management](#) 10 Minutes
 - c. [Stormwater Management](#) 10 Minutes
 8. **Board Comments**
 - a. [Discussion of Public Comments Received](#) 5 Minutes
 9. **Upcoming Agenda Items**
 - a. [Discussion of Upcoming Agenda Items](#) 5 Minutes
 10. **Adjournment**



Lakes & Waterways Board

agenda item

item type	Call to Order	meeting date	June 13, 2023
prepared by	Tatia Ghviniashvili	approved by	
board approval			
strategic objective			

subject

Select Chair and Vice Chair

motion / recommendation

background

alternatives / other considerations

fiscal impact



Lakes & Waterways Board

agenda item

item type	Consent Agenda	meeting date	June 13, 2023
prepared by	Tatia Ghviniashvili	approved by	
board approval			
strategic objective			

subject

Approve the minutes of regular meeting May 9, 2023

motion / recommendation

background

alternatives / other considerations

fiscal impact

ATTACHMENTS:

[Draft Minutes.pdf](#)



Lakes & Waterways Board Meeting Minutes

May 09, 2023 at 12:00 p.m.

City Hall, Commission Chambers
401 S. Park Avenue | Winter Park, Florida

Present

Justin Vermuth, George (Trevor) Vietor, Pamela Saffran, William Swartz; Virtually: Ed Webman; Board Coordinator Tatia Ghviniashvili.

Absent

Warren Bloom and David March.

Staff Present

Director of Natural Resources & Sustainability Gloria Eby; Assistant Director of Public Works Don Marcotte; Public Works Engineer Shannon Monahan; Lakes Division Manager Joseph Cordell; Natural Resources & Sustainability Administrative Coordinator Victoria Tabor.

1) Call to Order

Chair Ed Webman called the meeting to order at 12:06 p.m.

2) Consent Agenda

- a. Approve the minutes of regular meeting April 11, 2023

Item moved to the bottom of agenda due to lack of quorum.

Motion made by Justin Vermuth to approve the minutes as presented; seconded by Pamela Saffran. Motion carried unanimously with a 4-0 vote.

3) Public Comments (for items not on the agenda):

There were none.

4) Public Hearings

- a. Boathouse / Dock Application (BLDR-2022-1221) 926 Palmer Ave

Item moved to the bottom of agenda due to lack of quorum.

William Swartz arrived at 1:10 p.m.

Mr. Cordell presented the details of the dock permit application, including location and parameters. There is a 10 ft setback and vegetation criteria has been met,

along with no impact to trees or root structures. Staff recommends to approve with the condition that no trees are damaged or removed in the build.

Discussion followed and photographs and site plan of the proposed area were shown, including that of the shoreline. It is to be noted that there was opposition from the neighbor, however, they were not in attendance at this meeting to speak.

Sheila Cichra, Streamline Permitting, spoke on behalf of the applicant. She explained that an additional 10 ft of walkway is being added in order to account for adequate water depth due to an ingrowth of vegetation along the shore. A brief discussion was held.

Motion made by William Swartz to approve the application with the condition that no trees are damaged or removed; seconded by Pamela Saffran. Motion carried unanimously with a 4-0 vote.

5) Action Items

There were none.

6) Non-Action Items

There were none.

7) Staff Updates

a. Winter Park Police Department

John Gomez gave a brief update on behalf of the Winter Park Police Department. Due to dock closures in the month of April, activity was relatedly low. There were 23 stops, 21 safety inspections, and 5 citations, with a total of 105 hours worked. For the month of May, as of the time of this meeting, 13 hours were worked with 19 stops, 2 citations, and 6 warnings.

Jeff Briggs, Director of Planning & Zoning, gave an update on the dock and boathouse ordinance. He explained that the item was tabled by the City Commission at a previous meeting for further review by staff in terms of approving/denying instances in which the applicant wants to move their dock/boathouse. After further discussion and analysis of the language, staff is recommending this board to continue approving/denying requests to move docks/boathouses and taking into consideration the reason posed by the applicant for wanting to move them.

b. Lakes Management

Ms. Eby gave a brief update on a meeting held with the City of Maitland related to the Florida Fish and Wildlife Commission (FWC) work plan. The work plan was to go over needs, issues, and team responses in relation to the chain of lakes. The City of Maitland hired an environmental specialist, who might be joining staff during these meetings. Staff may also work collectively with the City of Maitland to implement idle wake safety zones within the Maitland side of Lake Maitland.

An update was provided on hazardous algae bloom (HAB) that has been occurring throughout the chain of lakes and Central Florida. Staff has been actively updating the website and working alongside a coalition of Central Florida cities and entities, including the Department of Health, to manage the problem. A cautionary sign was created and placed at Dinky Dock, and it is up to patrons to heed the warnings and act accordingly. Once HAB's goes away, staff will remove the signage. The board asked a few questions about the algae bloom and its toxicity, and staff explained that the toxins are dangerous to humans, and more so, canines. Further explanation was given on how staff handles HAB's and closures associated with it.

NRCS funding was received in the quantity of 4.4 million dollars, dedicated to sedimentation removal. The contract has been awarded, an initial meeting with the agents was held, and the first NRCS project has begun in Winter Park Pines. Staff will keep the board updated on the projects as they move forward.

Staff briefly reminded the board of the Lake Sylvan Dock Party Engagement Event on May 20 from 9 a.m. to 11 a.m.

Mr. Cordell gave lake treatment updates. Staff is on month three of the Lake Bell treatment for hydrilla, and will confirm concentration levels in the following week. It was highlighted that this is part of a long-term, five-year, treatment plan. A few treatments were conducted on Lake Nina and Lake Minnehaha for navigational purposes. A 35-acre treatment of hydrilla was conducted on Lake Sue, on the Winter Park Side, and staff is seeing positive results. Ms. Eby gave a brief update on the Orange County MSTU (Municipal Service Taxing Units) as it relates to Lake Sue. Smaller spot treatments are being executed on the chain of lakes, as needed.

Ms. Monahan provided brief updates to canal closures due to dredging, with Venetian Canal scheduled to be completed sometime in the upcoming week. About 2 to 3 feet will be added to canal depths, depending on the area.

Parking at Dinky Dock is under repair, and although the ramp is open, the parking is not. A brief discussion ensued about a floating dock (sailing platform) on the Rollins College Campus.

Staff informed the board of an upcoming community meeting, on May 23, held to discuss utility projects and hurricane preparedness. There is also a City Commission Work Session planned for June 29 to discuss hurricane preparedness policies. Staff also noted that the Lake Killarney Board had asked for there to be a section in the hurricane preparedness plan specific to Lake Killarney. The document is currently being modified, and will be presented back to this board for review.

Staff has identified a new invasive Asian Swamp Eel in Lake Sue and Virginia, and is in communication with FWC. Electrofishing is being conducted to confirm their presence, with 12 being captured in Lake Virginia and 2 at the mouth of Lake Sue. There is not a plan set in place for the eradication of the eel, as everything is in the research phase as of right now.

Trend data from August 2021 to December 2022 for the chain of lakes was provided. A brief discussion about lake clarity ensued and the potential of displaying clarity levels for the public to see on the website.

c. Stormwater Management

CIP updates were provided. The Seminole Ditch Piping Project is moving along, with staff having applied for the pre-application meeting with St. Johns Water. Staff is also applying for a permit exemption for the Nicolet Ave. Stormwater Pond project, as well as preparing documents for bidding out for construction. The 5-year plan will be brought before this board for review at next months meeting, to ensure all needed projects are accounted for in the budget cycle. Staff is engaging in a large number of flood studies to help in developing the flood control draft document.

8) Board Comments

a. Discussion of Public Comments Received

There were no public comments, therefore, no discussion took place.

9) Upcoming Agenda Items

a. Discussion of Upcoming Agenda Items

Staff will continue to provide content as needed.

10) Adjournment

The meeting adjourned at 1:23 p.m.

Minutes approved by the board on _____.
/s/ Tatia Ghviniashvili, Board Coordinator.

DRAFT



Lakes & Waterways Board

agenda item

item type Public Hearings (Public participation and comment on these matters must be in-person.)	meeting date June 13, 2023
prepared by Victoria Tabor	approved by
board approval	
strategic objective	

subject

Boathouse / Dock Application (BLDC-2023-0012) 1000 Holt Ave

motion / recommendation

background

alternatives / other considerations

fiscal impact

ATTACHMENTS:

[BLDC-2023-0012](#)



LAKE SHORELINE BOATHOUSE/DOCK APPLICATIONS

BLDC-2023-0012

1000 Holt Ave

- Applicant: Rollins College
- Contractor: Secured Dock Builders Inc
- Permitting Agent: Sheila Cichra
- Structure: Dock
- New/Existing: Addition to existing
- Waterbody: Virginia
- Revision to Permit Application Approved 2.14.2023

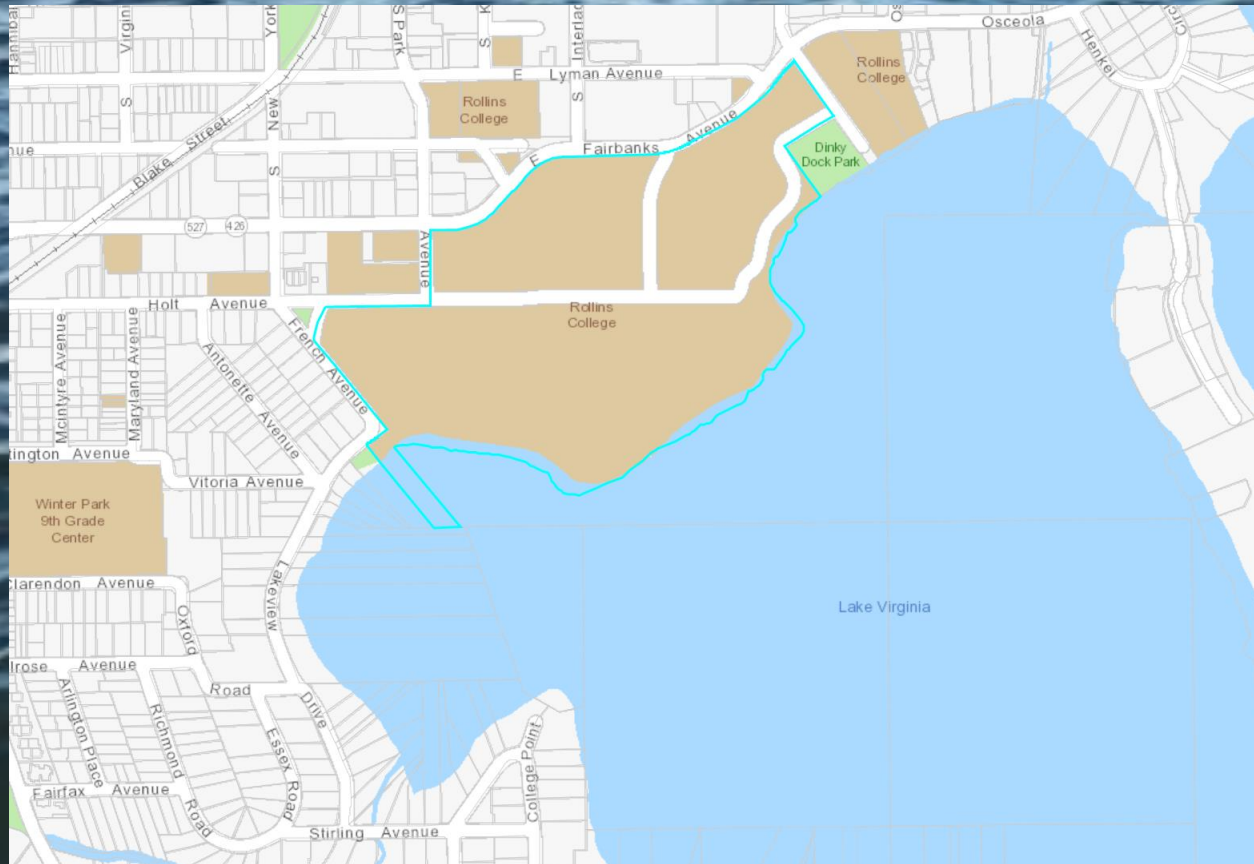
Parameters

Dock Parameter	Proposed	Allowed	Variance Req.?
Total Area (ft ²)	2424 addition (264 more than previously approved), 5593 total	600 max	Yes
Length from OHW (ft)	54.6	30'	Yes
Height of Roof (ft above deck)	No additional	11 max	N/A
Height of Deck (ft above OHW)	1	2 max	No
Enclosures?	No additional	80 ft ² max (no plumbing/water allowed)	N/A
Side Yard Setback(s) (ft)	Over 500'	10 min*	No
Meet Vegetation Criteria?	Yes	50% may be cleared	No

Staff Recommendation: **Approve**
Reviewed by: Joey Cordell

Map View

Basemap



Aerial View



Photos



Photos



Photos



Survey

Specific Purpose Survey

A Portion of Lots 20, 21 and 22, Town of Winter Park, as recorded in Plat Book A, Page 67 and Plat Book B, Page 66, Public Records of Orange County, Florida.

The Purpose of this Survey is to Show Improvements and Topographic Elevations Over an Area Around the Alford Boat House in the Rollins College Winter Park Campus as Specified by the Client.

Flood Datum:
BY PERFORMING A SEARCH WITH THE LOCAL GOVERNING MUNICIPALITY OR WWW.FEMA.GOV, THE PROPERTY APPEARS TO BE LOCATED IN ZONE X, X500, AE. THIS PROPERTY WAS FOUND IN CITY OF WINTER PARK, COMMUNITY NUMBER 120188, DATED 03/07/2014.

CERTIFIED TO:
ROLLINS COLLEGE

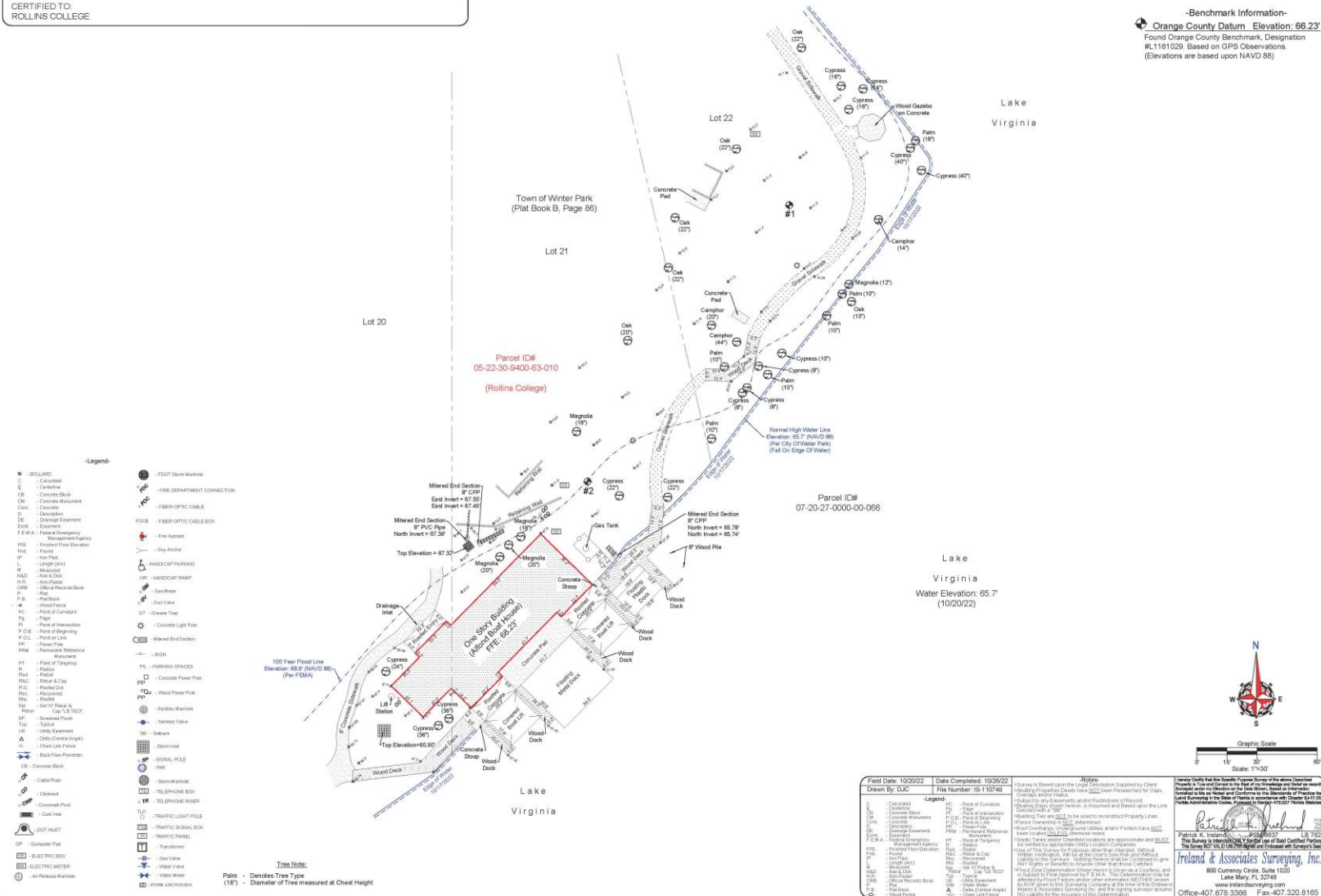
-Site Benchmark Information-

#1
Set 1/2" Rebar & Cap, "LB 7623" on Grass Area
Elevation: 71.37

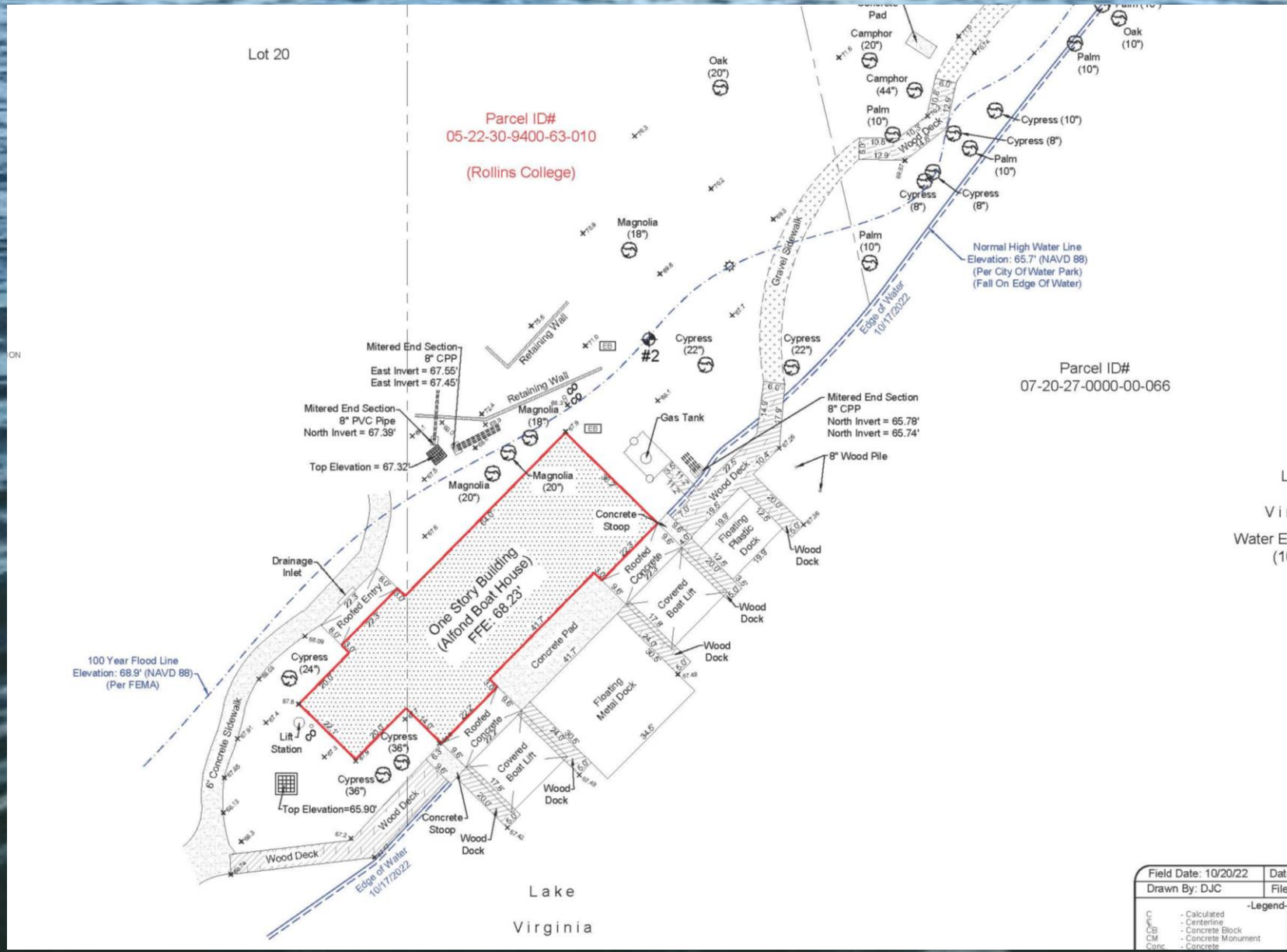
#2
Set 1/2" Rebar & Cap, "LB 7623" on Grass Area
Elevation: 70.13

-Benchmark Information-

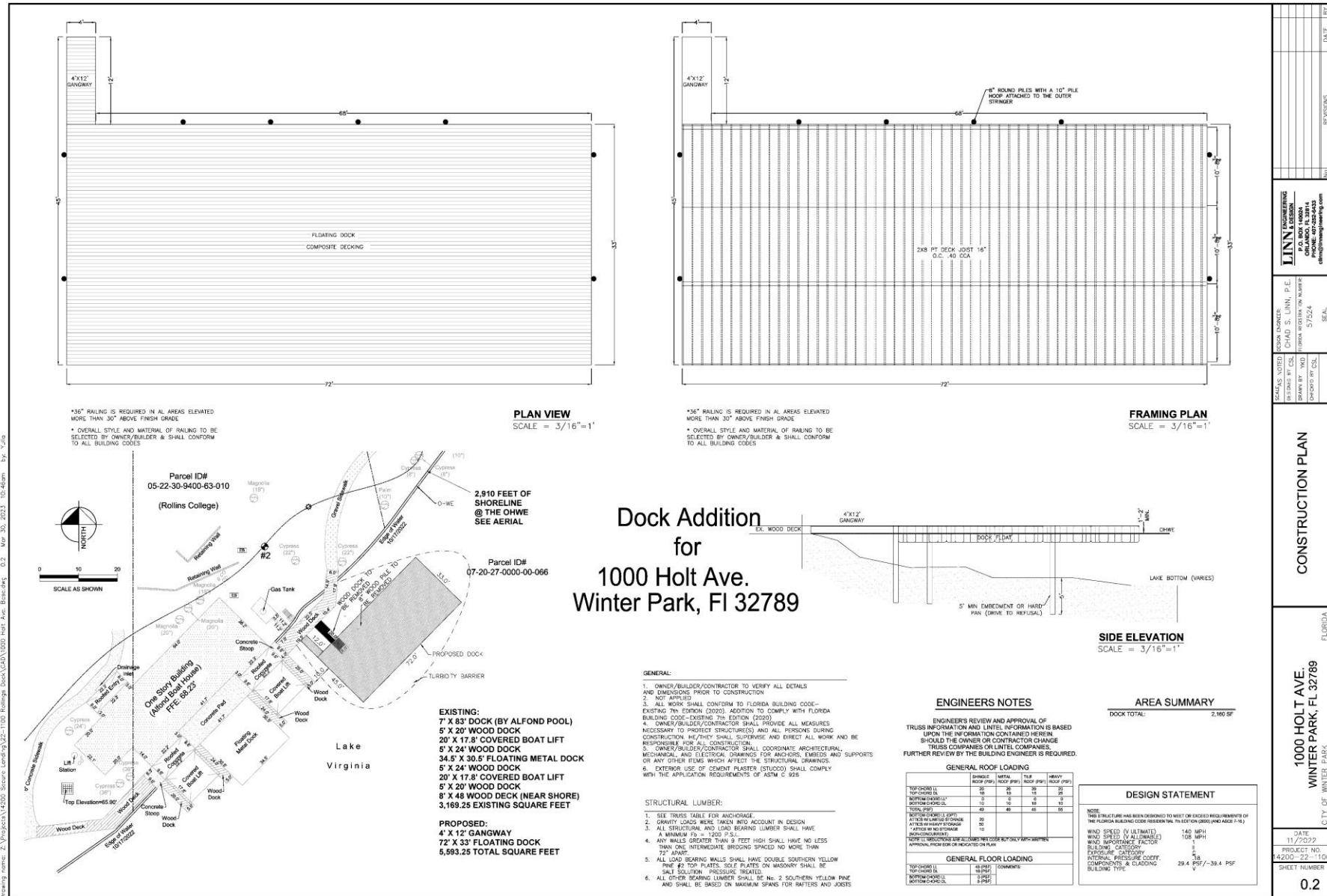
Orange County Datum Elevation: 66.23'
Found Orange County Benchmark, Designation
#1161029. Based on GPS Observations.
(Elevations are based upon NAVD 86)



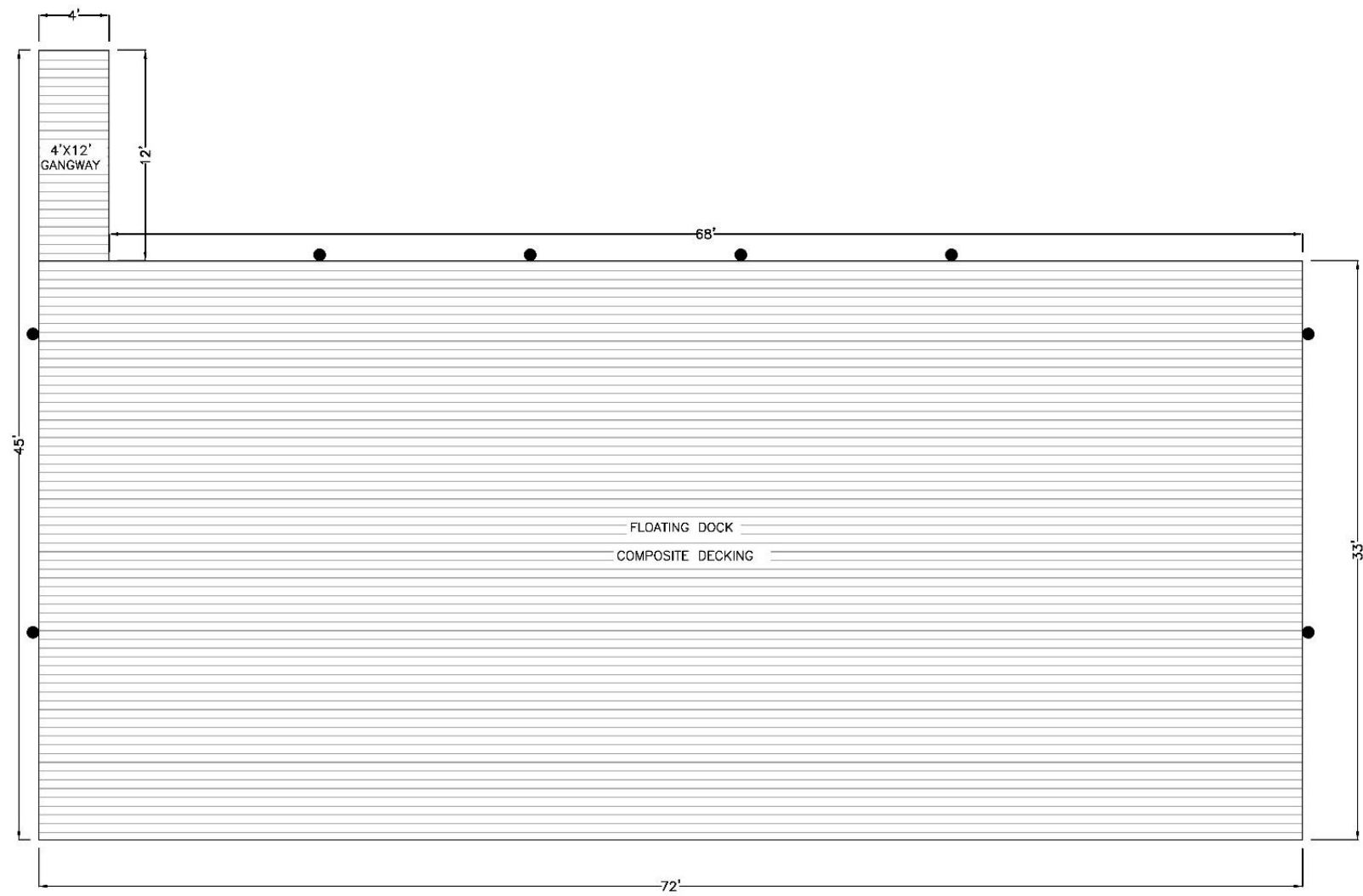
Survey zoomed



Plans



Plans



*36" RAILING IS REQUIRED IN ALL AREAS ELEVATED MORE THAN 30" ABOVE FINISH GRADE

* OVERALL STYLE AND MATERIAL OF RAILING TO BE SELECTED BY OWNER/BUILDER & SHALL CONFORM TO ALL BUILDING CODES

PLAN VIEW

SCALE = 3/16"=1'

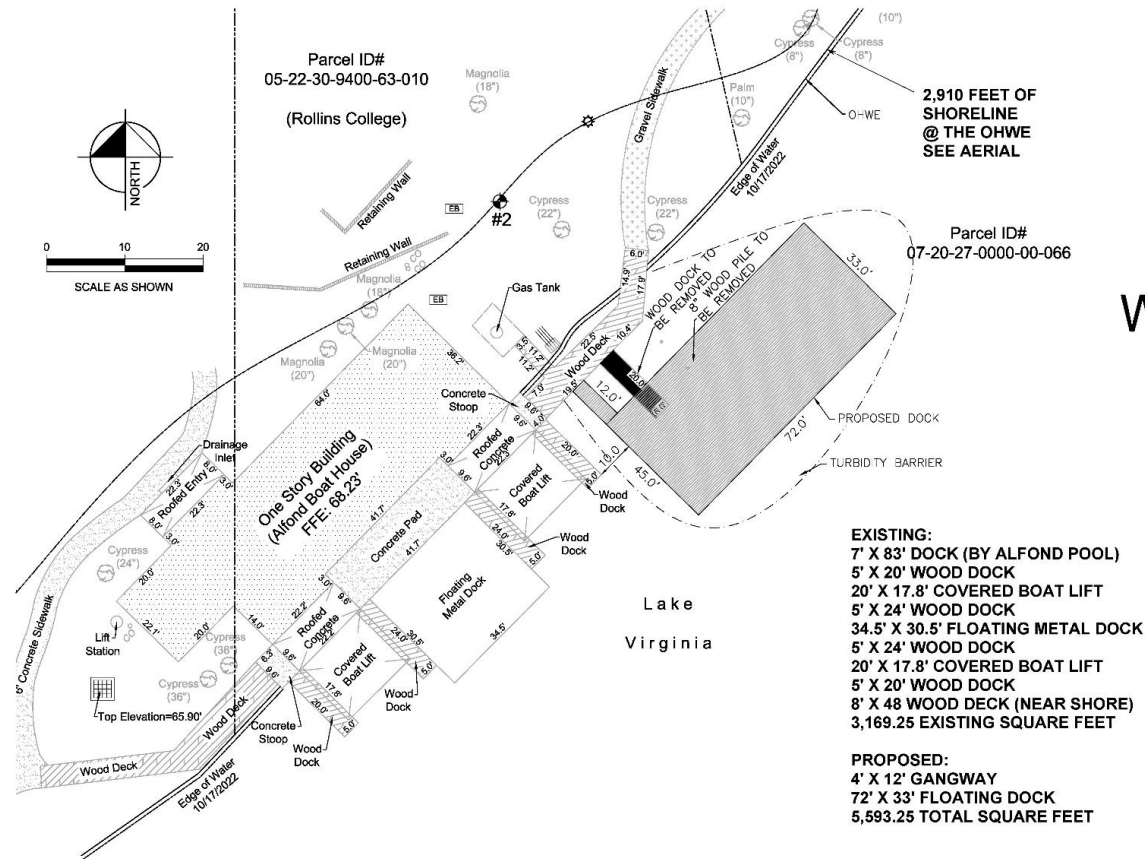
Plans

* OVERALL STYLE AND MATERIAL OF RAILING TO BE
SELECTED BY OWNER/BUILDER & SHALL CONFORM
TO ALL BUILDING CODES

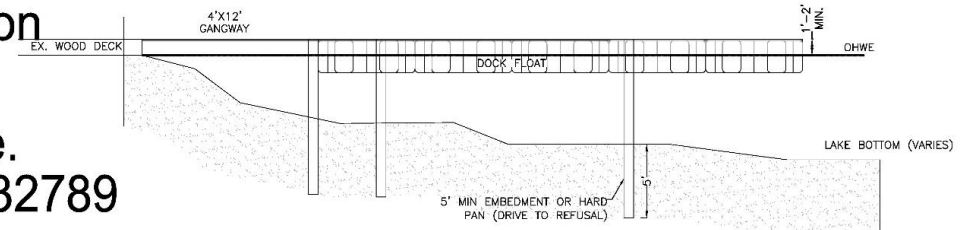
PLAN VIEW
SCALE = 3/16"=1'

* OVERALL STYLE AND MATERIAL OF RAILING TO BE
SELECTED BY OWNER/BUILDER & SHALL CONFORM
TO ALL BUILDING CODES

FRAMING PLAN
SCALE = 3/16"=1'



Dock Addition
EX. WOOD DECK
for
1000 Holt Ave.
Winter Park, FL 32789



SIDE ELEVATION
SCALE = 3/16"=1'

GENERAL:

1. OWNER/BUILDER/CONTRACTOR TO VERIFY ALL DETAILS AND DIMENSIONS PRIOR TO CONSTRUCTION
2. NOT APPLIED
3. ALL WORK SHALL CONFORM TO FLORIDA BUILDING CODE- EXISTING 7TH EDITION (2020). ADDITION TO COMPLY WITH FLORIDA BUILDING CODE-EXISTING 7TH EDITION (2020)
4. OWNER/BUILDER/CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY TO PROTECT STRUCTURE(S) AND ALL PERSONS DURING CONSTRUCTION. HE/THAT SHE SHALL ADVISE AND DIRECT ALL WORK AND BE RESPONSIBLE FOR ALL CONSTRUCTION.
5. OWNER/BUILDER/CONTRACTOR SHALL COORDINATE ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS FOR ANCHORS, EMBEDS AND SUPPORTS OR ANY OTHER ITEMS WHICH MAY AFFECT THE STRUCTURAL DRAWINGS.
6. EXTERIOR USE OF CEMENT PLASTER (STUCCO) SHALL COMPLY WITH THE APPLICATION REQUIREMENTS OF ASTM C 926

STRUCTURAL LUMBER:

1. SEE TRUSS TABLE FOR ANCHORAGE.
2. GRAVITY LOADS WERE TAKEN INTO ACCOUNT IN DESIGN.
3. ALL STRUCTURAL AND LOAD BEARING LUMBER SHALL HAVE
A MINIMUM FB = 1200 P.S.I.
4. ANY JOISTS GREATER THAN 9 FEET HIGH SHALL HAVE NO LESS
THAN ONE INTERMEDIATE BRIDGING SPACED NO MORE THAN
72" APART.
5. ALL LOAD BEARING WALLS SHALL HAVE DOUBLE SOUTHERN YELLOW
PINE #2 TOP PLATES. SOLE PLATES ON MASONRY SHALL BE
CONCRETE SOLUTIONS UNLESS NOTED.
6. ALL OTHER BEARING LUMBER SHALL BE No. 2 SOUTHERN YELLOW PINE
AND SHALL BE BASED ON MAXIMUM SPANS FOR RAFTERS AND JOISTS

ENGINEERS NOTES

ENGINEER'S REVIEW AND APPROVAL OF TRUSS INFORMATION AND LINTEL INFORMATION IS BASED UPON THE INFORMATION CONTAINED HEREIN. SHOULD THE OWNER OR CONTRACTOR CHANGE TRUSS COMPANIES OR LINTEL COMPANIES, FURTHER REVIEW BY THE BUILDING ENGINEER IS REQUIRED.

AREA SUMMARY

DOCK TOTAL: 2,160 SF

GENERAL ROOF LOADING

	SINGLE ROOF (PSF)	METAL ROOF (PSF)	TILE ROOF (PSF)	HEAVY ROOF (PSF)
TOP CHORD LL	20	20	20	20
TOP CHORD DL	10	10	15	25
BOTTOM CHORD LL *	0	0	0	0
BOTTOM CHORD DL	10	10	15	10
TOTAL (PSF)	40	40	45	55
BOTTOM CHORD LL (OPT)				
ATTICS W/ LIMITED STORAGE	20			
ATTICS W/ HEAVY STORAGE	50			
* ATTICS W/ NO STORAGE (NON-CONCURRENT)	10			

GENERAL FLOOR LOADING

GENERAL FLOOR LOADING		
TOP CHORD LL	40 (PSF)	COMMENTS:
TOP CHORD DL	10 (PSF)	
BOTTOM CHORD LL	0 (PSF)	
BOTTOM CHORD DL	5 (PSF)	

DESIGN STATEMENT

NOTE:	
THIS STRUCTURE HAS BEEN DESIGNED TO MEET OR EXCEED REQUIREMENTS OF THE FLORIDA BUILDING CODE RESIDENTIAL 7th EDITION (2020) (AND ASCE 7-16).	
WIND SPEED (V ULTIMATE)	140 MPH
WIND SPEED (V ALLOWABLE)	108 MPH
WIND IMPORTANCE FACTOR	1
BUILDING CATEGORY	II
EXPOSURE CATEGORY	C
INTERNAL PRESSURE COEFF.	+/-
COMPONENTS & CLADDING	29.4 PSF
BUILDING TYPE	SF/-39.4 PSF



Lakes & Waterways Board

agenda item

item type Public Hearings (Public participation and comment on these matters must be in-person.)	meeting date June 13, 2023
prepared by Victoria Tabor	approved by
board approval	
strategic objective	

subject

Boathouse / Dock Application (BLDC-2023-0135) 2111 Via Tuscany

motion / recommendation

background

alternatives / other considerations

fiscal impact

ATTACHMENTS:

[BLDC-2023-0135](#)



LAKE SHORELINE BOATHOUSE/DOCK APPLICATIONS

BLDC-2023-0135

2111 Via Tuscany

- Applicant: Winter Park Racquet Club
- Contractor: Albert Cichra Builders
- Permitting Agent: Sheila Cichra
- Structure: Dock
- New/Existing: Existing
- Waterbody: Maitland

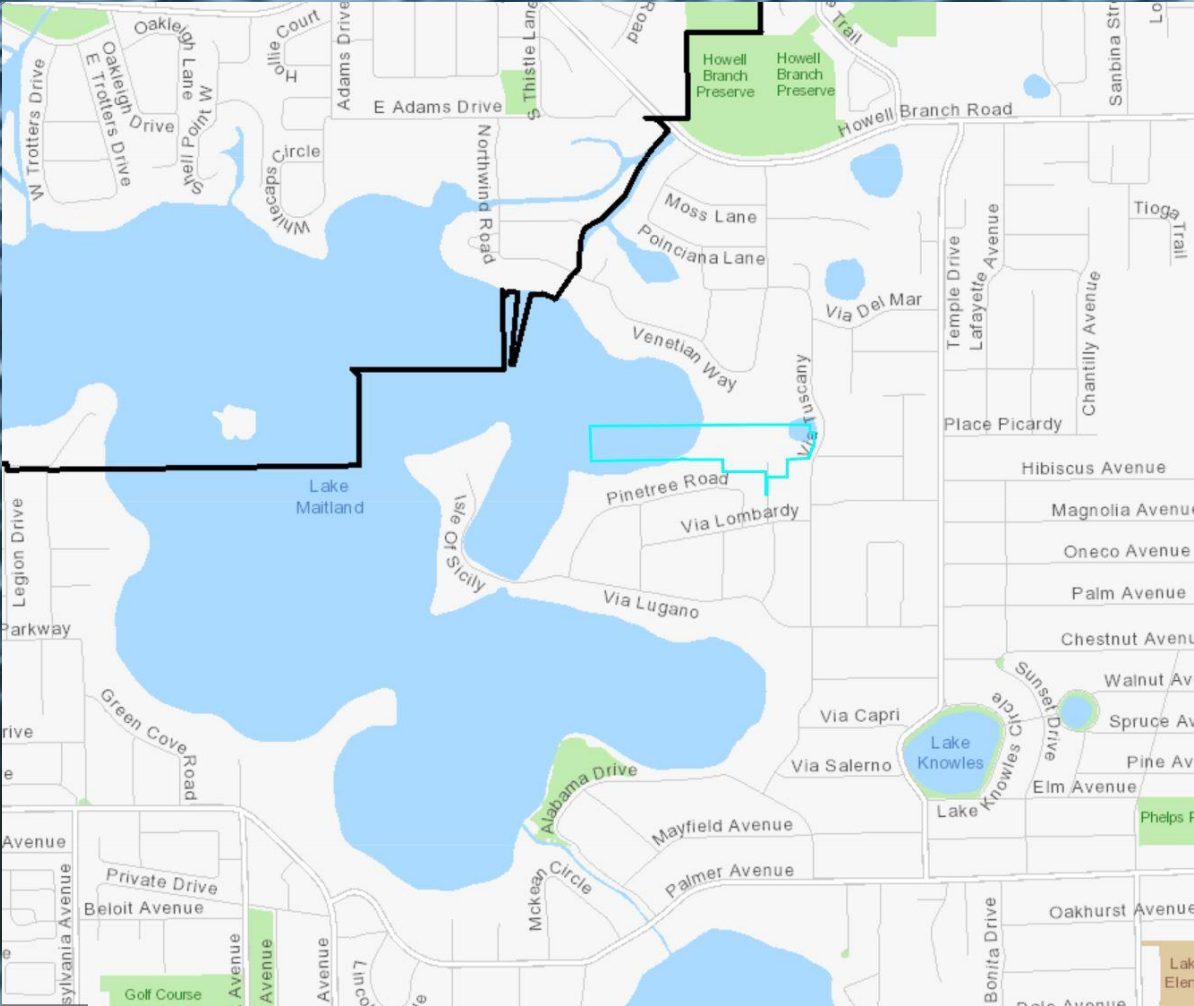
Parameters

Dock Parameter		Proposed	Allowed	Variance Req.?
Total Area (ft ²)	1,869	882 New (North) 987 Existing (South)	600 max	Yes
Length from OHW (ft)		55 New (North) 92 Existing (South)	30	Yes
Height of Roof (ft above deck)		N/A	11 max	NA
Height of Deck (ft above OHW)		1.5	2 max	No
Enclosures?		No	80 ft ² max (no plumbing/water allowed)	NA
Side Yard Setback(s) (ft)		>20	10 min*	N/A
Meet Vegetation Criteria?		Yes	50% or 50 ft which ever is less may be cleared	N/A

Staff Recommendation: Approve
Reviewed by: Joey Cordell

Map View

Basemap



Aerial View



Photos



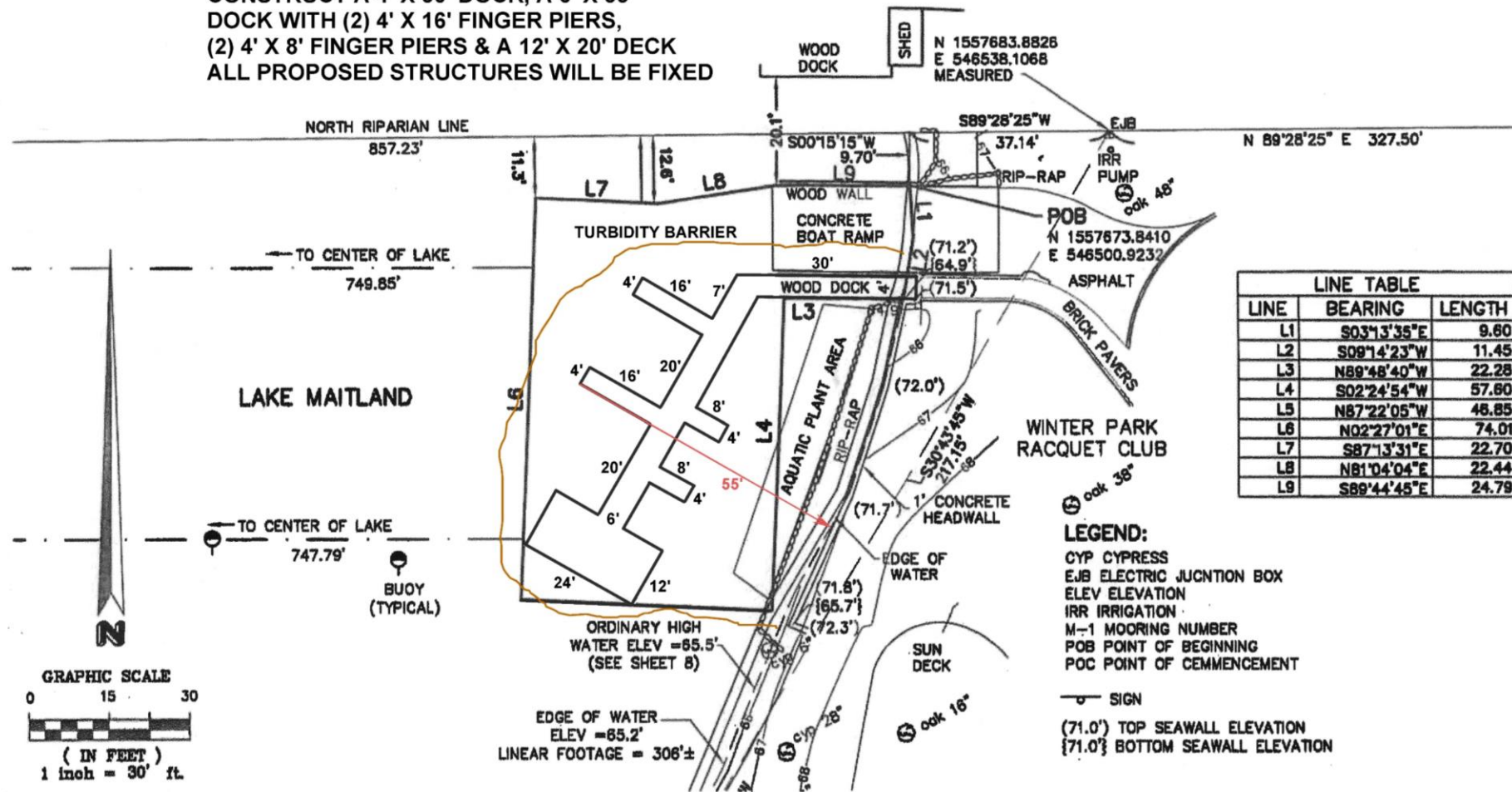
Photos



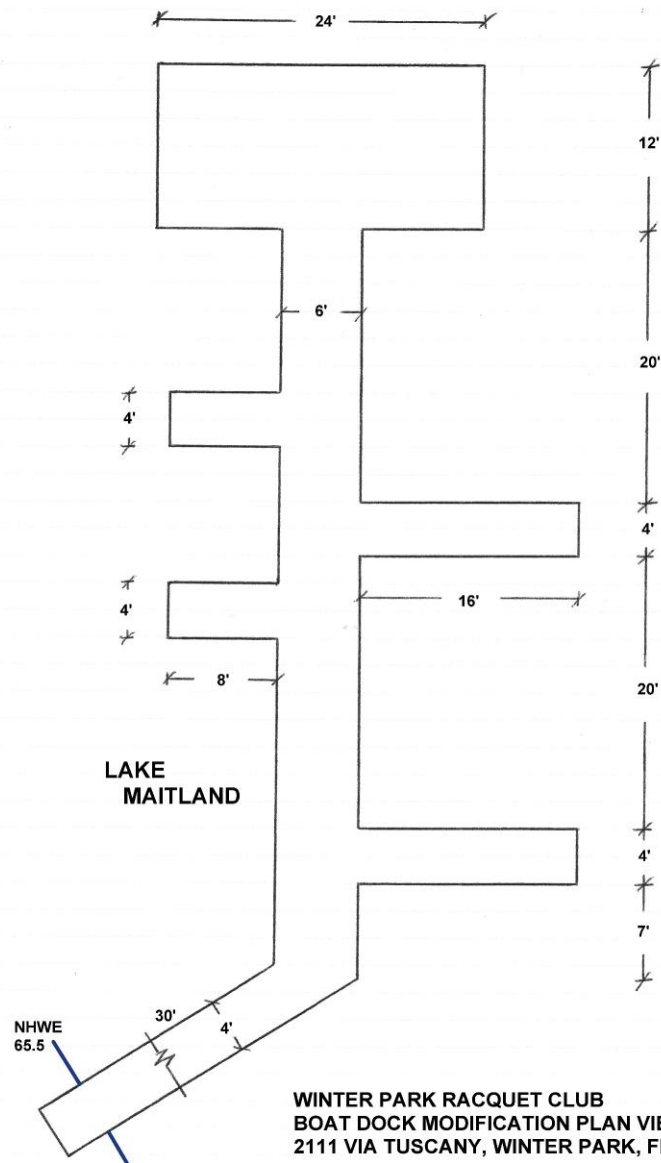
Site Plan

**WINTER PARK RACQUET CLUB
BOAT DOCK MODIFICATION SITE PLAN
2111 VIA TUSCANY, WINTER PARK, FL 32789**

CONSTRUCT A 4' X 30' DOCK, A 6' X 55' DOCK WITH (2) 4' X 16' FINGER PIERS, (2) 4' X 8' FINGER PIERS & A 12' X 20' DECK ALL PROPOSED STRUCTURES WILL BE FIXED



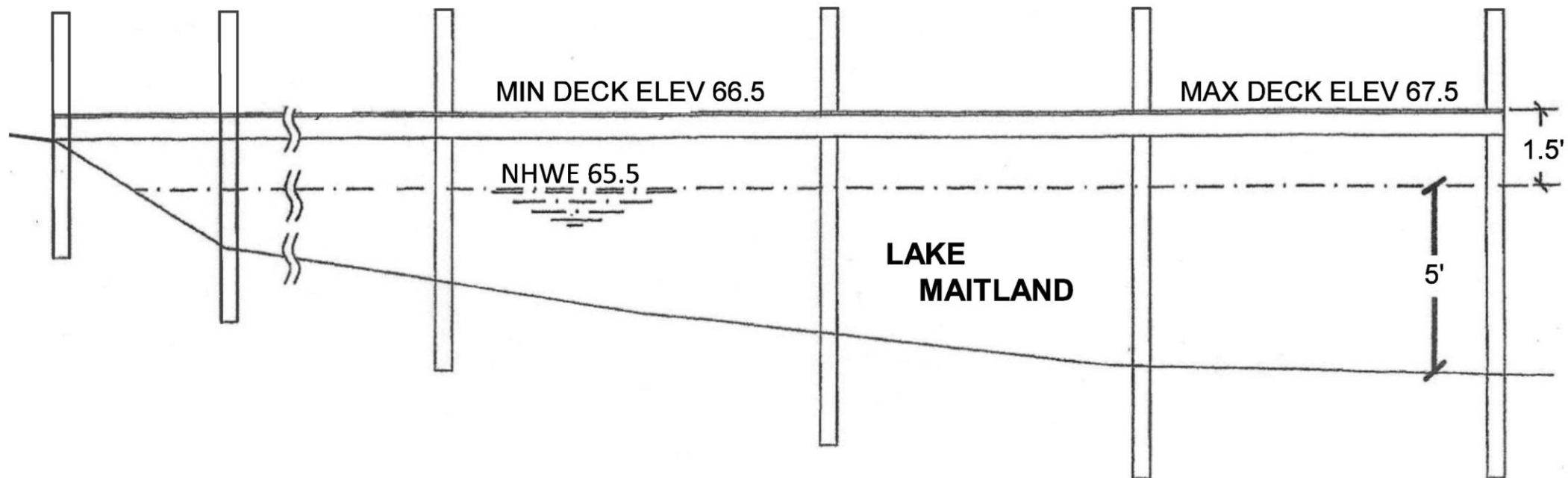
Plans



WINTER PARK RACQUET CLUB
BOAT DOCK MODIFICATION PLAN VIEW
2111 VIA TUSCANY, WINTER PARK, FL 32789

Plans

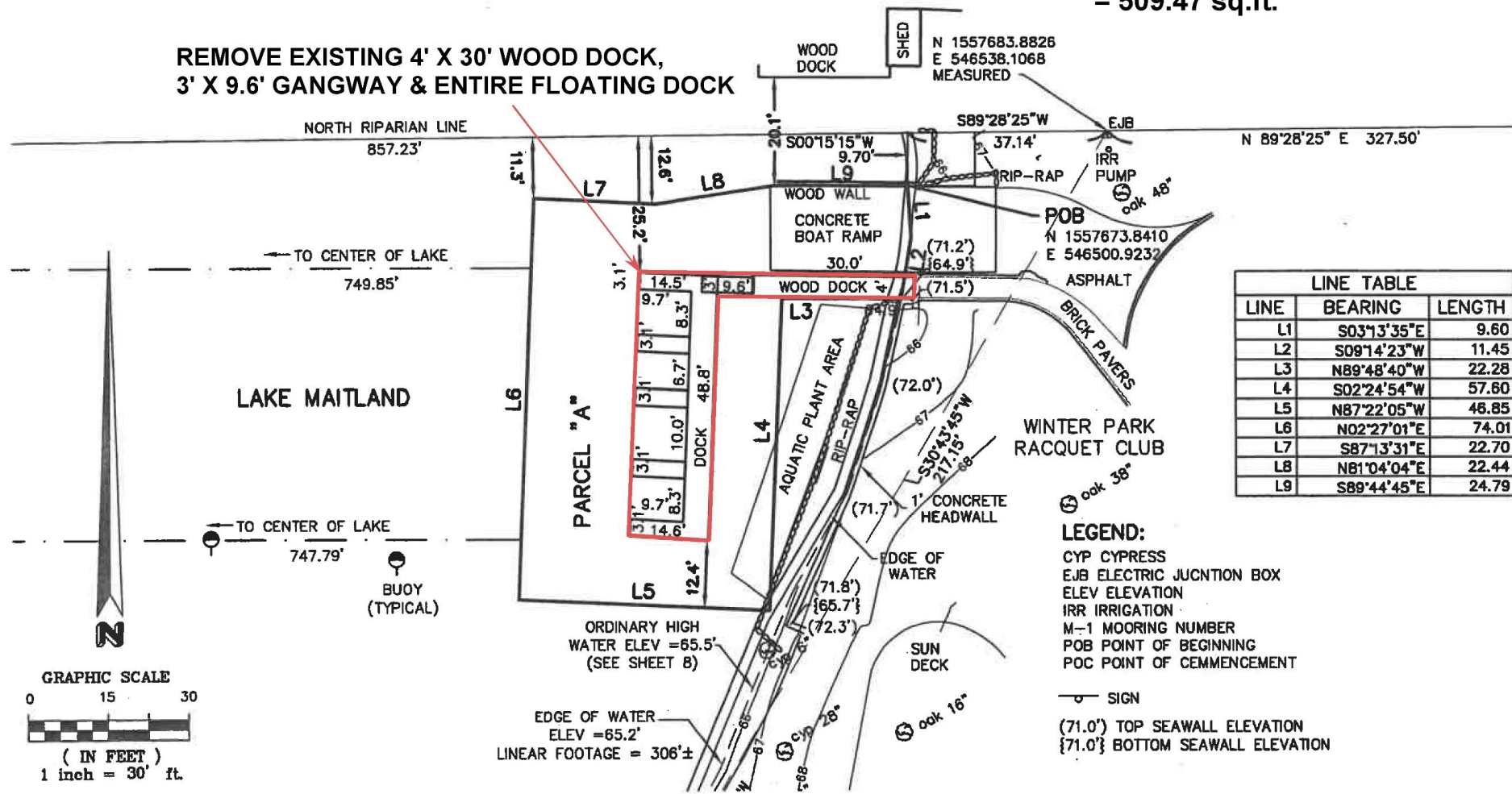
**WINTER PARK RACQUET CLUB
BOAT DOCK MODIFICATION ELEVATION
2111 VIA TUSCANY, WINTER PARK, FL 32789**



Demo Plans

WINTER PARK RACQUET CLUB DEMO PLAN
2111 VIA TUSCANY, WINTER PARK, FL 32789

Existing Square Footage:
4.9' x 48.8' (main walkway or "dock")
+ 5 x 3.1' x 9.7' (finger piers)
+ 4' x 30' (wood dock)
= 509.47 sq.ft.





Lakes & Waterways Board

agenda item

item type Public Hearings (Public participation and comment on these matters must be in-person.)	meeting date June 13, 2023
prepared by Victoria Tabor	approved by
board approval	
strategic objective	

subject

Boathouse / Dock Application (BLDR-2023-0224) 2600 Venetian Way

motion / recommendation

background

alternatives / other considerations

fiscal impact

ATTACHMENTS:

[BLDR-2023-0224](#)



LAKE SHORELINE BOATHOUSE/DOCK APPLICATIONS

BLDR-2023-0224

2600 Venetian Way

- Applicant: David and Linnette Johnson
- Contractor: Docks and Dwellings Construction Inc
- Permitting Agent: Jonathan Geiger
- Structure: Boathouse
- New/Existing: New
- Waterbody: Howell Creek North of Lake Maitland

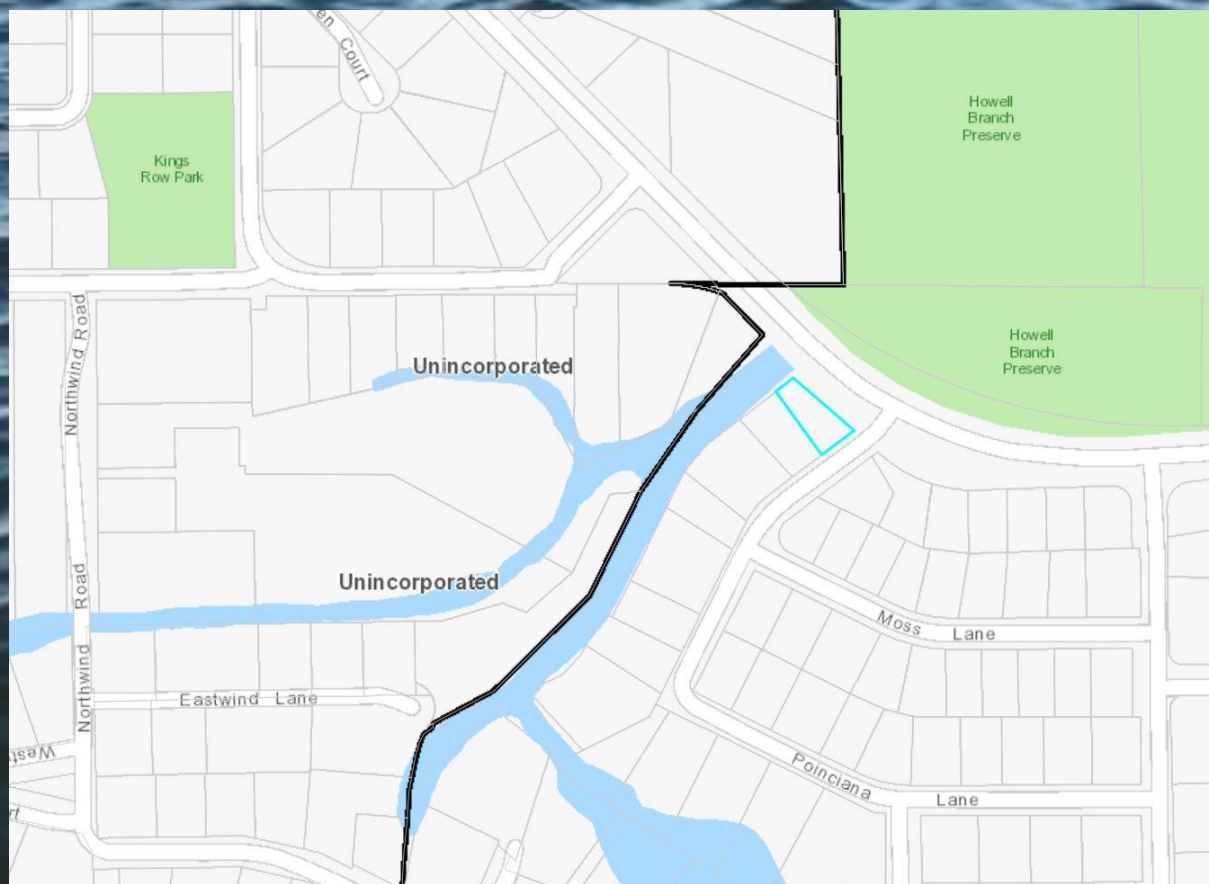
Parameters

Dock Parameter	Proposed	Allowed	Variance Req.?
Total Area (ft ²)	577	600 max	No
Length from OHW (ft)	26	30	No
Height of Roof (ft above deck)	11	11 max	NA
Height of Deck (ft above OHW)	1	2 max	No
Enclosures?	55	80 ft ² max (no plumbing/water allowed)	NA
Side Yard Setback(s) (ft)	5	10 min*	N/A
Meet Vegetation Criteria?	Yes	50% or 50 ft which ever is less may be cleared	N/A

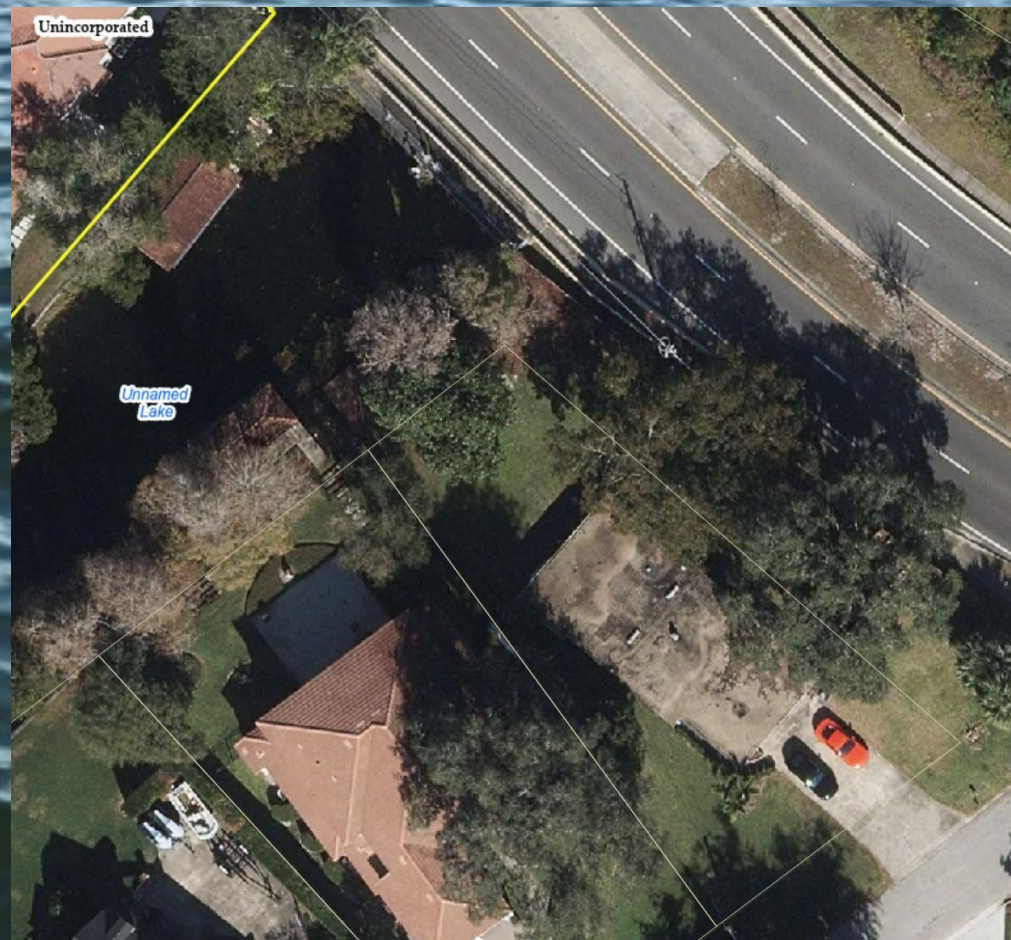
Staff Recommendation: Denial Due to Hazardous Location
Reviewed by: Joey Cordell

Map View

Basemap



Aerial View



Map View

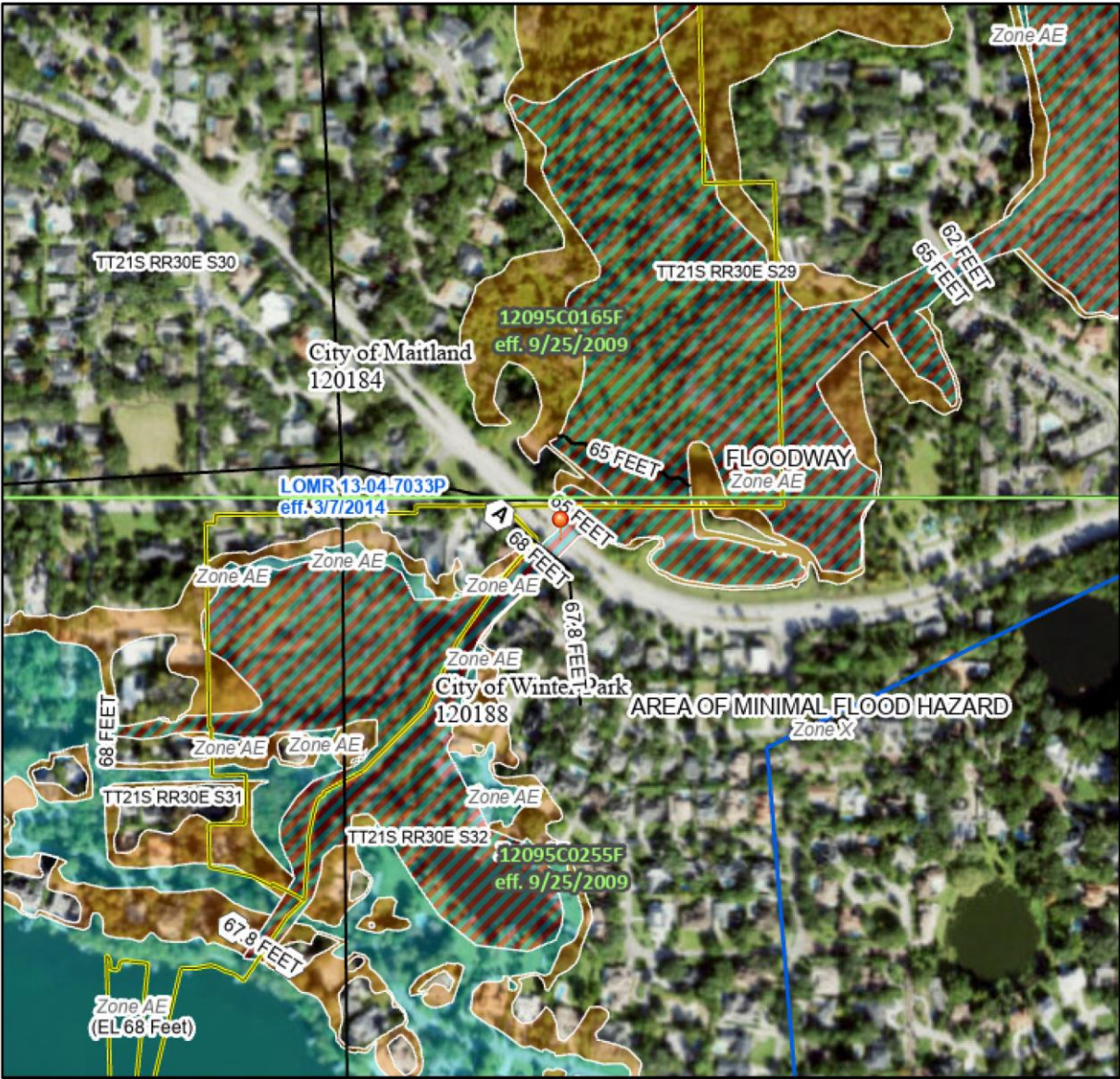
Birdseye



National Flood Hazard Layer FIRMette



81°20'52"W 28°37'45"N



0 250 500 1,000 1,500 2,000 Feet 1:6,000
Basemap: USGS National Map: Orthoimagery: Data refreshed October, 2020
81°20'14"W 28°37'13"N

Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS		Without Base Flood Elevation (BFE) Zone A, V, A99
		With BFE or Depth Zone AE, AO, AH, VE, AR
		Regulatory Floodway
OTHER AREAS OF FLOOD HAZARD		0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
		Future Conditions 1% Annual Chance Flood Hazard Zone X
		Area with Reduced Flood Risk due to Levee. See Notes, Zone X
		Area with Flood Risk due to Levee Zone D
OTHER AREAS		NO SCREEN Area of Minimal Flood Hazard Zone X
		Effective LOMRs
GENERAL STRUCTURES		Area of Undetermined Flood Hazard Zone D
		Channel, Culvert, or Storm Sewer
OTHER FEATURES		Levee, Dike, or Floodwall
		Cross Sections with 1% Annual Chance Water Surface Elevation
		Coastal Transect
		Base Flood Elevation Line (BFE)
		Limit of Study
		Jurisdiction Boundary
		Coastal Transect Baseline
	Profile Baseline	
MAP PANELS		Digital Data Available
		No Digital Data Available
		Unmapped

The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards.

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 6/5/2023 at 1:27 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

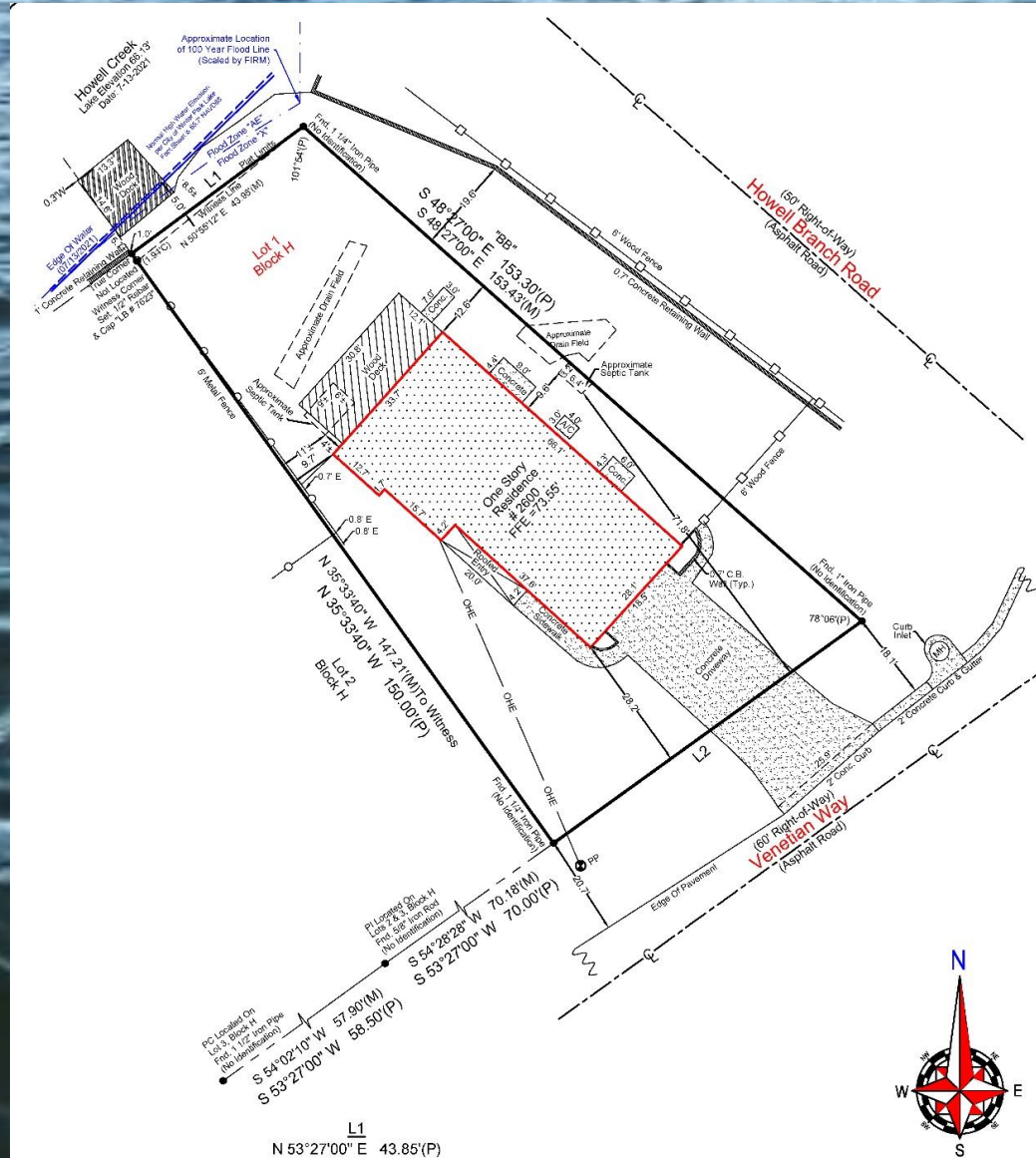
Photos



Photos



Survey



CANAL

SURVEY NOTES
CONCRETE DRIVE CROSSING PROPERTY LINE ON SOUTHEASTERLY SIDE OF LOT.

THERE ARE FENCES NEAR THE BOUNDARY OF THE PROPERTY.

THERE ARE CONCRETE WALLS NEAR THE BOUNDARY OF THE PROPERTY.

PROPERTY SUPPLIED BY CITY WATER AND SEWER.

PAGE 2 OF 2 PAGES
BOUNDARY SURVEY

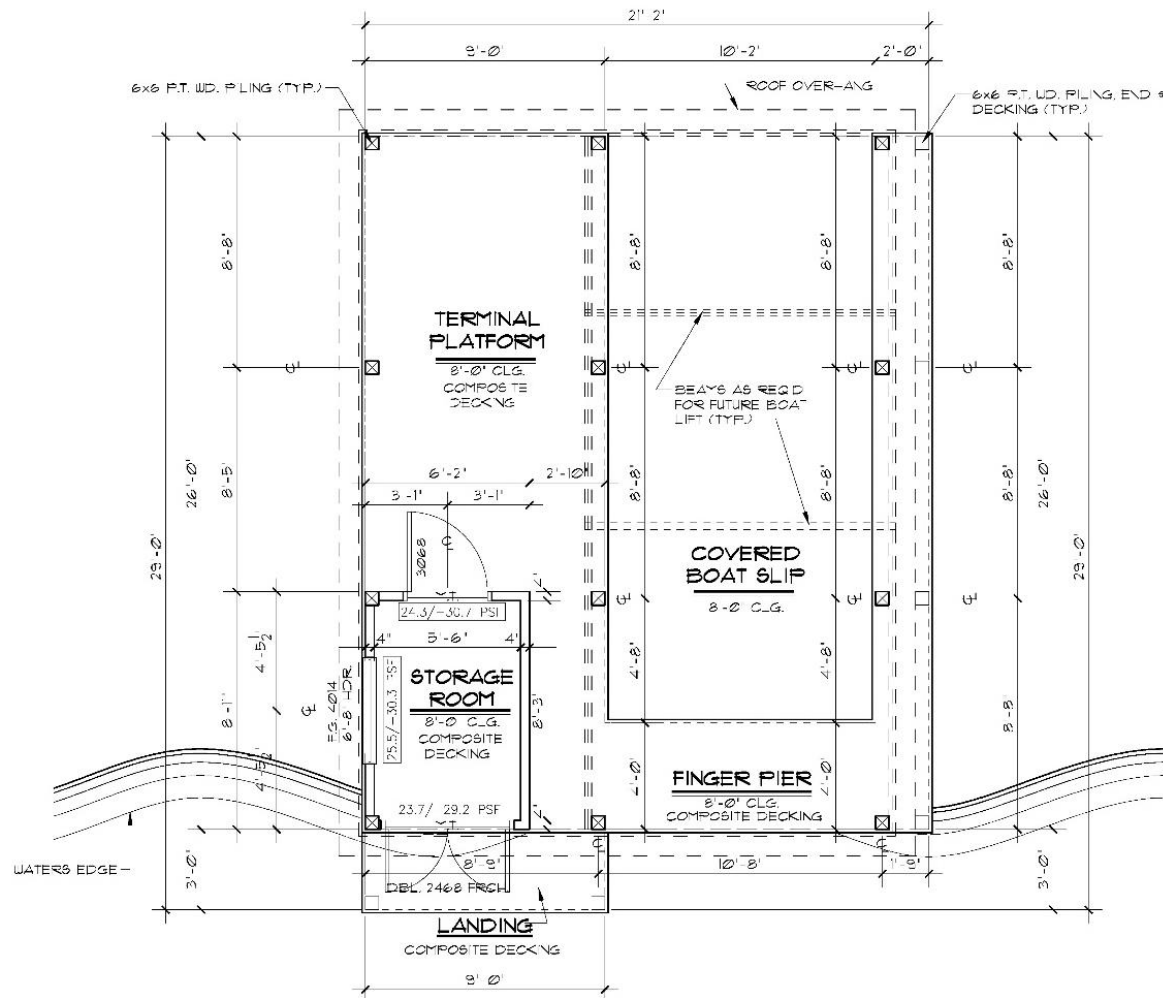
L.B.#6135

TARGET
SURVEYING, INC.

8001 CORPORATE WAY SUITE 210
WEST PALM BEACH, FL 33407
PHONE (561) 940-4800
FACSIMILE (561) 940-0576
STATEWIDE PHONE (800) 275-4201
STATEWIDE FACSIMILE (800) 741-0079

[illegible]

Plans



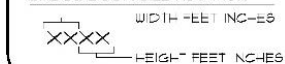
DOCK AREAS (SQ. FT.)

TERMINAL PLATFORM	179
COV. BOAT SLIP	224
FINGER PIER	83
STORAGE ROOM	55
LANDING	26
TOTAL	511

WINDOW and DOOR LEGEND

EEEO	EMERGENCY ESCAPE AND RESCUE OPENING
TEMP	TEMPERED GLAZING
OBS	OBSCURED GLAZING
SH	SINGLE HUNG WINDOW
DH	DOUBLE HUNG WINDOW
HR	HORIZONTAL ROLLER WINDOW
CS	CASEMENT WINDOW
FG	FIXED GLASS
BC	BALL CATCH

WINDOW/DOOR SIZE NOTATION



Letter of No Objection

City of Winter Park Approval Letter From Adjacent Neighbor for Dock Setbacks

This letter is to confirm to confirm that MARTIN WHITE (Name of Adjacent Property Owner) who is owner of the property located at 2550 Venetian Way, Winter Park, FL 32789 approves of a dock being built at 2600 Venetian Way, Winter Park, FL 32789 with a side setback from my property of 5'.



Name: MARTIN WHITE

Date: 3-6-23

Address: 2550 Venetian Way, Winter Park, FL 32789



Name: Linnette Johnson

Date: 3/10/2023

Address: 2600 Venetian Way, Winter Park, FL 32789



Lakes & Waterways Board

agenda item

item type Public Hearings (Public participation and comment on these matters must be in-person.)	meeting date June 13, 2023
prepared by Victoria Tabor	approved by
board approval	
strategic objective	

subject

Boathouse / Dock Application (BLDR-2023-0471) 255 Stirling Ave

motion / recommendation

background

alternatives / other considerations

fiscal impact

ATTACHMENTS:

[BLDR-2023-0471](#)



LAKE SHORELINE BOATHOUSE/DOCK APPLICATIONS

BLDR-2023-0471

255 Sterling Way

- Applicant: Marilyn Shapiro
- Contractor:
- Permitting Agent: Jackie Lloyd
- Structure: Boathouse
- New/Existing: New
- Waterbody: Virginia

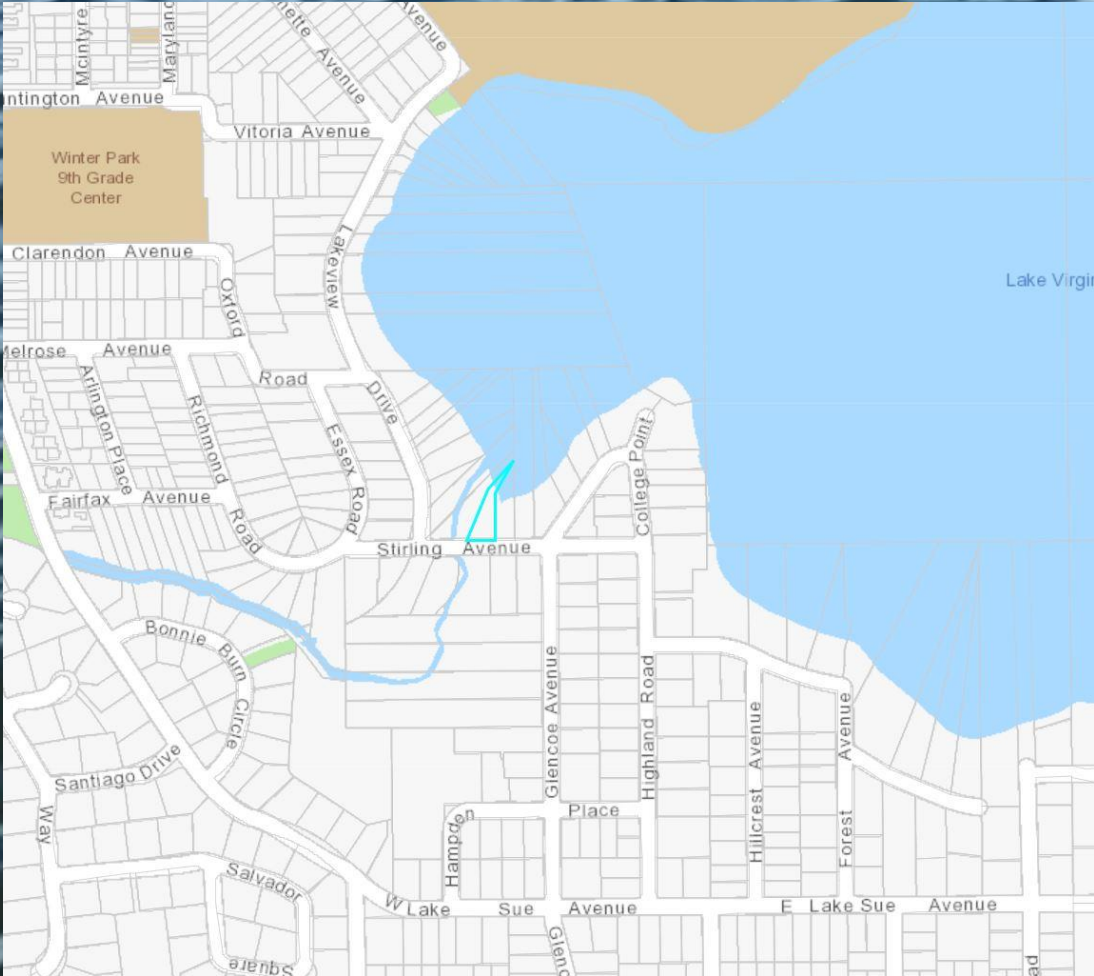
Parameters

Dock Parameter	Proposed	Allowed	Variance Req.?
Total Area (ft ²)	567	600 max	No
Length from OHW (ft)	33	30	Yes
Height of Roof (ft above deck)	11	11 max	NA
Height of Deck (ft above OHW)	2	2 max	No
Enclosures?	No	80 ft ² max (no plumbing/water allowed)	NA
Side Yard Setback(s) (ft)	10	10 min*	N/A
Meet Vegetation Criteria?	Yes	50% or 50 ft which ever is less may be cleared	N/A

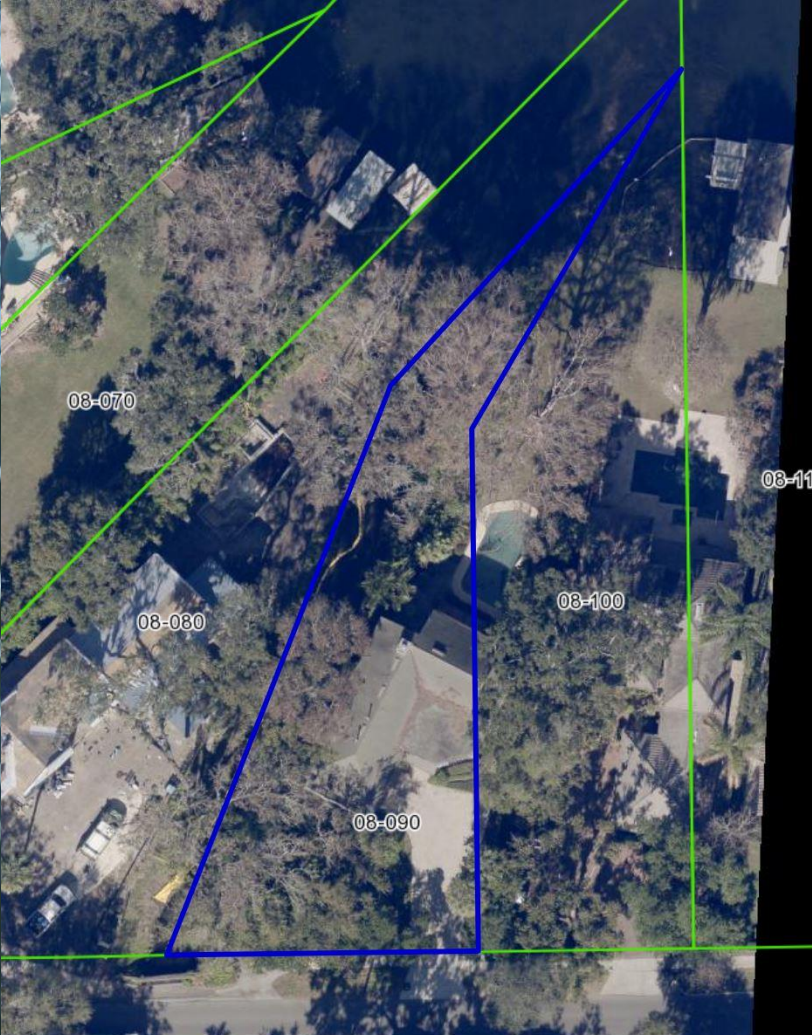
Staff Recommendation: Denial as is Due to Hazardous Flow Way
Reviewed by: Joey Cordell

Map View

Basemap



Aerial View



Photos



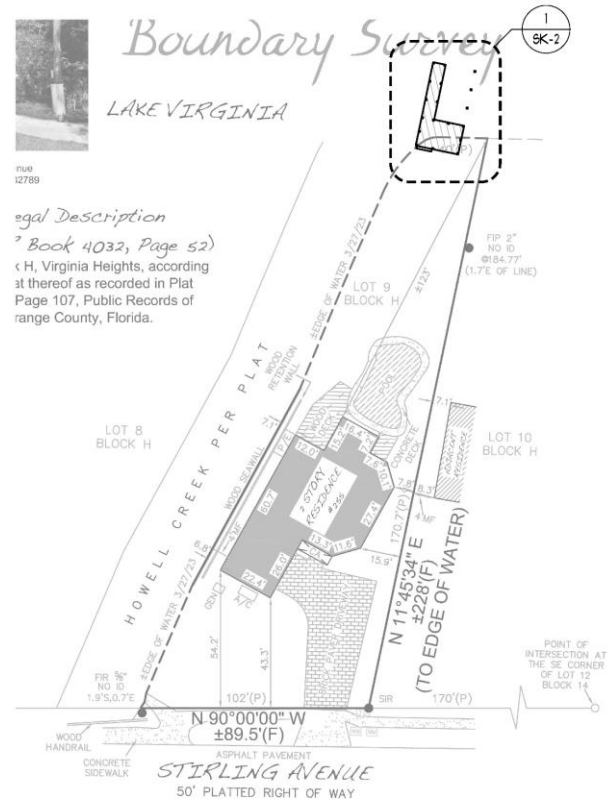
Photos





FILE
12789

Legal Description
Book 4032, Page 52)
H, Virginia Heights, according
at thereof as recorded in Plat
Page 107, Public Records of
range County, Florida.



SURVEY PLAN
SCALE: 1" = 30'-0"

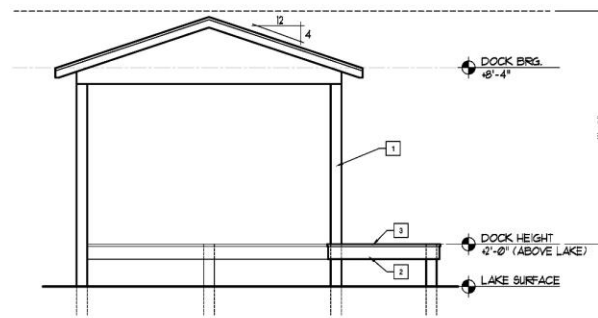


alba
ENGINEERING
10000 N. W. 11th Ave., Suite 100
Miami, FL 33150
(305) 555-1111

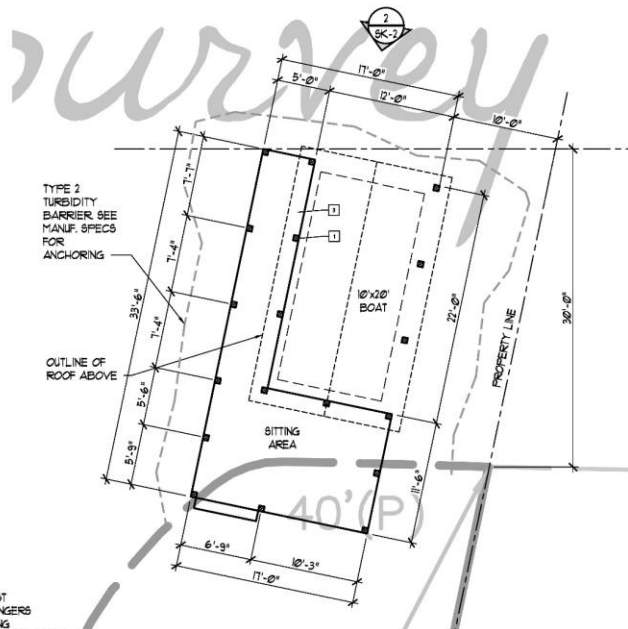
Nu Design
Nu Design Builders, Inc.
431 E. Horatio Ave., Suite 200
Maitland, FL 32751
(407) 363.3598
(407) 982.7161

Stirling Dock Addition
255 Stirling Avenue
Winter Park, FL 32751

SK-1



FRONT ELEVATION
SCALE: 1/4" = 1'-0"



- MATERIAL LIST**
1. P.T. 6x6 WOOD POST
 2. P.T. 2x8 WOOD STRINGERS
 3. COMPOSITE DECKING
 4. X-BRACING # EVERY OTHER 6x6 PAIR
 5. STAINLESS STEEL BOLTS/WASHERS & NUTS
 6. COATED OR GALVANIZED SCREWS FOR DECKING

DIMENSION PLAN
SCALE: 1/8" = 1'-0"



alba
ENGINEERING
DESIGN, CONSTRUCTION
PERMITS, INSPECTIONS
PROFESSIONAL ENGINEER
FL 12000

Nu Design
Nu Design Builders, Inc.
431 E. Horatio Ave, Suite 230
Maitland, FL 32751
(407) 383.3998
(407) 962.7161

Stirling Dock Addition
255 Stirling Avenue
Winter Park, FL 32751

SK-2



Lakes & Waterways Board

agenda item

item type	Staff Updates	meeting date	June 13, 2023
prepared by	Victoria Tabor	approved by	
board approval			
strategic objective			

subject

Winter Park Police Department

motion / recommendation

background

alternatives / other considerations

fiscal impact



Lakes & Waterways Board

agenda item

item type	Staff Updates	meeting date	June 13, 2023
prepared by	Victoria Tabor	approved by	
board approval			
strategic objective			

subject

Lakes Management

motion / recommendation

background

alternatives / other considerations

fiscal impact

ATTACHMENTS:

[Lakes Update 2023.06](#)

ATTACHMENTS:

[FLOOD MGMT](#)

ATTACHMENTS:

[Fertilizer Rules Postcard](#)

ATTACHMENTS:

[Board Appreciation Save the Date](#)



Lakes and Waterways Advisory Board

June 2023

Lakes Updates

- NRCS Update
- Monthly Dock Party – Lake Bell June 24th
- Treatments
 - Lake Bell – Ongoing Full Lake Hydrilla Treatment
 - Lake Sue Hydrilla – Spot Treatment on Orlando side
 - Chain of Lakes – Spot Treatment for Hydrilla
 - Maintenance – Canals Open, Dinky Dock Park Open
- Eelgrass Efforts
- Telemetry Stations
- Fertilizer Postcard
- Online Boat Decal
- Hurricane Flood Management Guide Update
 - City Commission work session June 29th







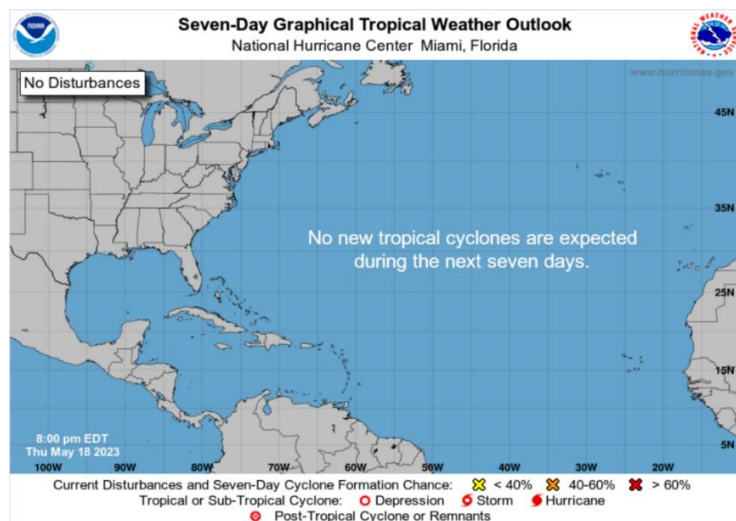


CITY OF WINTER PARK FLOOD MANAGEMENT GUIDE

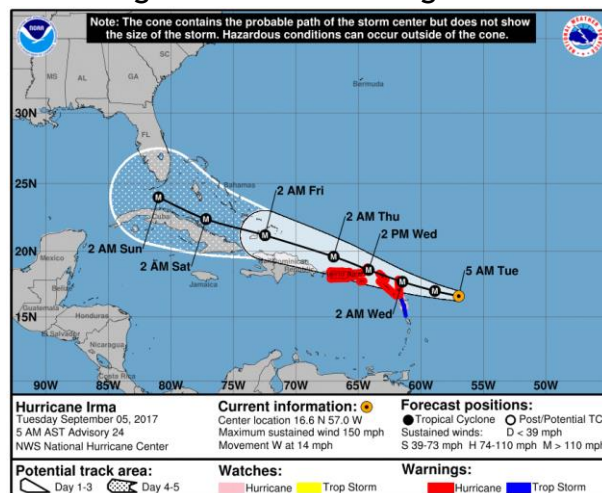
In May of 2023, the National Hurricane Center (NHC) changed its Tropical Weather Outlook notification from five-days to seven-days. The NHC extended the outlook due to technological advancements with satellites and modeling stating that seven-day forecasts are just as reliable as the five-day forecasts.

With this technological development, daily active management of lake levels within the City of Winter Park will occur upon issuance by the National Hurricane Center (NHC) that tropical activity has been identified for the new Seven-Day Outlook. Protocols and procedures will further be enacted when the NHC's projected cone touches the Central Florida Region, whereby the active management of lowering lake levels will occur according to the specifies found within this guide. In addition, annual notification to the Florida Department of Environmental Protection (FDEP), in writing, is required for implementing drain well activities.

Seven-Day Outlook:



Example of Storm Cone, Containing Path Activating Central Florida Region:



Central Florida Region Defined:



The Central region includes the Orlando metropolitan area (Orange, Lake, Osceola, and Seminole Counties), and Sumter, Polk counties in the interior, Citrus, Hernando, Hillsborough, Pasco, and Pinellas counties on the west coast and Volusia and Brevard Counties on the east coast.

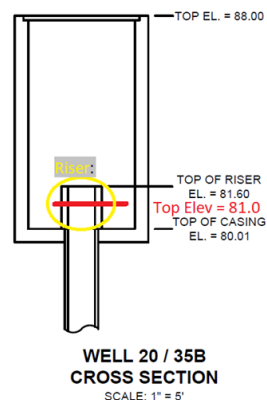
Active Lake Level Alteration Activities- City Wide Specifics

- Remove the six risers from the drain wells on Lake Killarney
- Open valve to the MLK Pond drain well
- Remove top weir board on Lake Bell
- Open gate on the Winter Park Racquet Club Pond outfall
- Check valves (2) are operational at WP18 golf course
- Remove all retractable grass carp fence barriers
- Inspect all drain well intakes maintaining free and clear of debris
- Issue lake closure protocol for the Chain of Lakes at elevation of 66.1 ft.

Active Management of Lake Levels- Lakes Killarney and Lake Bell Interim Plan

1. City will monitor lake elevation levels on Lake Killarney and Lake Bell on a daily basis, during hurricane season, June 1st to November 30th, via Smart Technology utilizing telemetry elevation gauges. These gauges can be accessed remotely and provide an alert notification should the elevation stage higher than desired due to an intermittent storm. Staff will not solely rely on the device but will routinely inspect and log field data.
2. During hurricane season, June 1st to November 30th, the top weir board for Lake Bell will be removed and be replaced after hurricane season. Desired lake elevation management requires analysis through a basin drainage study.
3. During August 1st to November 1st, Lake Killarney will be maintained at 81 ft. as shown in drain well specification below. This requires new set of risers to be installed for this period and is contingent upon approval by Florida Department of Environmental Protection (FDEP).
4. Removal of the six drain well risers will be enacted when the NHC projected storm cone touches the Central Florida Region (defined above). If the approaching storm turns, the risers will be reinstalled as soon as the storm threat is over.
5. City will maintain and clean drain well intakes, collection boxes and traps, and manage street cleaning services especially during hurricane season.
6. A secured email will be provided to the Lake Killarney Board to report **non-emergency** related activities. Otherwise, follow standard emergency response by dialing 911.

Lake Killarney Drain Well Specifications:



- Without risers on the drain wells, Lake Killarney lowers 0.1-0.2 ft per day.
- The top of each riser is on average 81.66 ft, the top of each drain well casing is on average 80.0 ft, the weir to Lake Gem discharges at 82.7 ft.
- The demarcation in red depicts modification to the risers in order to maintain lake elevation at 81.0 ft. and requires FDEP approval.



NATURAL RESOURCES & SUSTAINABILITY DEPARTMENT CHECKLIST

168 hours (7 days) prior to storm

- ❑ Monitor storm models via National Hurricane Center's (NHC) Seven-Day Tropical Weather Outlook.
- ❑ Refer to established protocol under City of Winter Park's Flood Management Guide
 - ❑ Lower lake elevations, where permissible
 - ❑ Lake Killarney drain well riser and Lake Bell top weir board will be removed in advance whereby the track issued by the National Hurricane Center cone touches the Central Florida region and replace when storm is no longer a threat.

120 hours (5 days) prior to storm

- ❑ Monitor storm models.
- ❑ Provide staff with tracking sheets for manpower hours and equipment usage for Federal Emergency Management Agency (FEMA) records.
- ❑ Notify laboratory of potential lake sample submittals. Coordinate with water & wastewater laboratory manager.
- ❑ Inspect control and outflow structures located on the lakes, including leaf trap devices; maintain free and clear of debris.

72 hours (3 days) prior to storm

- ❑ Inspect all weirs and grass carp barriers including the ones located downstream of lakes Bell, Killarney, Berry and Maitland; maintain free and clear of debris.
- ❑ Inspect culvert box under bridges at Temple, Sterling and Pennsylvania to ensure free and clear of debris.
- ❑ Inspect drain well intake structures on Lake Killarney and all land locked lakes (Knowles, Spier, Forest, Midget, as well as the Seminole County drain well on N. Lakemont Avenue); maintain free and clear of debris.
- ❑ Inspect canals within the Chain of Lakes and Howell Creek, upstream of Lake Virginia, and downstream of the Howell Branch weir.
- ❑ Coordinate solid waste services messaging with Communications Department and Assistant City Manager.
- ❑ Coordinate with Urban Forestry on contracted vendor for felled tree services in creeks/conveyances.

48 hours (2 days) prior to storm

- ❑ Meet with staff to go over responsibilities and verify contact information.
- ❑ Prioritize every day departmental functions.
- ❑ Remove MLK, Jr. Park drain well and Winter Park Racquet Club pond outfall board.

- Prepare and secure equipment and PPE:
 - All boats, vehicles, and gas cans filled
 - Clean and remove all debris from work vehicles
 - Clamshell ready and operational
 - Secure barges at Kraft Gardens
 - Move all Lakes Division supplies into boathouse or break room area (buoys, etc.)
 - Test all chainsaws and make sure that PPE is in good condition
 - Each driver with PPE in work vehicle

24 hours (1 day) prior to storm

- Remove retractable grass carp barriers at lakes Bell and Berry.
- Meet with staff to go over final details data assessment.
- Prioritize every day departmental functions.

During the storm

- Natural Resources & Sustainability is not classified as a first responder and does not have a role at EOC. Staff to remain in a safe location.
- All Lakes Division staff and department director will commence damage assessment when deemed safe. Office staff to service phone lines and emails. Sustainability Division staff to service phone lines and emails, assisting in solid waste communications or be assigned as required.
- Establish communication with damage assessment team with deployment time and locations.

Immediately after the storm when conditions are safe

- Damage assessment team deployed to inspect all conveyances, outfalls, weirs, drain wells and high-risk areas (i.e. Special Flood Hazard Area- SFHA). Clear immediate hazards.
- Collector app utilized to document environmental damages. Include photos.
- Track manpower hours and equipment usage for FEMA records.
- Implement lake closures: Chain of Lake elevation closure at >66.1 ft (NAVD 88).
- Monitor and record lake elevations. Report anomalies to Public Works Department.

Days/weeks after the storm

- Post-storm environmental/water quality monitoring including environmental assets.
- Report damage assessment for state assistance and grant submittals; such as Natural Resources Conservation Service (NRCS).
- Grass carp barriers re-installed when conditions are favorable.
- Coordinate teams with Urban Forestry to recover fallen trees in waterways noted in damage assessments.
- Perform continual monitoring and messaging related to lake hazards:
 - Recreational use of lakes will be allowed once it is determined that safe boating activities can resume without potential damage to private property or the danger of colliding with submerged storm debris.

- Effective communications with lake patrons, both residential and commercial, related to lake closures; dock safety warnings with submerged electrical components; submerged hazards warning; and lake contamination warnings.
- Perform continual monitoring and messaging related to lake elevations-reinstate drain wells and weir closures, when appropriate.
- Refer to established policy: Flood Management Guide.



PUBLIC WORKS DEPARTMENT STREETS DIVISION CHECKLIST

Off season preparations

- Conduct quarterly meetings with directors, supervisors, crew chiefs, and all staff to review the following:
 - Written hurricane preparedness procedures and where to locate the document.
 - Team members list including updated phone numbers to be activated during Emergency Operations Center (EOC) operations. There must be two separate teams listed for relief following the initial 24-hour period.
 - Equipment list to be used during EOC operation. Equipment list to include but limited to trucks, loaders, generators, barricades and sand bagger.
 - Coordinate with the city's procurement division to secure vendors for additional bypass pumps, vacuum trucks, loaders and generators on an as-needed basis.
- Be sure to have all proper and updated forms for reporting staff's storm response activities.
 - All streets infrastructure to be inspected and maintained on predetermined schedules. The following items must be maintained year-round in proper functioning condition.
 - Storm sewer inlets, pipes, treatment structures, and outfalls
 - Traffic signals and signs
 - Street sweeping

168 hours (7 days) prior to storm

- Monitor storm models via National Hurricane Center's (NHC) Seven-Day Tropical Weather Outlook.
- Refer to established protocol under City of Winter Park's Flood Management Guide.
 - Lower lake elevations, where permissible.
 - Lake Killarney drain well riser and Lake Bell top weir board will be removed in advance whereby the track issued by the National Hurricane Center cone touches the Central Florida region and replace when storm is no longer a threat.

72 hours to 48 hours (3-2 days) prior to storm

- Test all equipment for proper working order.
 - Make sure all equipment gas tanks are filled and batteries are charged.
 - Generators used for supplying power to traffic signals to be tested and filled with gas.
 - Have additional gas cans filled.
- Prepare sandbagging operations site.
 - Decide with city management on an appropriate location and coordinate with the Communication Department to prepare a map, distribution schedules and notifications.
 - Mobilize sand, bags and equipment to the location.
 - Each household will be provided eight bags with proper proof of residency unless otherwise directed by city management.
 - Prepare coordination with the police department for ID verification and traffic control.

- Increase levels of storm sewer cleaning and street sweeping operations.
- Verify schedules for both teams to begin the overnight and relief shifts.
- Hold a procedure and general safety meeting with both teams before the EOC activation.

24 hours (1 day) prior to storm

- Stop all city and private construction activities and secure sites from any potential erosion and/or wind damage.
- Mobilize and stage all heavy equipment to strategic location to be used throughout the city.
 - NW Area - Public Safety Facility (500 N. Virginia Ave.)
 - SE Area - Fire Station #62 (300 S. Lakemont Ave.)
 - SW Area - City Lot (1210 Palmetto Ave.)
 - NE Area - City Operations Center (1409 Howell Branch Road)
- Share both teams' member's names and contact numbers with the Public Works Director and Assistant Director.
- Prepare sleeping arrangements and purchase food for the overnight shift team.
- Verify all equipment is ready in place with full tanks of gas.
- Load and secure barricades on trucks to be dispatched.

During the storm

- Stay safe inside until EOC managers clear the city staff for response activities.

Immediately after the storm when conditions are safe

- Assist police and fire departments to clear streets for emergency response.
- Assist the electric and water & wastewater departments clearing streets to perform their response and repair activities.
- Setup closures and barricade off flooded and obstructed streets and roadways.
- Inspect all signalized intersections for functionality and perform repairs as needed. Repairs requiring a bucket truck can only take place when winds diminish to 30mph or less.
- Clear all storm drains from obstructions to ensure proper drainage.
- Assist the city's Urban Forestry Division with downed tree removals.
- Begin assisting the Natural Resources & Sustainability Department with monitoring of the water levels in the city's lakes and ponds.
- Setup bypass pumping operations on lakes and/or ponds reaching higher levels which potentially could flood surrounding structures/homes.
- Barricade or cone off any potholes which could cause damage to vehicles.

Days/weeks after the storm

- Continue streets clearing and debris removal and storm drain clearing for proper drainage.
- Assess any potholes locations for storm pipe failures and schedule necessary repairs.
- Continue monitoring water levels in lakes and ponds and add or relocate bypass pumping activities accordingly.



CIP PROJECT CONSIDERATIONS & STUDIES FOR STORM RESILIENCY

The flood elevation in the Winter Park Chain of Lakes is control by a weir located on the north side of Lake Maitland at Howell Branch Road. The control elevation for the chain of lakes was studied for a LOMR in 2009. The SJRWMD confirmed that the current control elevation of 66.18 ft was best for all communities upstream and downstream and it was not to be adjusted.

The following is a suggested list that should be updated regularly and as funding allows:

- Consider increasing the volume of the MLK Pond and lowering the surrounding neighborhood flood stage
 - a. A flood study was performed in the CRA watershed basin by Geosyntec. This study provided four alternatives for increasing volume in the MLK Pond
 - i. Alt 1 - Exfiltration Basin
 - 1. Decrease in peak stage: 0.26 ft
 - 2. Estimated cost: \$6,516,021
 - ii. Alt 2 - New interconnect to Lake Rose
 - 1. Decrease in peak stage: 0.05 ft
 - 2. Estimated cost: \$172,378
 - iii. Alt 3 - Exfiltration basin and interconnect to Lake Rose
 - 1. Decrease in peak stage: 0.2 ft
 - 2. Estimated cost: \$2,065,776
 - iv. Alt 4 - (COMPLETED) Relocating Killarney interconnect from Beachview Ave to intersection of Morse Blvd and Harper St
 - 1. Decrease in peak stage: 0.02 ft
 - 2. Estimated cost: \$35,830
 - b. Perform study to expand the overall footprint of the pond for more stormwater storage by strategically selecting park areas of lower usage
 - c. Consider partnering with private property owners near MLK to expand
- Develop 5-10 year CIPs for lake interconnections- perform hydraulic studies to determine feasibility and associated cost.
 - a. Lake Sylvan to Lake Mizell
 - b. Lake Grace to Lake Forest
 - c. Lake Chelton to Lake Sue
 - d. Lake Tuscany to Lake Temple to Howell Branch Pond
 - e. Lake Compton to Lake Spier
- Develop drainage study for Lake Killarney, Lake Bell and Lake Wilderness to address feasibility and cost for rerouting emergency stormwater overflow and evaluate weir elevations.

- Develop drainage study for Howell Creek Basin of Winter Park that includes the Chain of Lakes, Lake Sue, and Lake Berry.
- Develop drainage study for Little Econ Basin of Winter Park that includes Interlachen and WP18 (formally Winter Park Pines).
- Following FS 252.363 provision allowing to adjust/pump lake down during declared state of emergency, establish Memorandum of Understanding with SJRWMD for all potential drawdowns:

Section 252.363 of the Florida Statutes provides that upon the declaration of a state of emergency, permits and other authorizations are tolled for the duration of the declaration, and that they may be extended automatically upon the exercise of the notice requirements of Section 252.363(1)(a) for an additional six months. The tolling and extension provisions apply to the expiration of:

- a. Development orders issued by a local government*
 - b. Building permits*
 - c. Florida Department of Environmental Protection or water management district permits issued pursuant to Part IV of Chapter 373, Florida Statutes*
- Consider purchase of bypass pump(s) including floating intake attachment and suction and discharge hoses.
 - Perform a survey to record lowest Finished Floor Elevation (FFE) for all City lakes.
 - Consider installing auto-read lake level gauges with telemetry services for major City lakes.
 - Consider installing additional weather stations with telemetry services within City limits.

IMPORTANT FERTILIZER RULES

June 01
Sept 30^{to}

Apply only fertilizer with **zero** nitrogen & phosphorus.

NOW

Oct 01
May 31^{to}

If fertilizer has nitrogen, at least **65% N** must be slow release type.

Keep fertilizer at least **25 feet** from natural waterbodies.

**year
round**

Limit application to **1 pound** total nitrogen per 1,000 square feet.

Use **zero** phosphorus unless a soil test shows a deficiency.

**MORE
INFO**

scan the code or access
**[cityofwinterpark.org/
lakes/fertilize-wisely](http://cityofwinterpark.org/lakes/fertilize-wisely)**
includes complete ordinance details





save the date fer

2023 BOARD APPRECIATION

DOWNTOWN HOEDOWN
MOSEY AROUND

KICK UP YOUR HEELS @ THE FARMERS' MARKET

THURSDAY • JUNE 29 • 2023

200 West New
England Avenue
Winter Park

5:30 to
7 p.m.

fun line dancing
fine 4Rivers grub
fab frozen drinks

rsvp by 06.19.2023 to jmiller@cityofwinterpark.org

see y'all @ the shindig





Lakes & Waterways Board

agenda item

item type	Staff Updates	meeting date	June 13, 2023
prepared by	Victoria Tabor	approved by	
board approval			
strategic objective			

subject

Stormwater Management

motion / recommendation

background

alternatives / other considerations

fiscal impact

ATTACHMENTS:

[SW Update](#)

Staff Update

Stormwater Management

Stormwater Management – CIP

ACCT #	CIP Title & Description	Original Year Funded	Current Balance	Status/Comments
565200	Drainage Improvements - Recent years of unusually heavy rainfall events have revealed several substandard drainage conditions in various locations throughout the City.	Annually Funded	\$196,149	Several in-house drainage improvements projects to be scheduled for 2022-23, Ward Park ponds pipe construction, Palmer at Old England outfall repair, replacement of 70ft of 24 inch RCP crossing Joeline Court, stormwater outfall dredging, curb implementation.
				1) <u>Palmer at Old England outfall repair</u> - A video inspection to be scheduled to determine the existing condition of the outfall pipe. Design and construction will be scheduled as needed. Estimated cost \$20k.
				2) <u>Stormwater Outfall Dredging</u> - The City recently entered a new contract for dredging and is developing a schedule for several stormwater outfalls.
				3) <u>Ward Park ponds construction</u> - Estimated cost \$150k. NE and NW Pond excavation and sodding is complete. The piping to be installed in March 2023.
				4) <u>Curb Implementation</u> - Commission approved \$50,000 in the City's FY'23 budget. Locations to be determined and coordinated with asphalt resurfacing projects.
565203	Lk. Bell Weir Outfall Improvements -	2009	\$69,223	Repairs may be required on the Lake Bell outfall weir, will continue to assess the condition in 2023.
565221	Seminole County Ditch Piping (along Arbor Park Dr) – Drainage ditch behind the homes along Arbor Park Drive has a shared drainage basin with Seminole County. Funding is provided for the design and construction to pipe the ditch.	2016	\$733,395	The Interlocal Agreement was approved by the City Commission on October 13, 2021 and by the Seminole County Commission on December 14, 2021. 60% plans completed and submitted to Seminole County. Process to permit with SJRWMD currently underway.
565205	Nicolet Ave Stormwater Pond – complete the design and construction of a stormwater treatment pond on City purchased properties located at 796 & 808 Nicolet Avenue	2023	\$200,000	Commission approved \$200,000 in the City's FY'23 budget. Project manager to be assigned, project schedule to be developed, best management practice analysis to be performed. SJRWMD permit exemption is being requested.
	TOTALS			
3023406	ACTIVE STORMWATER CIP's		\$1,198,767.09	BALANCE TOTAL

Additional Stormwater Updates

- Venetian and Fern Canal Dredging Project – Complete!
- Lakes and Stormwater Management for Flood Control Draft Document



Lakes & Waterways Board

agenda item

item type Board Comments	meeting date June 13, 2023
prepared by Victoria Tabor	approved by
board approval	
strategic objective	

subject

Discussion of Public Comments Received

motion / recommendation

background

alternatives / other considerations

fiscal impact



item type Upcoming Agenda Items	meeting date June 13, 2023
prepared by Victoria Tabor	approved by
board approval	
strategic objective	

subject

Discussion of Upcoming Agenda Items

motion / recommendation

background

alternatives / other considerations

fiscal impact