



Historic Preservation Board Regular Meeting

Agenda

June 14, 2023 @ 9:00 am

City Hall Commission Chambers
401 S. Park Avenue

welcome

Agendas and all backup material supporting each agenda item are accessible via the city's website at cityofwinterpark.org/bpm and include virtual meeting instructions.

assistance & appeals

Persons with disabilities needing assistance to participate in any of these proceedings should contact the City Clerk's Office ([407-599-3277](tel:407-599-3277)) at least 48 hours in advance of the meeting.

"If a person decides to appeal any decision made by the Board with respect to any matter considered at this hearing, a record of the proceedings is needed to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based." (F.S. 286.0105).

please note

Times are projected and subject to change.

-
1. **Call to Order**
 2. **Selection of Chair and Vice Chair**
 - a. Selection of Chair and Vice Chair. 5 minutes
 3. **Consent Agenda**
 - a. Approval of the May 10, 2023 Meeting Minutes. 1 minute
 4. **Public Comments (for items not on the agenda): Three minutes allowed for each speaker**
 5. **Public Hearings**
(Public participation and comment on these matters must be in-person.)
 - a. Request by 1530 Berkshire LLC for approval to designate the home, built in 1926 to the Winter Park Register of Historic Places and undertake renovations to the rear accessory building.
Tabled from the May 10th HPB meeting. 20 minutes
 - b. Request by Matthew and Karoline Staker to construct a new swimming pool, cabana building and rear deck on their property at 1273 Richmond Road, an individually designated historic property. 20 minutes
 - c. Request by Joseph Disanti, to voluntarily designate the property and home built in 1951 at 1299 Harding Street as an individual historic landmark on the Winter Park Register of Historic Places and to allow additions to the existing detached garage/storage building at the rear of the property to add space for a second-floor art studio and exterior porch. 20 minutes
 6. **Action Items**
 7. **Non-Action Items**
 - a. Discussion on development plans for 330 Holt Avenue. 15 minutes
 8. **Staff Updates**
 9. **Board Comments**
 10. **Upcoming Agenda Items**
 11. **Adjournment**



Historic Preservation Board agenda item

item type	Selection of Chair and Vice Chair	meeting date	June 14, 2023
prepared by	Mary Bush	approved by	
board approval	Completed		
strategic objective			

subject

Selection of Chair and Vice Chair.

motion / recommendation

background

alternatives / other considerations

fiscal impact



Historic Preservation Board agenda item

item type	Consent Agenda	meeting date	June 14, 2023
prepared by	Mary Bush	approved by	
board approval	Completed		
strategic objective			

subject

Approval of the May 10, 2023 Meeting Minutes.

motion / recommendation

background

alternatives / other considerations

fiscal impact

ATTACHMENTS:

[May 10 HPB Draft Minutes.pdf](#)



Historic Preservation Board Regular Meeting Minutes

May 10, 2023, at 9:00 a.m.

City Hall | Commission Chambers
401 S. Park Ave. | Winter Park, Florida

Present

Present: Wade Miller, Aimee Spencer, Lucy Boudet, N. Lee Rambeau, Kelsey Wolfe, and Drew Henner. Present Virtually: John Skolfield. Staff: Director of Planning and Zoning Jeffrey Briggs, Planner I Corinna Lundgren, and Recording Secretary Mary Bush.

(1) Call to Order

Vice-Chair Miller called the meeting to order at 9:00 a.m.

(2) Consent Agenda

Motion made by N. Lee Rambeau, seconded by Aimee Spencer, to approve the April 12, 2023 meeting minutes.

Motion carried unanimously with a 6-0 vote. (Drew Henner was not present for approval of the minutes.)

(3) Public Comments (for items not on the Agenda)

No one from the public wished to speak. The public hearing was closed.

(4) Public Hearings

- a. Request by 1530 Berkshire LLC for approval to designate the home, built in 1926 to the Winter Park Register of Historic Places and undertaker renovations to the rear accessory building.

Mr. Briggs provided a brief summary of the item. He presented and reviewed with the Board an area map, a survey, and photos of the existing property before and after recent renovations made by the applicant. He noted that in the rear of the property there is a garage accessory building that the applicant wants to convert into additional living space. He then went on to describe the renovations that the applicant had made to the exterior of the Spanish mission style main home on the property. He noted that the applicant had painted the exterior and added more trim around the windows. Mr. Briggs indicated that because the applicant would be converting the garage into a living space that would be over 400 square feet, it had to meet the principal setbacks of the property as if it were a regular house. He explained that it would need to have a 7.5 foot side setback and a 25 foot rear setback, which is significantly farther back than the current 3.7 foot side setback and 10.5 foot rear setback of the existing garage. Mr. Briggs further explained that the applicant wanted to use the home as a rental property. He noted that the City code allows up to three unrelated individuals in a rental property. He added that the garage could not be rented separately from the main home but one of the allowed renters could live part-time in it. He then indicated that staff required the applicant to complete a deed restriction that restricts the use of the accessory building to keep it from being rented separately. He added that staff had not received any neighbor letters in opposition to the request.

Staff recommended approval.

Discussion ensued regarding the wood fence inside of the front porch archway, the window trim on the front of the house, if the applicant could get their desired variance without having to designate the home, and requiring the applicant to change back various exterior renovations that had been completed to reflect the Spanish mission style of the original home. Brief discussion continued on whether or not a kitchen would be

allowed and if a bathroom would be included in the accessory building, and if there was adequate parking on the property for three vehicles.

A member of the public, Meg Barclay of 1475 Berkshire Avenue, Winter Park, FL 32789 addressed the Board to clarify details of the wood fence in the front porch archway. She indicated that it was basically a fence panel the applicant replaced the original iron railing with. She also indicated that the applicant had added a similar wood fence panel on the back end of the porte cochere to close off the back yard.

Discussion ensued regarding requiring the applicant to provide an architectural front elevation that would be historically accurate and include removal and replacement of the wood fences as well as the window casing trim from all five of the front-facing windows. Mrs. Spencer advised that there should be a picture of the applicant's house from the early 1980s in the flat file of the Winter Park Library's archive section that could be referenced for the original architectural details of the house. Mr. Henner noted that a laundry room, a full kitchen, and a full bath were included in the applicant's accessory building plans attached to the permit file. Vice-Chair Miller added that barrel tile should be added to the roof of the first story front elevation of the house. Brief discussion continued.

Motion made by Wade Miller, seconded by Aimee Spencer to table the item to the June 14, 2023 Historic Preservation Board regular meeting with the following requirements:

- **The applicant must provide an architectural drawing of the front facade of the house that appropriately depicts an architectural style that is in keeping with the historic nature and the original design of the 1926 home.**
- **The drawing must include the removal of the window casings on all front facade windows seen from the street, the removal of the wood fencing in the arched open air entry, and a barrel tile roof added to the one story front section of the of the front facade.**

Motion carried unanimously with a 7-0 vote.

(5) Action Items

No action items were discussed.

(6) Non-Action Items

No non-action items were discussed.

(7) Staff Updates

Mr. Briggs briefly announced upcoming Historic Preservation events. He also provided an update on the historic landmark signs that staff was ordering and placing around the city in various historic locations. Mrs. Spencer recommended to have a sign done for All Saints Episcopal Church.

(8) Board Comments

No Board comments were made.

(9) Upcoming Agenda Items

No discussion occurred regarding upcoming agenda items.

(10) Adjournment

Vice-Chair Miller adjourned the meeting at 9:52 a.m.

/s/ Recording Secretary Mary Bush



Historic Preservation Board agenda item

item type Public Hearings (Public participation and comment on these matters must be in-person.)	meeting date June 14, 2023
prepared by Jeffrey Briggs	approved by
board approval Completed	
strategic objective	

subject

Request by 1530 Berkshire LLC for approval to designate the home, built in 1926 to the Winter Park Register of Historic Places and undertake renovations to the rear accessory building.

Tabled from the May 10th HPB meeting.

motion / recommendation

HPB direction was to research historic photographs in order for the applicant to restore windows to the previous image and to replace metal railing on porch. The applicant has agreed to do whatever, the HPB decides to approve.

background

This request was tabled from the May 10th HPB meeting. The Board had a comfort level with the qualifications for designation and with the variance requested to convert the former garage/storage building to living space. However, the changes that had been made to the street front facade, with respect to the new window framing, and wood wall on the porch were deemed incompatible with the architectural character of this home. There was also discussion about the flat roof section. Staff was directed to research historic photographs of the home for design direction. Staff will present those pictures and others from neighboring homes in the power point presentation to provide options and menu for discussion.

The picture attached (black and white) from the Winter Park Library history archives shows the previous look of the front facade. The property owner also provided a picture from the time of purchase. The property owner has agreed to restore the window framing to match the previous image and to restore a metal railing on the front porch as shown in the photo.

From the May 10th staff report: The 1530 Berkshire LLC (Ryan Moody) as owner of the home at 1530 Berkshire Avenue has voluntarily agreed to the designation of this property

to the Winter Park Register of Historic Places. This home built in 1926 is an example of the Mission Mediterranean architectural style popular at that time.

The property was purchased in January 2022 and the owners have done a significant interior remodeling of the home. In the rear of the property is a detached 576 sq. ft. accessory structure that was once a one-car garage with some ancillary workshop/laundry space. It sits 3.7 feet from the side property line and 10.6 feet from the rear. The owner desires to convert this accessory building to added living space which requires a variance from the 7.5-foot side setback and 25-foot rear setback.

The planning staff is comfortable with these variances for two reasons. One reason is that the existing structure is already in place and is not being enlarged, so the neighbors will be looking at the same structure as they always have done. The second reason is that there is a deed restriction in place that prohibits use of the accessory building as a separate rental, so the accessory building cannot be viewed as a separate living unit and the property cannot be marketed in the future as a duplex. The home can be rented legally to no more than three unrelated individuals. If the owner rents to two occupants that reside primarily in the house and one individual that resides primarily in the detached accessory building, that still meets Code. If the property becomes rented to a larger number of individuals, then typically the number of cars parked on-site and on-street, will alert neighbors and the Code Enforcement will get called, as happens from time to time.

Summary and Recommendation:

The structures retain much of the original exterior architectural image from when built in 1926. The variances requested should have no impact on the neighboring affected properties. As discussed often, the historic designation preserves both the architectural heritage of the Mission Mediterranean image and also the scale and character of development on this property. As such, staff recommendation is for approval.

[alternatives / other considerations](#)

[fiscal impact](#)

ATTACHMENTS:

[Location Map.pdf](#)

ATTACHMENTS:

[Site Pictures.pdf](#)

ATTACHMENTS:

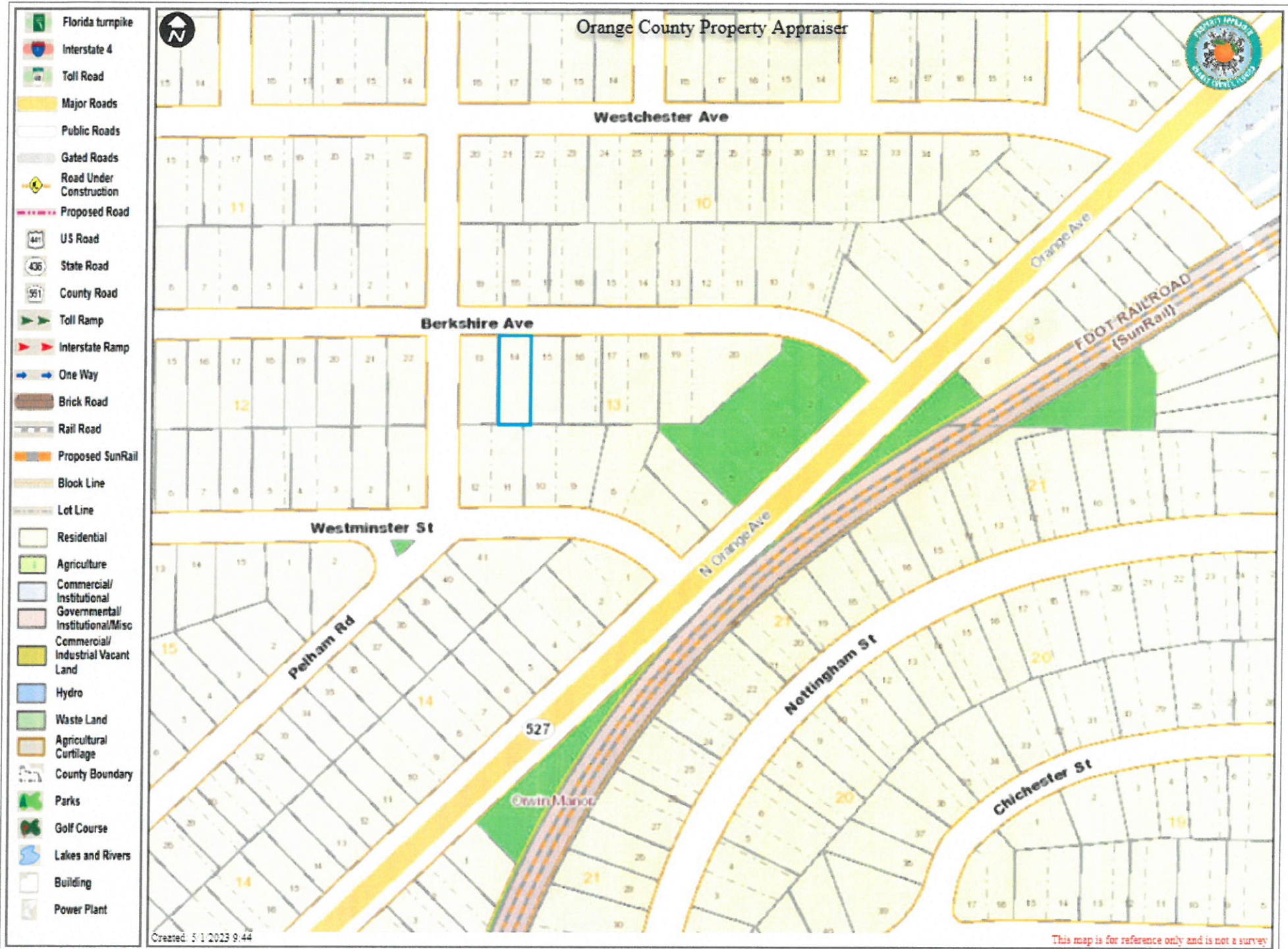
[Berkshire 1530 - 1985 FMSF image.pdf](#)

ATTACHMENTS:

[Survey.pdf](#)

ATTACHMENTS:

[Deed Restriction for Guest House.pdf](#)



1530 Berkshire in 2019



1530 BERKSHIRE AVE, WINTER PARK, FL 32789 2/10/2023 10:20 AM

Rear Accessory Building





BOUNDARY SURVEY

LEGAL DESCRIPTION:

LOT 14, BLOCK 13, ORWIN MANOR WESTMINSTER SECTION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK J, PAGE 118, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

FLOOD INFORMATION:

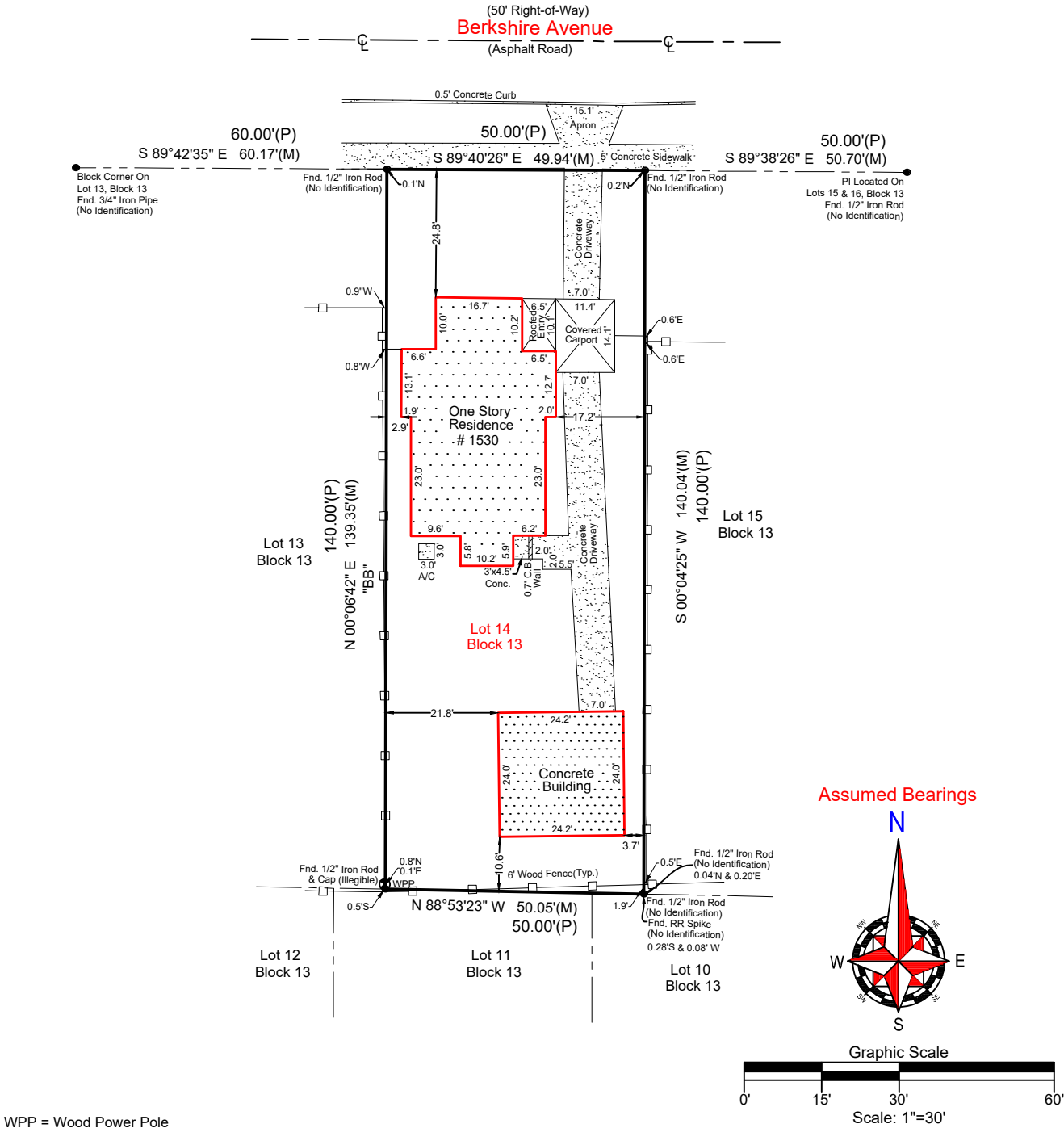
BY PERFORMING A SEARCH WITH THE LOCAL GOVERNING MUNICIPALITY OR WWW.FEMA.GOV, THE PROPERTY APPEARS TO BE LOCATED IN ZONE X. THIS PROPERTY WAS FOUND IN CITY OF WINTER PARK, COMMUNITY NUMBER 120188, DATED 9/25/2009.

CERTIFIED TO:

1530 BERKSHIRE AVE LLC; TRADITIONS TITLE AND ESCROW, LLC; OLD REPUBLIC TITLE



1530 BERKSHIRE AVENUE, WINTER PARK, FLORIDA 32789



WPP = Wood Power Pole

Field Date: 3/14/2023	Date Completed: 03/15/23	-NOTES- >Survey is Based upon the Legal Description Supplied by Client. >Abutting Properties Deeds have NOT been Researched for Gaps, Overlaps and/or Hiatus. >Subject to any Easements and/or Restrictions of Record. >Bearing basis shown hereon, is Assumed and Based upon the Line Denoted with a "BB". >Building Ties are NOT to be used to reconstruct Property Lines. >Fence Ownership is NOT determined. >Roof Overhangs, Underground Utilities and/or Footers have NOT been located UNLESS otherwise noted. >Septic Tanks and/or Drainfield locations are approximate and MUST be verified by appropriate Utility Location Companies. >Use of This Survey for Purposes other than Intended, Without Written Verification, Will be at the User's Sole Risk and Without Liability to the Surveyor. Nothing Hereon shall be Construed to give ANY Rights or Benefits to Anyone Other than those Certified.		I hereby Certify that this Boundary Survey of the above Described Property is True and Correct to the Best of my Knowledge and Belief as recently Surveyed under my Direction on the Date Shown, Based on Information furnished to Me as Noted and Conforms to the Standards of Practice for Land Surveying in the State of Florida in accordance with Chapter 6J-17.052 Florida Administrative Codes, Pursuant to Section 472.027 Florida Statutes.
Drawn By: G.S.	File Number: JS-115912			
-Legend-		-POINTS OF INTEREST-		 Patrick K. Ireland P.S.M. 6637 LB 7623 This Survey is intended ONLY for the use of Said Certified Parties. This Survey NOT VALID UNLESS Signed and Embossed with Surveyor's Seal. Ireland & Associates Surveying, Inc. 800 Currency Circle Suite 1020 Lake Mary, Florida 32746 www.irelandsurveying.com Office-407.678.3366 Fax-407.320.8165
C - Calculated	PC - Point of Curvature	NONE VISIBLE		
CL - Centerline	Pg. - Page			
CB - Concrete Block	PI - Point of Intersection			
CM - Concrete Monument	P.O.B. - Point of Beginning			
Conc. - Concrete	P.O.L. - Point on Line			
D - Description	PP - Power Pole			
DE - Drainage Easement	PRM - Permanent Reference Monument			
Esmt. - Easement	PT - Point of Tangency			
F.E.M.A. - Federal Emergency Management Agency	R - Radius			
FFE - Finished Floor Elevation	Rad. - Radial			
Fnd. - Found	R&C - Rebar & Cap			
IP - Iron Pipe	Rec. - Recovered			
L - Length (Arc)	Rfd. - Roofed			
M - Measured	Set - Set 1/2" Rebar & Cap "LB 7623"			
N&D - Nail & Disk	Typ. - Typical			
N.R. - Non-Radial	UE - Utility Easement			
ORB - Official Records Book	WM - Water Meter			
P - Plat	Δ - Delta (Central Angle)			
P.B. - Plat Book	—○— - Chain Link Fence			
—□— - Wood Fence				

THIS INSTRUMENT PREPARED BY:

Ryan Moody

322 E Central Blvd #1105

Orlando, FL 32801

GUEST HOUSE/GARAGE APARTMENT USE RESTRICTION DECLARATION

THIS USE RESTRICTION DECLARATION made this 3 day of June, 2022, by 1530 Berkshire Ave LLC, a 322 E Central Blvd #1105 corporation, whose address is Orlando, FL 32801, ("Owner"), in favor of the CITY OF WINTER PARK, a municipal corporation organized and existing under the laws of the State of Florida, whose address is 401 Park Avenue South, Winter Park, Florida 32789.

RECITALS

WHEREAS, Owner is the owner of property located at 1530 Berkshire Ave Winter Park, FL 32789, more particularly described as set forth in Exhibit "A" attached hereto, which property (herein- after referred to as the "Property") is located within the corporate limits of the City of Winter Park; and

WHEREAS, Owner has applied for a building permit for the construction or substantial improvement of a guest house or garage apartment on the Property with 1,000 square feet of floor area or less; and

WHEREAS, Section 58-71(i) of the Code of Ordinances of the City of Winter Park prohibits the rental, leasing or hiring for occupancy, whether for direct or indirect compensation, of guest houses and garage apartment and permits said guest houses and garage apartments only when they provide accommodation for guests, servants or members of a family occupying the main building on the same property and so long as said guest houses and garage apartments are not equipped with a kitchen area or cooking facilities and/or separate utility meters; and

WHEREAS, Section 58-71(i) of the Code of Ordinances of the City of Winter Park further requires the recording of a restriction upon the use of the Property setting forth the limitations established by the City of Winter Park prior to the issuance of any building permits pertaining to guests houses and garage apartments.

NOW, THEREFORE, in consideration of the mutual benefits contained herein, and other good and valuable consideration, the receipt of which is hereby acknowledged, Owner hereby declares the following:

1. The Property as described in Exhibit "A" attached hereto is subject to the restrictions identified in Section 58-71(i) of the Code of Ordinances of the City of Winter Park, as said section may from time to time be amended.
2. Owner hereby further declares and warrants that Owner has fee simple title and full right and interest in and to the Property and represents that no other parties other than those signing this document have any legal or equitable right, title or interest to the Property.
3. Owner hereby declares that any guest house or garage apartment located on the Property shall be used only for providing accommodation for guests, servants or members of the family occupying the main building on the

Property and shall not be rented, leased or hired for occupancy, whether for direct or indirect compensation, and shall not be equipped with a kitchen area or cooking facilities and/or separate utility meters and that this restriction shall run with the Property and shall bind the Owner and his successors and assigns.

IN WITNESS WHEREOF, Owner has hereunto executed this document as of the day and year first written above.

Signed, Sealed and Delivered
in the Presence of:

Ryan Moody
Print Name Ryan Moody
1530 Berkshire Ave LLC
Print Name _____

322 E. Central Blvd #1105, a

corporation
Orlando, FL 32801
(Address)

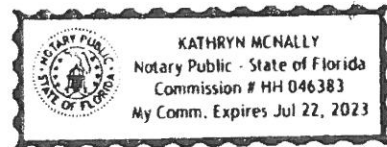
BY _____
Print Name _____
As Its _____

STATE OF Florida
COUNTY OF Orange

The foregoing instrument was acknowledged before me this 3rd day of June, 2022 by Ryan Moody as owner of 1530 Berkshire Ave LLC, a _____ corporation, on behalf of the corporation. He/She is personally known to me or has produced Driver's license 1V1300-723-69-0970 as identification.

My Commission Expires: July 22, 2023

NOTARY PUBLIC Kathryn McNally
Print Name Kathryn McNally



APPROVED BY THE CITY OF WINTER PARK

BY Jeff Briggs
Print Name Jeff Briggs
As Its Planning Director

Date: 6/29/2022



Historic Preservation Board agenda item

item type Public Hearings (Public participation and comment on these matters must be in-person.)	meeting date June 14, 2023
prepared by Jeffrey Briggs	approved by
board approval Completed	
strategic objective	

subject

Request by Matthew and Karoline Staker to construct a new swimming pool, cabana building and rear deck on their property at 1273 Richmond Road, an individually designated historic property.

motion / recommendation

Staff recommendation is for approval.

background

The property owners (Matthew and Karoline Staker) of 1273 Richmond Road desire to build a new swimming pool, pool cabana building and rear open roofed deck in the rear yard of their individually designated historic property. This home built in 1926 is one of the first homes built in the Virginia Heights neighborhood. The attached designation report from 2003, details more information about the styling and history of the home.

In the rear of the property is a detached shed that will be removed. The owners want to add a new swimming pool and pool cabana building. They also desire to add an open roofed wood deck to the rear of the home. The pool cabana build is 287 sq. ft. in size. The plans meet the impervious coverage and setbacks except that the cabana building needs a side setback variance to be 5 feet from the side property line in lieu of the 10 feet required since it is over 200 sq. ft. in size.

The planning staff is comfortable with the variance. The owners could build a 600 sq. ft. garage at the proposed 5-foot side setback. It is a variance since it is habitable space, but just the size of a one car garage.

In terms of architectural compatibility, the proposed cabana structure will have the same wood siding to match the existing home. The roof pitch of the cabana also matches the existing home. The rear deck roof has the same rafter tail element as on the main house.

Summary and Recommendation:

The owners have children and wish to make their backyard more family friendly with the amenities of the swimming pool and cabana. The new cabana mimics the exterior architectural image of the home. These elements are also largely out of view of the public given the rear yard location and wood privacy fence screening street views. Staff recommendation is for approval.

alternatives / other considerations**fiscal impact****ATTACHMENTS:**

[Location Map.pdf](#)

ATTACHMENTS:

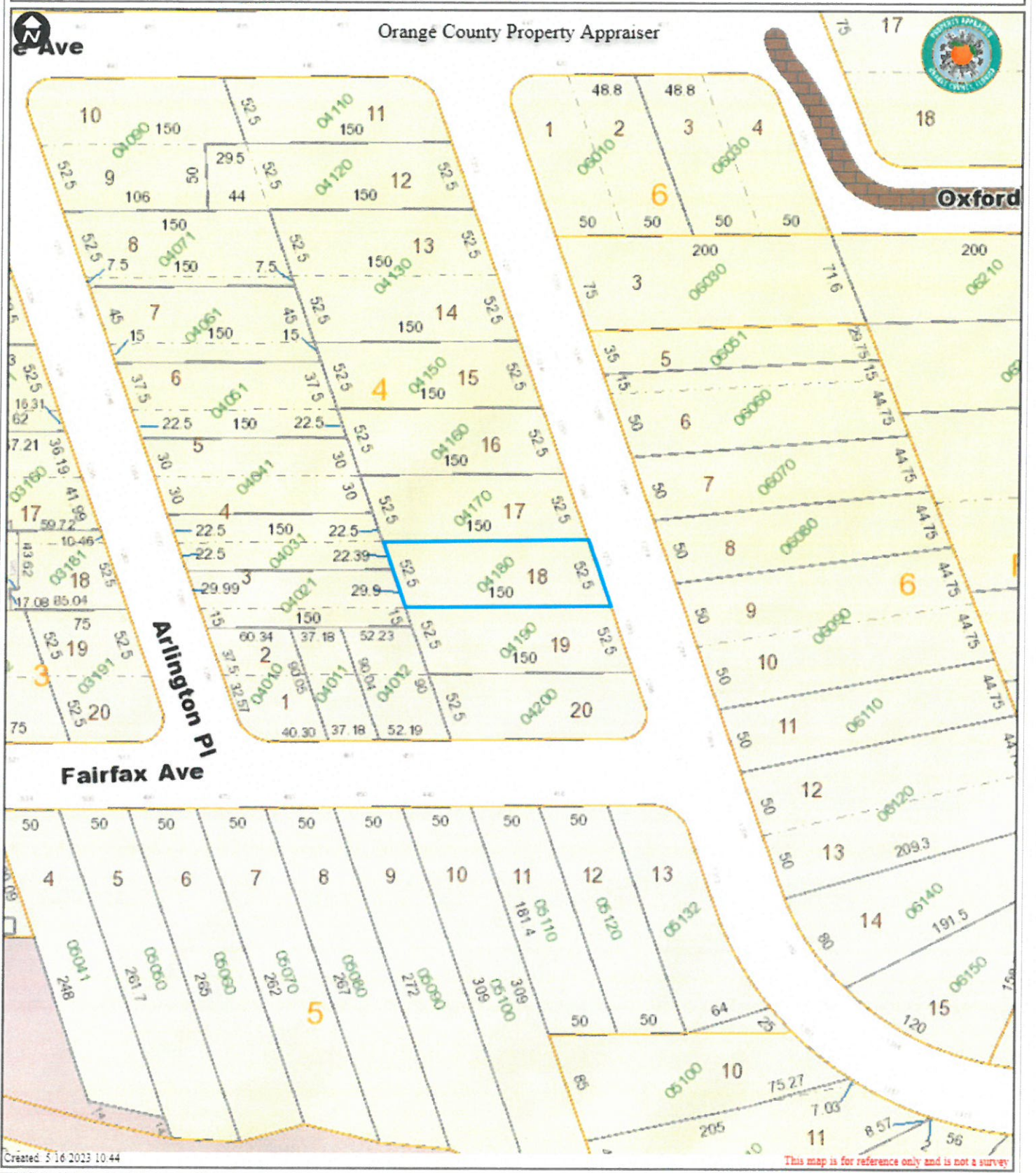
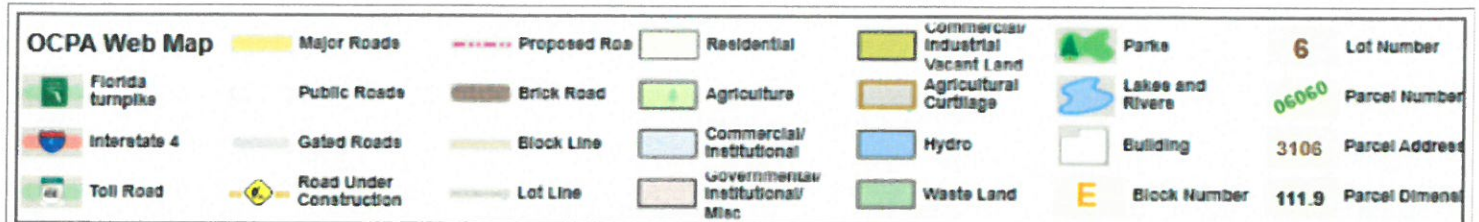
[Site Pictures.pdf](#)

ATTACHMENTS:

[1273 Richmond_Cabana & Pool plans.pdf](#)

ATTACHMENTS:

[Designation Report_1273 Richmond Road.doc](#)



Created: 5/16/2023 10:44

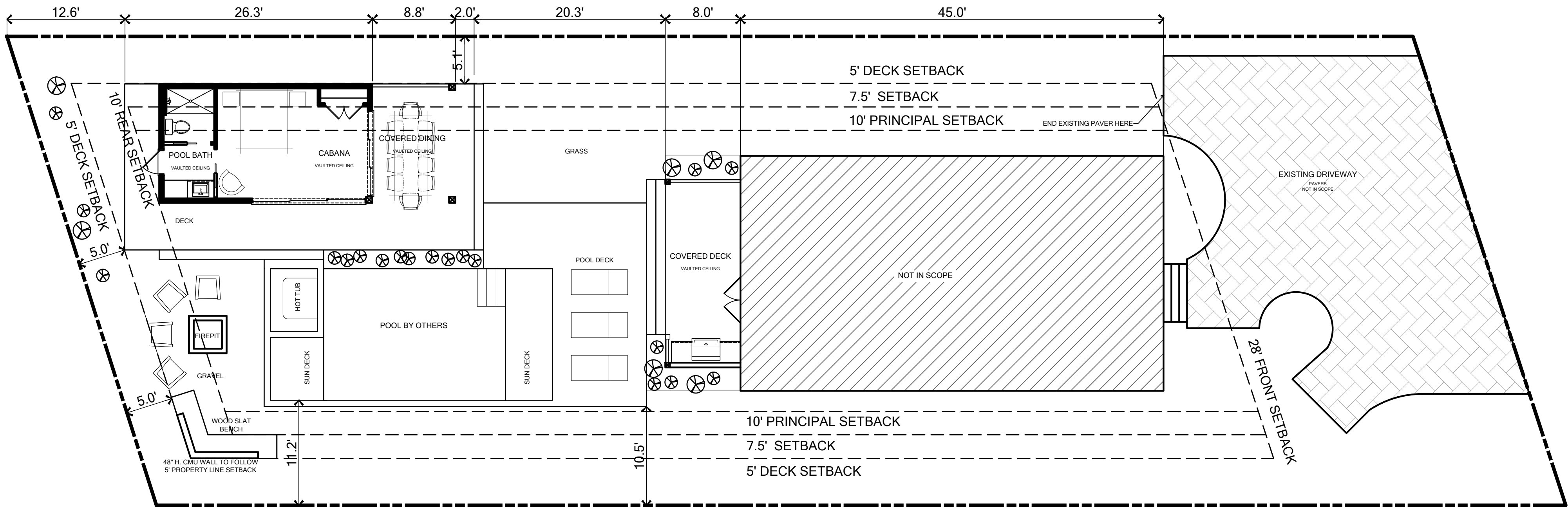
This map is for reference only and is not a survey

Street view of 1273 Richmond Road from OCPA

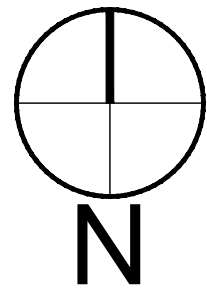


Google Street View





SITE CALCULATIONS	
TOTAL SITE AREA	7,476.0
ALLOWABLE IMPERVIOUS (%)	50%
ALLOWABLE IMPERVIOUS	3738.0
BUILDING PAD AREA	1,125.0
DRIVE & WALK	1,001.9
PROPOSED CABANA	287.1
DECK @ CABANA	292.7
COVERED DINING	111.8
COVERED DECK	193.0
POOL & POOL DECK	724.2
TOTAL IMPERVIOUS AREA	3,735.7
ACTUAL IMPERVIOUS (%)	50.0%



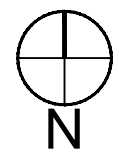
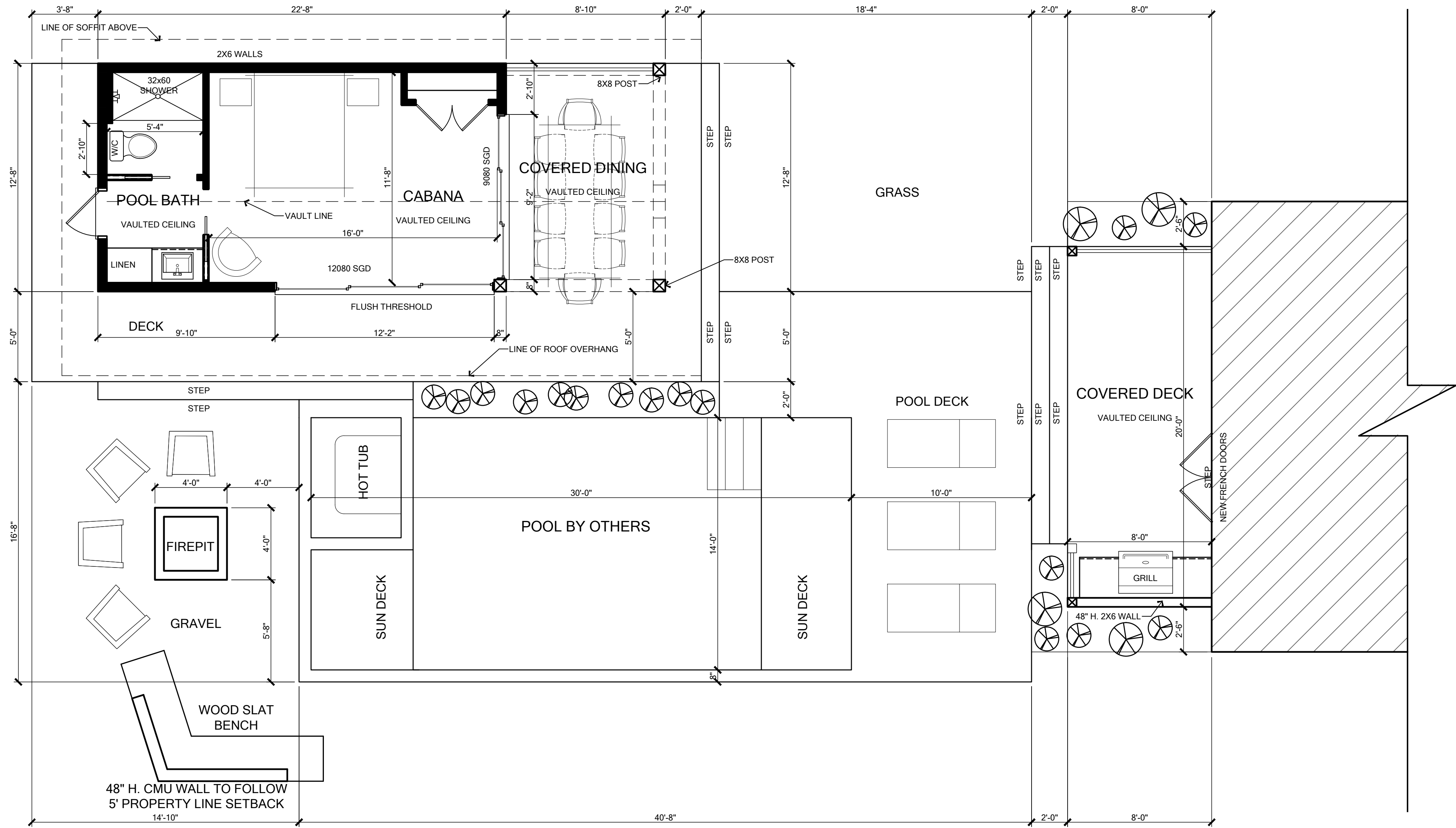
Kniel Residence

Single Family Residence

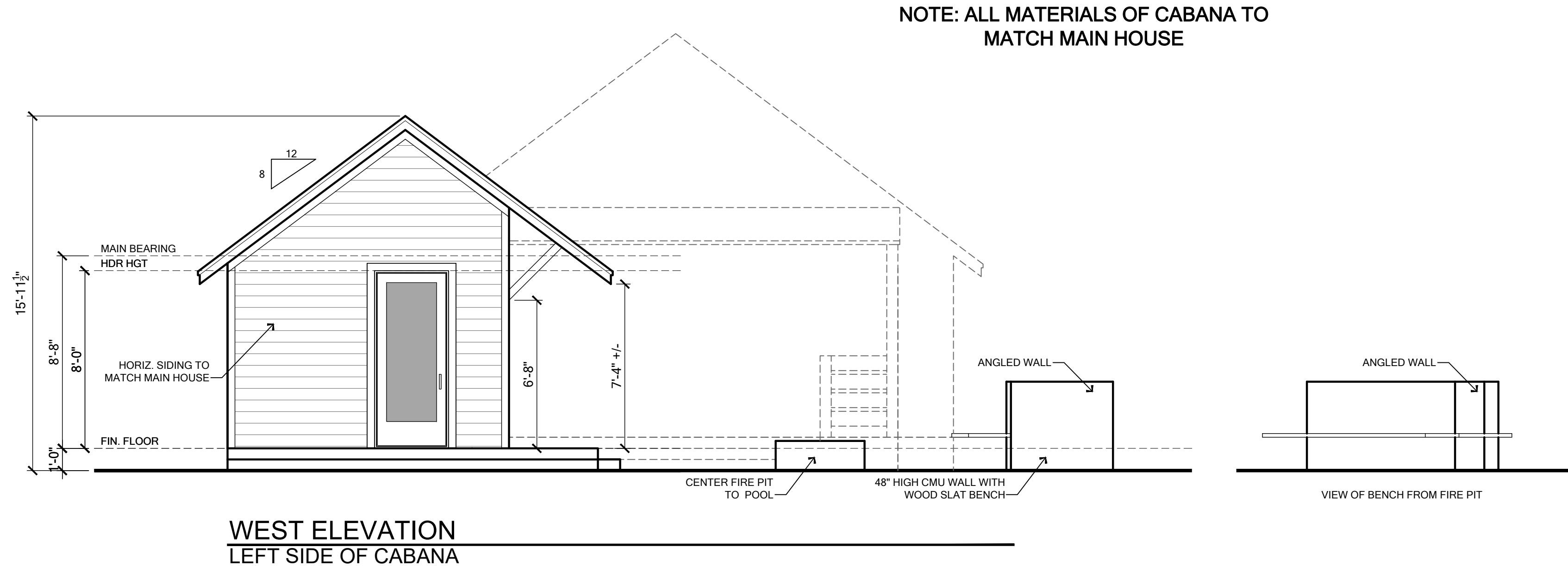
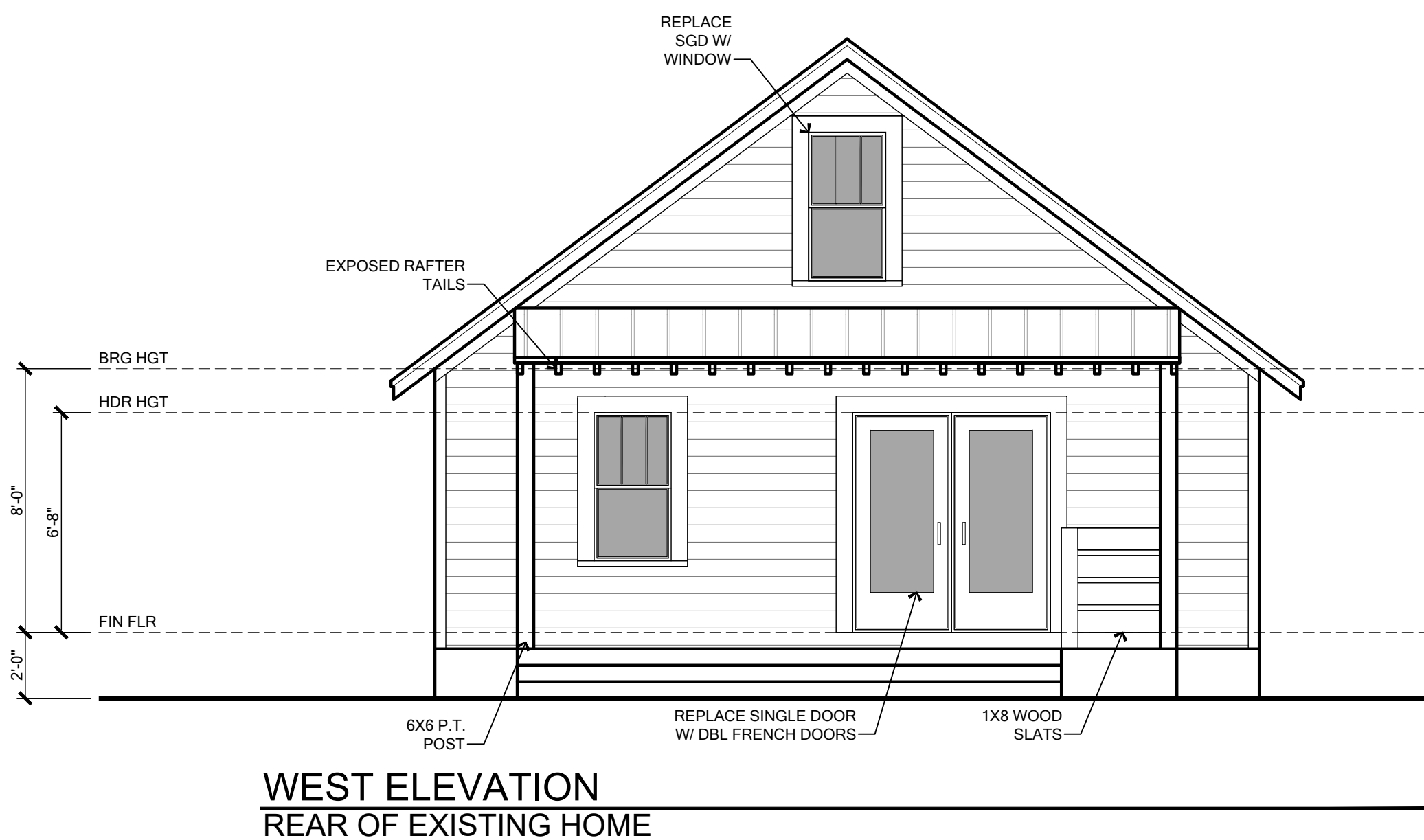
Block: 1273 Richmond Road
Lot: Winter Park, FL 32789

Reference No. 23-01175

Sheet 1.1

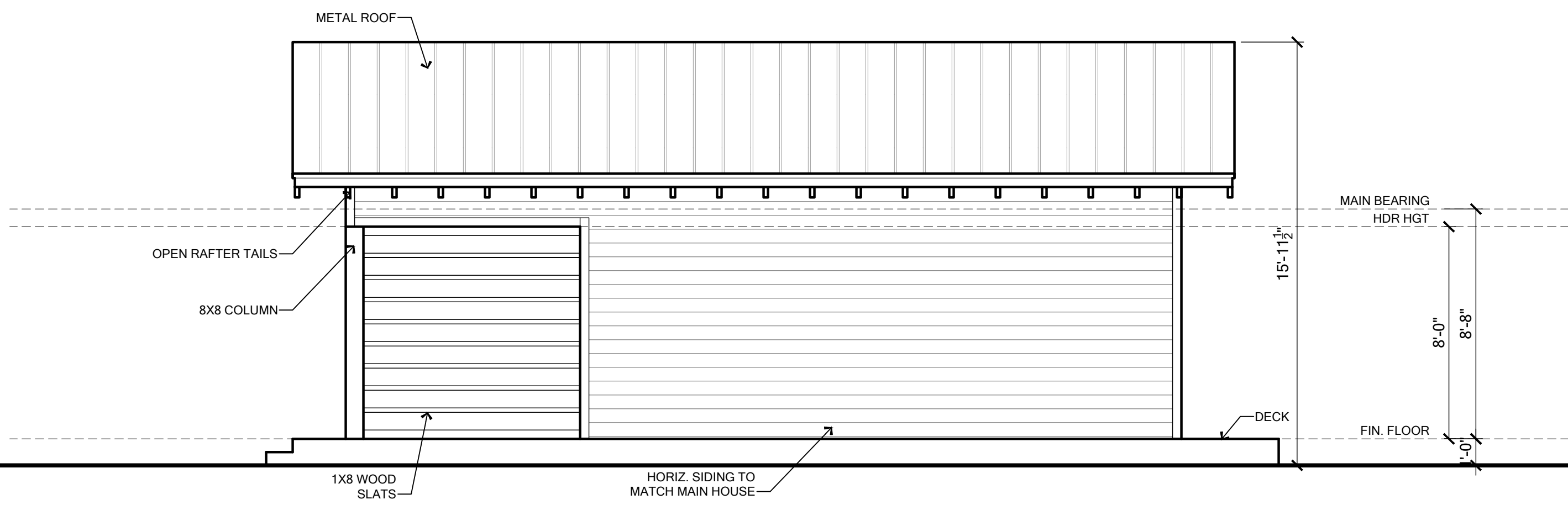
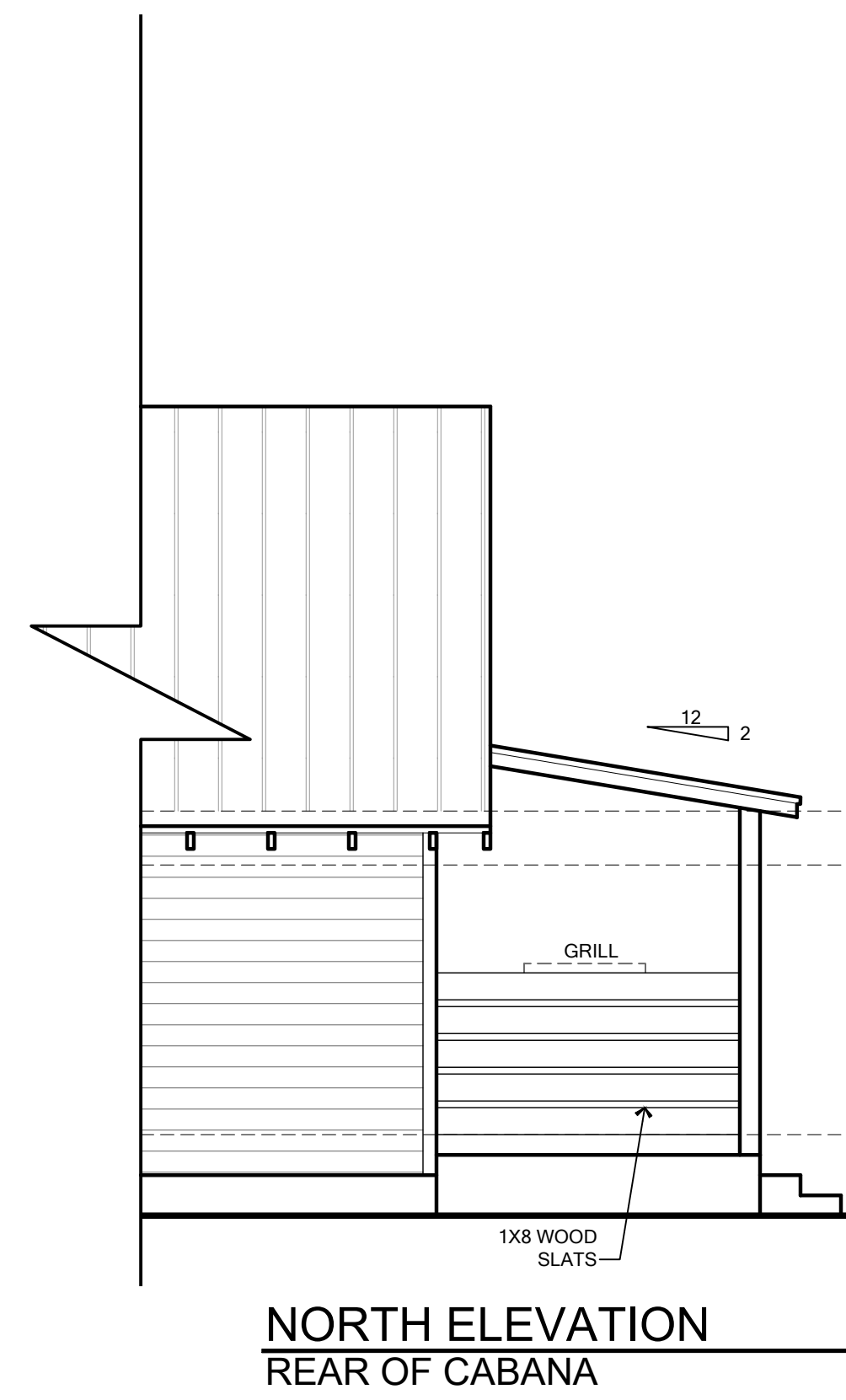


AREA TABULATION - PROPOSED		
CABANA	287	SQ.FT.
TOTAL LIVING AREA	287	SQ.FT.
COVERED DECK	112	SQ.FT.
TOTAL AREA UNDER ROOF	399	SQ.FT.



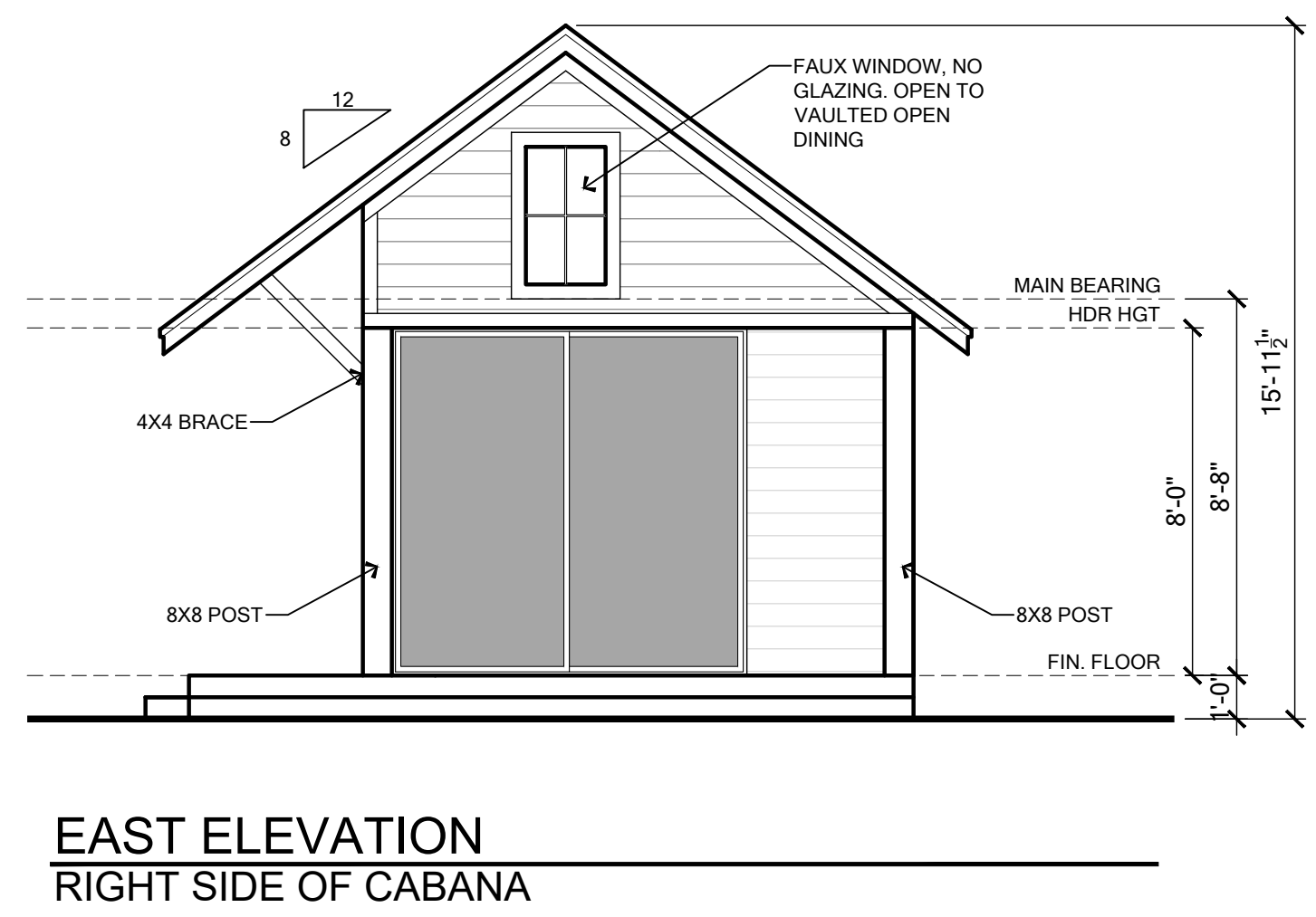
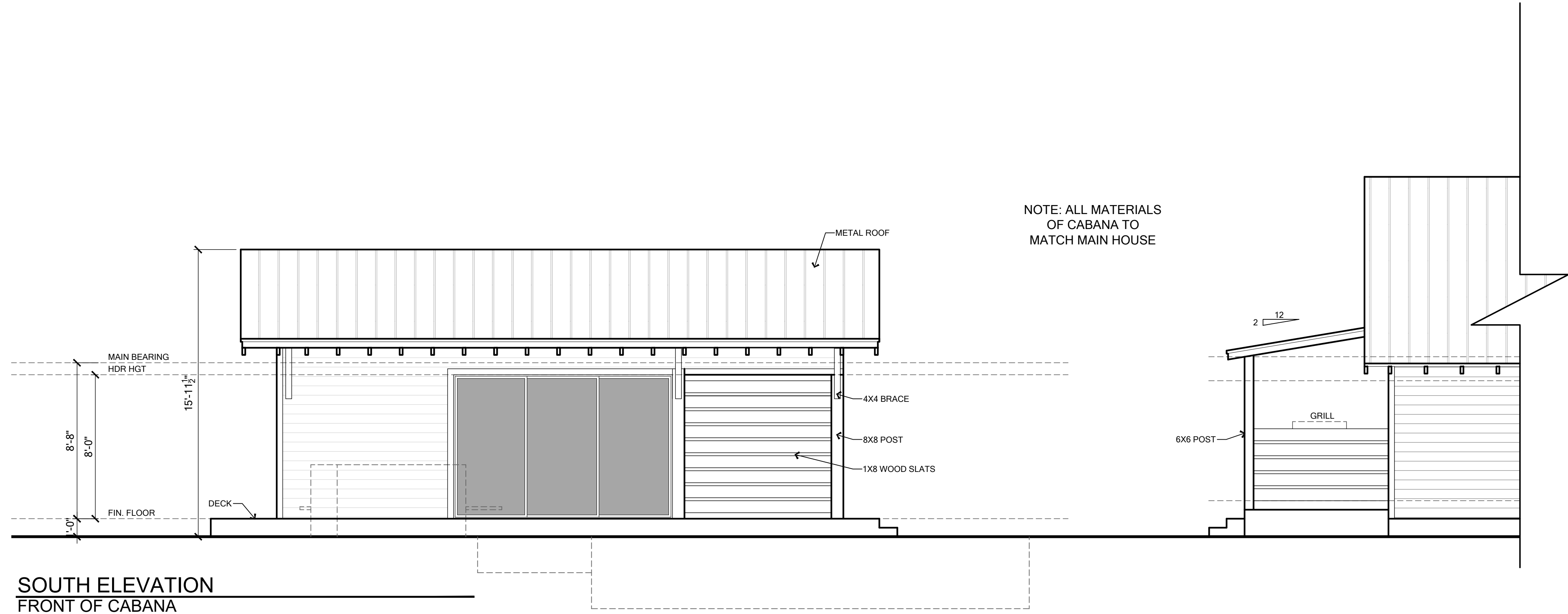
NOTE: ALL MATERIALS OF CABANA TO MATCH MAIN HOUSE

ELEVATIONS



ELEVATIONS

Job Information:			
Kniel Residence	Single Family Residence		
	Block:	Unit:	
	1273 Richmond Road		
	Address:	Community:	Winter Park, FL 32789
Reference No. 23-01175			
Sheet: 3.0			



CITY OF WINTER PARK
HISTORIC PRESERVATION COMMISSION

Staff Report
March 12, 2003

HDA 03-005 Request of Lawrence Mackey to designate his property located at 1273 Richmond Road, Winter Park, Florida, Parcel ID. 07-22-30-8910-04-180, to the Winter Park Register of Historic Places.

The residence at 1273 Richmond Road was built about 1925 as part of the Florida Land Boom development of the Virginia Heights subdivision. The wood frame one-and one-half story, two-bay vernacular cottage has a front-facing gable roof with recessed, skirted front screened porch. The property includes a contributing frame garage at the northwest corner of the site accessed by a driveway on the north. The horizontal wood siding is locally milled cypress. The windows are typically three vertical panes over one, double hung style. The windows are also cypress and were made by the Scott Company in Winter Park. The metal, V-groove roof features exposed rafter tails. The half story contains attic space. A shed roof extension shelters the recessed front porch. The front porch was originally open, but has since been screened. There is an open rear service porch. The house was built by the Mackey family and is still owned by Lawrence Mackey.

The house was one of the first built as the Virginia Heights subdivision developed. The Mackey family bought both the site of this house and an adjacent lot to the north for \$500.00 each. The additional residential lot was sold later. It would be a year before electrical service was supplied to the area. The house is preserved much as it was when it was built, and provides unique insights to an almost forgotten way of life in Florida during the first part of the last century. The house is heated with a wood stove in the living room. The kitchen has a wood burning cooking range. A gas range is used for cooking only during warm weather.

Lawrence Mackey came to Winter Park with his family when he was a small boy. The family ran a small farm near Lake Knowles until the purchase of their own property in Virginia Heights. Mr. Mackey has been the subject of a 1996 interview for the oral history collection of the Winter Park Historical Association. His reminiscences provide a window into early travel, Winter Park living in the first part of the century, and to the life of the working class. The Mackey home is little altered as shown in the historical family photos.

Richmond Road has several other Land Boom era houses and retains its circa 1920s feel. The property is in good condition. The building retains its original character and provides a unique example of 1920s housing. The property is recommended for listing as a historic resource, and it would be a contributing element to a potential Virginia Heights historic district.

STAFF RECOMMENDATION IS FOR LISTING IN THE WINTER PARK REGISTER OF HISTORIC PLACES AS A HISTORIC RESOURCE.



Historic Preservation Board agenda item

item type Public Hearings (Public participation and comment on these matters must be in-person.)	meeting date June 14, 2023
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strategic objective	

subject

Request by Joseph Disanti, to voluntarily designate the property and home built in 1951 at 1299 Harding Street as an individual historic landmark on the Winter Park Register of Historic Places and to allow additions to the existing detached garage/storage building at the rear of the property to add space for a second-floor art studio and exterior porch.

motion / recommendation

Staff recommendation is for approval.

background

The property owner (Joseph Disanti) of 1299 Harding Street has requested a voluntary designation of the property and home at 1299 Harding Street to the Winter Park Register of Historic Places. This application for designation is contingent upon approval of the plans submitted with this application.

This home built in 1951 is an example of earlier influences of northern architecture. The steep roofs and dormers are influenced by Cape Cod and Tudor styles. The window fenestration of six over six for the main windows and eight over eight for the dormer windows was intended to replicate window patterning from an earlier era than the 1951 construction time. It appears that the design was largely influenced by New England roots and as such is particularly unique to this Florida application.

In the rear of the property is a detached 480 sq. ft. accessory two-car garage structure that has an interior stair leading up to an unfinished storage area tucked between the two steep roof slopes. The desire is to remove the interior stairs and build a new exterior open stair leading up to a 120 sq. ft. open porch. Then one side of the garage roof will be expanded as a dormer addition, in order to provide interior ceiling height to create 480 sq. ft. of useable space for an art studio. Due to the existing location of the structure 6.5 feet from the rear property line and the desire to convert the unfinished storage space to added living space it requires a variance from the 35-foot rear two-story setback.

The planning staff is comfortable with the variance. The existing structure is already in place and the floor plan indicates that there are no windows facing the rear neighbor, so there is no impact upon their privacy. If the neighbor does have a concern related to privacy it would relate to the size of the exterior porch which could be adjusted. While there may be a “convenience” toilet, the floor plan is not set-up to be living space in the sense of sleeping and living with kitchen/shower, etc. versus use as hobby space.

Summary and Recommendation:

The home and the garage structures retain much of the original exterior architectural image from when built in 1951 and styling from earlier periods. The variances requested should have no impact on the neighboring affected property. As discussed often, the historic designation preserves both the architectural heritage of the architectural image but also the scale and character of development on this property. As such, staff recommendation is for approval.

alternatives / other considerations

fiscal impact

ATTACHMENTS:

[Location map.pdf](#)

ATTACHMENTS:

[1.jpg](#)

ATTACHMENTS:

[2.jpg](#)

ATTACHMENTS:

[3.jpg](#)

ATTACHMENTS:

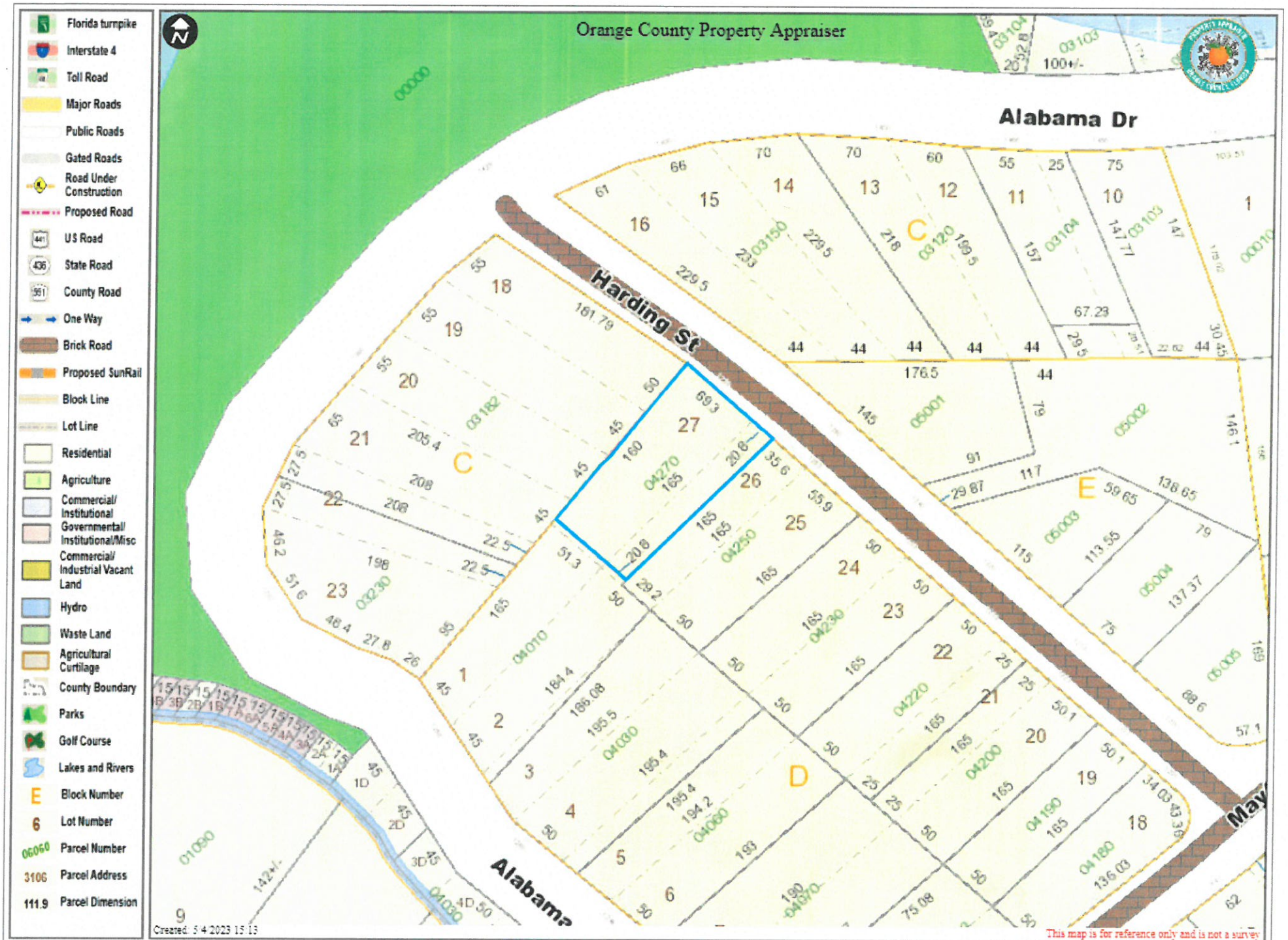
[4.jpg](#)

ATTACHMENTS:

[1299 Harding plan set.pdf](#)

ATTACHMENTS:

[Resolution_1299 Harding Ave.doc](#)







8:00 PM Tue May 2

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Photos

Zillow

Save Home Share

5.5K 4.8K 3,800 sqft

1299 Harding St, Winter Park, FL 32789



52 of 56

NEW HOME LOANS

Apply on Z

100% origi

- \$2.17M

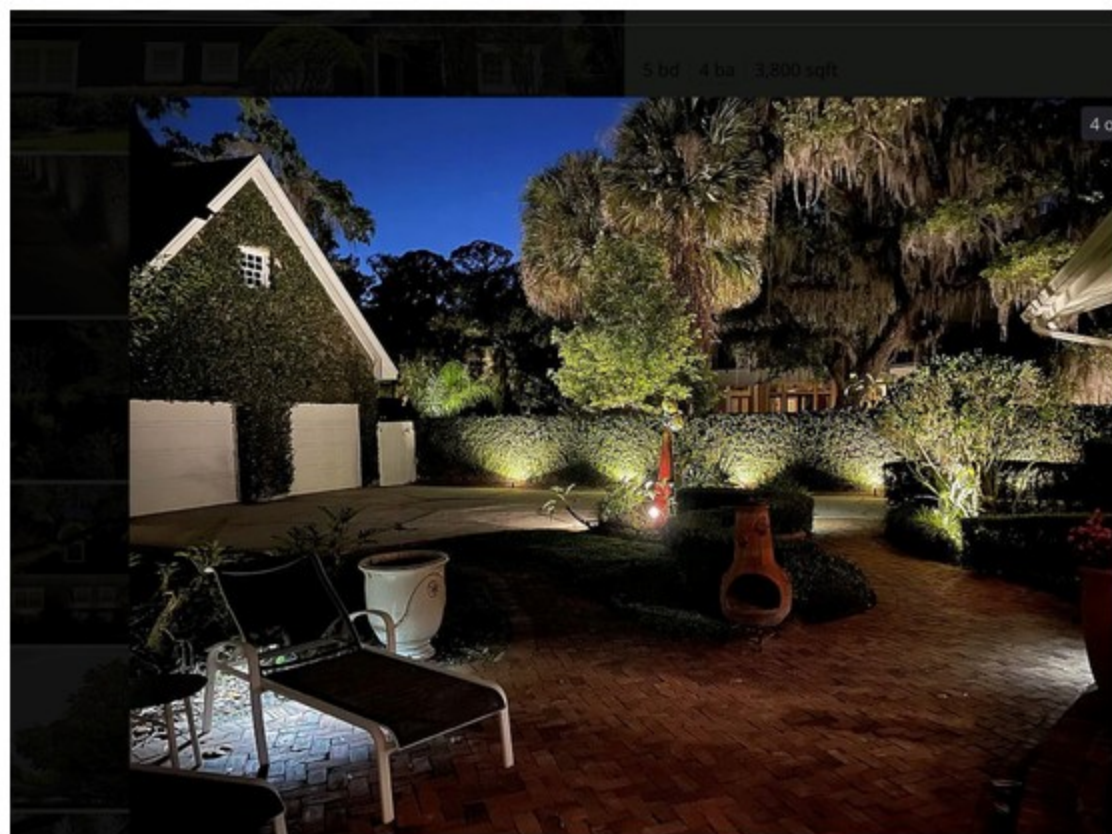
pay change

53 (12.2%)

per sqft

\$484

Sold: \$1,075,000 (5 beds, 4 baths, 3,800 Square Feet)



BUILDING DATA	
2020 FLORIDA BUILDING CODE RESIDENTIAL, 7th EDITION 2020 FLORIDA BUILDING CODE EXISTING, 7th EDITION - NFPA-70 (NEC), 2017 EDITION 2020 FBC RESIDENTIAL, 7th EDITION - PLUMBING	
COMPLIANCE METHOD: WORK AREA CLASSIFICATION: ADDITION	
SCOPE OF WORK	
ADDITION: - CONVERT EXISTING BONUS ROOM ABOVE GARAGE INTO LIVING SPACE - ADD NEW COVERED PORCH WITH BALCONY ABOVE TO THE EXISTING DETACHED GARAGE - REWIRE ELECTRICAL SYSTEM AS REQ'D. (LOAD CALCS. BY OTHERS) - REMOVE & REPLACE HVAC SYSTEM AS REQ'D. (ENERGY CALCS. BY OTHERS)	

NOTE:
SITE PLAN CREATED FROM OWNER
PROVIDED SURVEY. DBSS, INC. IS NOT
RESPONSIBLE FOR SURVEY ERRORS.

LEGAL DESCRIPTION:

LOT 27, AND THE WEST 20.8 FEET OF LOT 26, BLOCK D, J.
KRONENBERGER SUBDIVISION, ACCODING TO THE PLAT
THEROF AS RECORDED IN PLAT BOOK G, PAGES 56 AND 57,
PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, LESS THE
SOUTHWESTERLY 5 FEET THEROF.

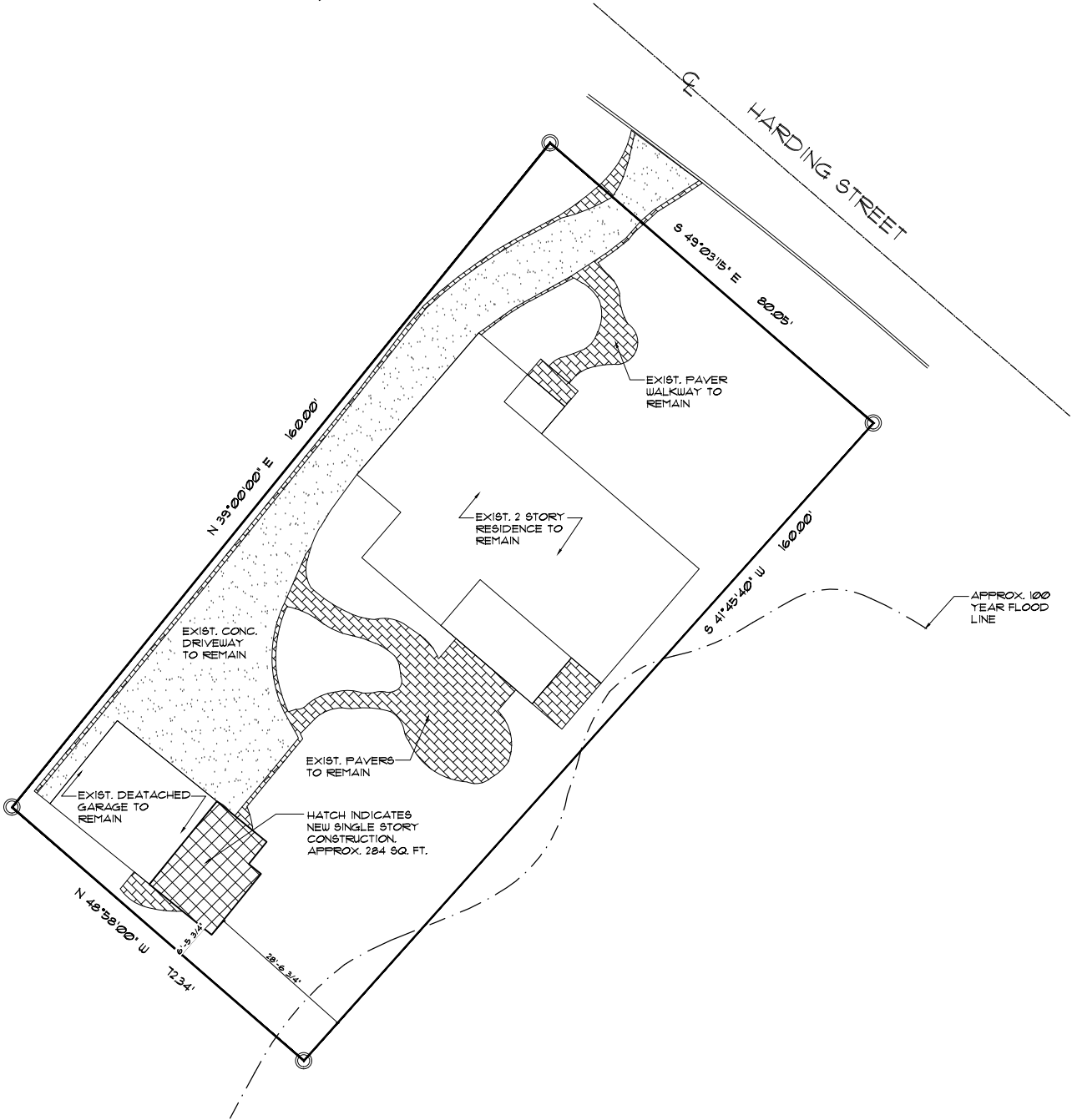
IMPERVIOUS AREA CALC.'S

IMPERVIOUS AREA	6,124 SQ. FT.
TOTAL LOT AREA	12,187 SQ. FT.
IMPERVIOUS %	
50 %	

DRAWING INDEX

C	COVER SHEET & SITE PLAN
GN	GENERAL NOTES
01	1ST FLOOR DEMOLITION PLAN
02	2ND FLOOR DEMOLITION PLAN
03	1ST FLOOR PLAN
04	2ND FLOOR PLAN
05	EXTERIOR ELEVATIONS
06	1ST FLOOR ELECTRICAL PLAN
07	2ND FLOOR ELECTRICAL PLAN
S1	FOUNDATION PLAN
S2	ROOF FRAMING PLAN
S3	LINTEL PLAN
SD1	DETAIL SHEET
SD2	DETAIL SHEET

DISANTI RESIDENCE
1299 HARDING ST.
WINTER PARK, FL 32789



SITE PLAN
1"=30'

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DEMOLITION NOTES:

1. G.C. TO CONTACT DESIGN PROFESSIONAL IF EXIST. CONDITIONS VARY FROM PLANS.

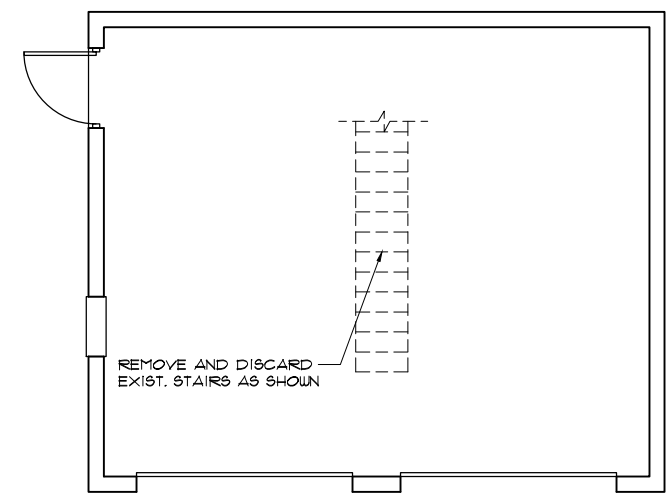
2. G.C. TO VERIFY WALLS AS NON-LOAD BEARING BEFORE REMOVAL OR PROVIDE SHORING AS REQ'D.

LEGEND

EXISTING TO REMAIN

EXISTING TO BE REMOVED

G.C. TO SHORE ALL ROOF/ FLOOR FRAMING AS REQ'D. BEFORE REMOVAL OF LOAD BEARING WALL.



1ST FLOOR DEMOLITION PLAN

1/8"=1'-0"

PROJECT
DISANTI RESIDENCE
1299 HARDIN ST.
WINTER PARK, FL 32789

DESIGN
CHECKED
SSPE

JOB
SCALE
DATE

SHT 3 OF X

1ST FLOOR
DEMOLITION PLAN

CA#27371
PHONE: 321.251.6006
3662 AVALON PARK EAST BLVD.
SUITE 2072
ORLANDO, FL 32828

DBSS
Engineering and Design Services

01

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SCOTT A. SANTOMAURO, M.S.P.E.
FLORIDA REG. #65513

SCOTT A. SANTOMAURO, M.S.P.E.
FLORIDA REG. #65513

REV.

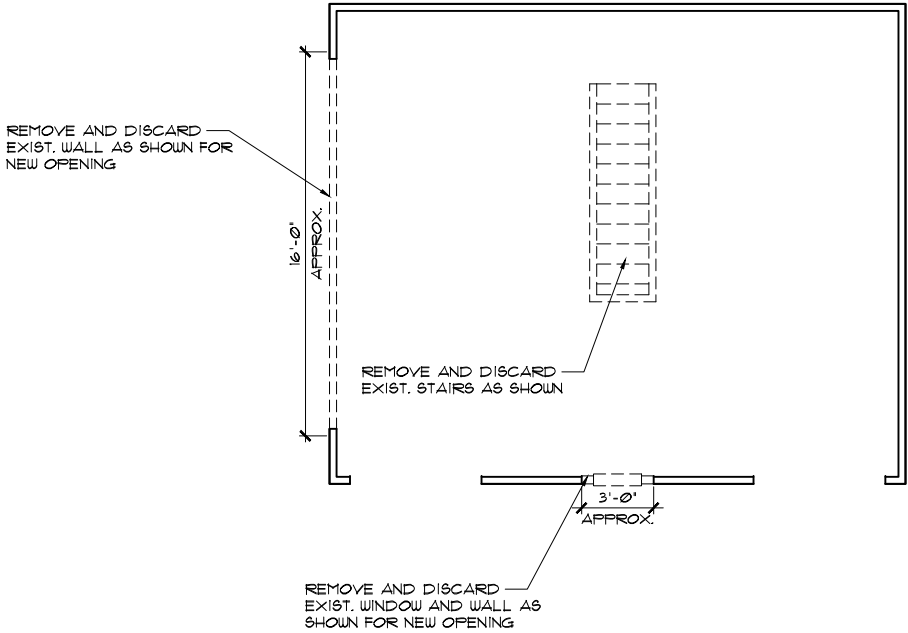
DESCRIPTION

DATE

THIS ADDITION IS DESIGNED TO WITHSTAND 139 MPH (V_W) WINDS PER THE FLORIDA BUILDING CODE EXISTING AND FLORIDA BUILDING CODE RESIDENTIAL 2020, 7th EDITION (REF. ASCE-7-16) AND IS CERTIFIED AS SUCH.

35

REFER TO SHEET 01 FOR
NOTES AND LEGENDS



2ND FLOOR DEMOLITION PLAN
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SHEET TITLE
DEMOLITION
PLAN

CA#27371
PHONE: 321.251.6006
3662 AVALON PARK EAST BLVD.
SUITE 2072
ORLANDO, FL. 32828

PROJECT
DISANTI RESIDENCE
1299 HARDIN ST.
WINTER PARK, FL 32789

DBSS INC.
Engineering and Design Services

DESIGN: [blank] DRAWN: [blank] A/C: [blank]

CHECKED: SSPE

JOB: DBSS - DISANTI
SCALE: AS NOTED
DATE: 02.22.2023

SHT 3 OF X

02

FLOOR PLAN NOTES:

1. WINDOW AND DOOR SUPPLIERS SHALL PROVIDE CURRENT ROUGH OPENING INFO WHICH SHALL HAVE PRECEDENCE OVER THE WINDOW AND DOOR SCHEDULES ON PLAN. WINDOWS & DOORS TO COMPLY WITH 2020 FBC (7th EDITION) ENERGY EFFICIENCY CODE.
2. DO NOT SCALE PLANS. DIMENSIONS ARE TO BE FOLLOWED AS NOTED.
3. G.C. TO VERIFY ALL DIMENSIONS WITH FIXTURES TO BE INSTALLED TO ENSURE COMPLIANCE
4. THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND IT'S ATTIC AREA BY NOT LESS THAN 1/2" GYPSUM WALL BOARD APPLIED TO THE GARAGE SIDE (INCLUDING ATTIC ACCESSES). PROVIDE 5/8" TYPE "X" GYPSUM BOARD AT GARAGE CEILING ONLY WHEN HABITABLE SPACE IS ABOVE. APPLY PERPENDICULAR TO CEILING FRAMING.
5. DOOR FROM RESIDENCE TO GARAGE MUST BE SOLID WOOD DOORS NOT LESS THAN 1-3/8" IN THICKNESS, SOLID OR HONEYCOMB CORE STEEL DOORS NOT LESS THAN 1-3/8" THICK, OR 20-MINUTE FIRE-RATED DOORS.
6. H.V.A.C. SYSTEM TO BE SIZED AND DESIGNED BY H.V.A.C. CONTRACTOR
7. REFER TO FLOOR PLAN FOR CEILING HEIGHTS
8. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS AT SITE BEFORE PROCEEDING WITH ANY WORK
9. NOTES INDICATING TYPICAL CONDITIONS SHALL APPLY TO ALL LIKE AREAS UNLESS NOTED OTHERWISE
10. IF WATER BASED CEILING TEXTURE IS USED, PROVIDE 1/2" GYPSUM BOARD FOR 16" O.C. FRAMING OR 5/8" GYPSUM BOARD FOR 24" O.C. FRAMING (1/2" SAG-RESISTANT GYPSUM BOARD MAY BE USED I.L.O. OF 5/8" GYPSUM).
11. DUCTS IN THE GARAGE AND DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF A MINIMUM No. 26 GA (0.48 mm) SHEET STEEL, 1 INCH (25.4 mm) MINIMUM RIGID NONMETALLIC CLASS 0 OR CLASS 1 DUCT BOARD, OR OTHER APPROVED MATERIAL AND SHALL NOT HAVE OPENINGS INTO THE GARAGE.
12. ANCHOR THE CONDENSER UNIT TO SLAB USING 1/4"x1-1/4" TAPCONS TO ATTACH 4" 'L' BRACKETS INTO THE PAD AND THEN USE 3/4" LONG HEX SCREWS (2) ON EACH CORNER TO ATTACH THE 'L' BRACKETS TO THE EQUIPMENT.
13. PROVIDE MIN. R-13 INSULATION IN FRAME WALLS SEPARATING GARAGE AND CONDITIONED AREAS OF THE RESIDENCE UNLESS NOTED OTHERWISE ON ENERGY CALCS.
14. G.C. TO VERIFY WITH WINDOW MANUFACTURER THAT ALL WINDOWS MARKED AS EGRESS HAVE A NET CLEAR OPENING OF 5 S.F. IF LOCATED AT GRADE FLOOR, OR 5.7 S.F. AT OTHER FLOORS (I.E. 2ND FLOOR). A 24" MINIMUM CLEAR OPENING HEIGHT AND A 20" MINIMUM CLEAR WIDTH ARE REQUIRED.
15. PROVIDE WINDOW GUARDS THAT COMPLY WITH ASTM F2006 OR F2090 FOR OPERABLE WINDOWS LOCATED MORE THAN 72" ABOVE THE FINISHED GRADE OR SURFACE BELOW, AND IF THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW IS LOCATED WITHIN 24" OF THE FINISH FLOOR OF THE ROOM.
16. EXTERIOR GLAZED OPENINGS LOCATED IN WIND-BORNE DEBRIS REGIONS SHALL BE PROTECTED PER FBCR 2020 SEC. R301.2.1.2

DOOR/ FRAME WINDOW SIZE LEGEND

XXXX

WIDTH (X'-X")

HEIGHT (X'-X")

CMU WINDOW SIZE LEGEND

XX

CMU COMMODITY SIZE CALL OUT

NOTE:
G.C TO FIELD VERIFY WINDOW/ DOOR SIZES PRIOR TO WINDOW/ DOOR PURCHASE.

LEGEND

HATCH INDICATES NEW 2x (U.N.O.) FRAMING (LOAD BRG.) STUDS @16" O.C. PROVIDE MID-SPAN BLOCKING FOR INT. WALL PER DTL. X/SDX

HATCH INDICATES NEW 2x4 (U.N.O.) NON-LOAD BEARING FRAME WALL STUDS @ 24" O.C. REFER TO DTL. X/SD1

INDICATES EXISTING WALL TO REMAIN

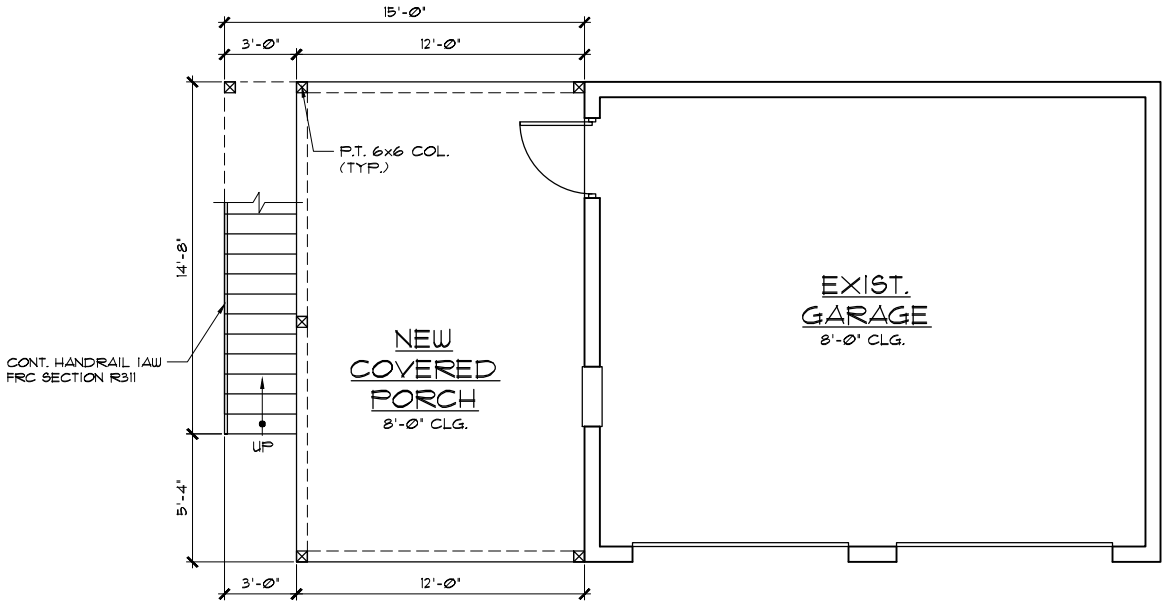
+ XX,X

- XX,X

COMPONENT DESIGN PRESSURE (p_{int})

SQ.FT. CALC'S

EXISTING GARAGE	480 SQ. FT.
REMODELED 2ND FLOOR LIVING	480 SQ. FT.
NEW COVERED PORCH	240 SQ. FT.
TOTAL UNDER ROOF	1,200 SQ. FT.
NEW UNCOVERED BALCONY	281 SQ. FT.



NOTE:
ALL INTERIOR DIMENSIONS
ARE TO FINISHED WALL

ALL DIMENSIONS ARE
APPROXIMATE AND
TO BE FIELD VERIFIED

1ST FLOOR PLAN

1/8"=1'-0"

NOTE:
G.C TO FIELD VERIFY WINDOW/
DOOR SIZES PRIOR TO WINDOW/
DOOR PURCHASE.

LOCATIONS OF NEW
REINFORCEMENTS MAY BE
VARIED BY CONTRACTOR +/- 8"
TO AVOID BLOCK WEBS AND/OR
OTHER IMPEDIMENTS

EGRESS NOTE:
PER THE FLORIDA BUILDING CODE
EXISTING, CHAPTER 6 SECTION 604, MEANS
OF EGRESS, "REPAIRS SHALL BE DONE IN
A MANNER THAT MAINTAINS THE LEVEL OF
PROTECTION PROVIDED FOR THE MEANS
OF EGRESS". EXISTING WINDOW OPENINGS
WHICH DO NOT CURRENTLY MEET EGRESS
WILL REMAIN UNMODIFIED. EXISTING
DAMAGED WINDOWS TO BE REMOVED AND
REPLACED WITH SAME SIZE OPENING.

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FLORIDA REG. #65513

SHEET TITLE
FLOOR PLAN

PROJECT
DISANTI RESIDENCE
1299 HARDIN ST.
WINTER PARK, FL 32789

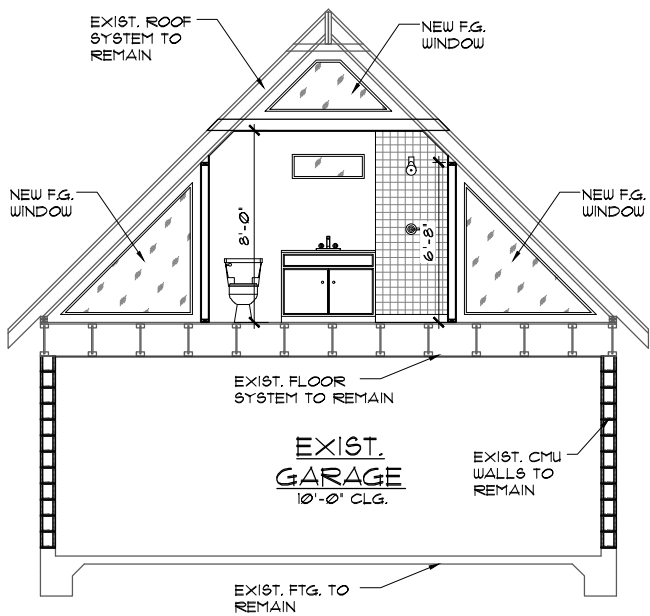
CA#27371
PHONE: 321.251.6006
3662 AVALON PARK EAST BLVD.
SUITE 2072
ORLANDO, FL 32828

DBSS INC.
Engineering and Design Services

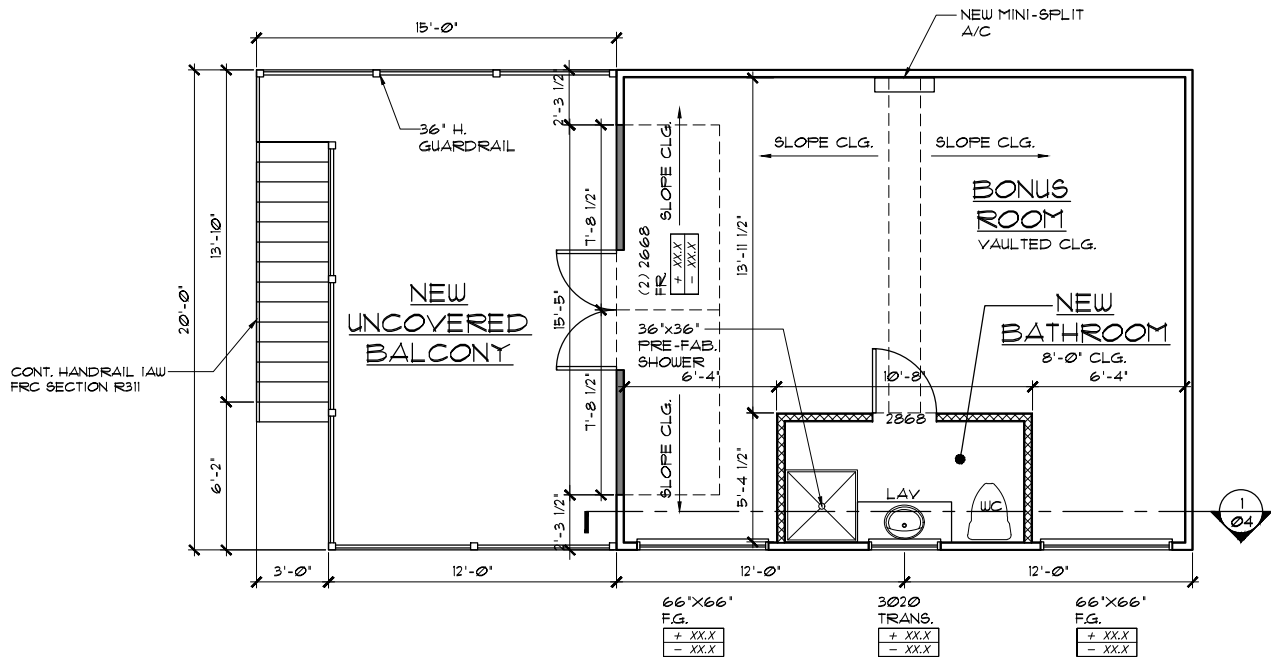
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CHECKED	SSPE	
JOB	DBSS - DISANTI	
SCALE	AS NOTED	
DATE	02.22.2023	

SHT 4 OF X

03



REFER TO SHEET 03 FOR
NOTES AND LEGENDS



2ND FLOOR PLAN

1/8"=1'-0"

NOTE:
ALL INTERIOR DIMENSIONS
ARE TO FINISHED WALL

ALL DIMENSIONS ARE
APPROXIMATE AND
TO BE FIELD VERIFIED

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SHEET TITLE

FLOOR PLAN

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WINTER PARK, FL 32789

DBSS INC.
Engineering and Design Services

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SUITE 2072
ORLANDO, FL 32828

DESIGN

DRAWN

AC

CHECKED

SSPE

JOB

DBSS - DISANTI

SCALE

AS NOTED

DATE

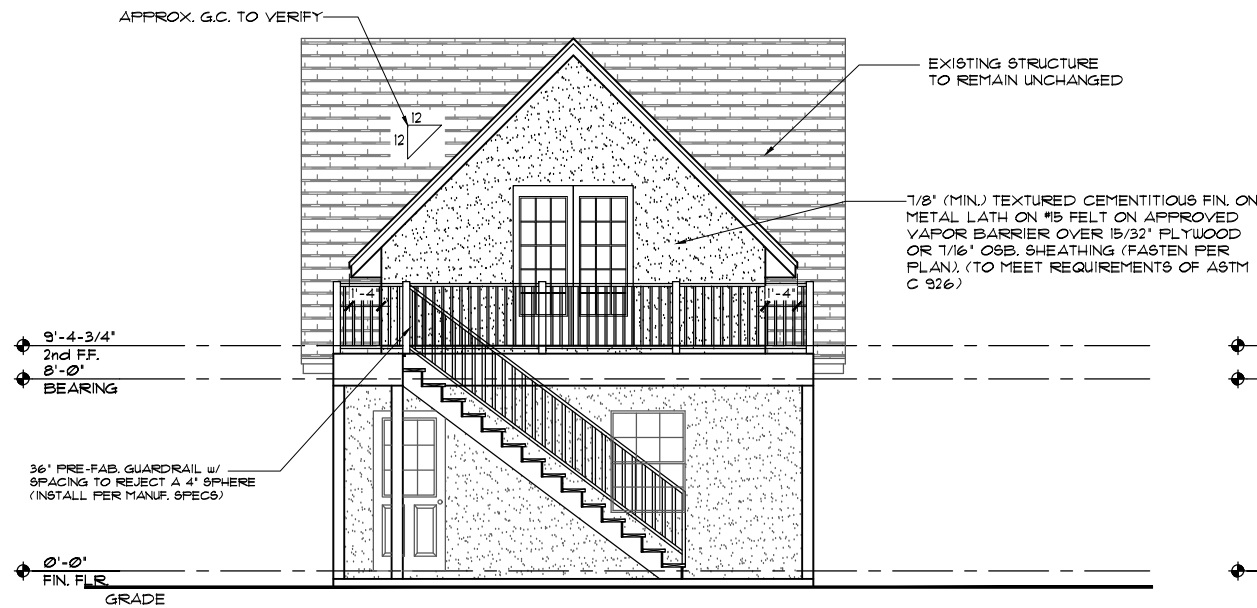
02.22.2023

SHT 4 OF X

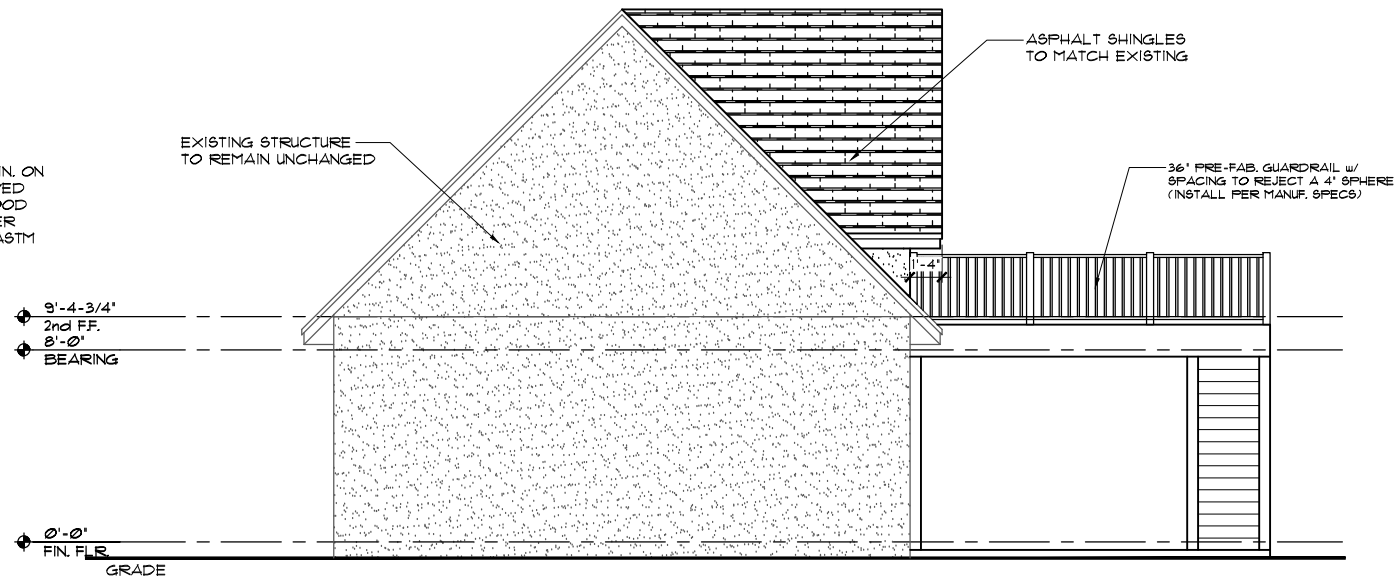
04



FRONT ELEVATION
1/8"=1'-0"



LEFT ELEVATION
1/8"=1'-0"



REAR ELEVATION
1/8"=1'-0"

THIS ITEM HAS BEEN ELECTRONICALLY
SIGNED AND SEALED BY SCOTT A.
SANTOMAURO ON 2/22/2023 3:26 PM
USING A DIGITAL SIGNATURE. PRINTED
COPIES OF THIS DOCUMENT ARE NOT
CONSIDERED SIGNED AND SEALED AND
THE SIGNATURE MUST BE VERIFIED ON
ANY ELECTRONIC COPY.



SCOTT A. SANTOMAURO, M.S., P.E.
FLORIDA REG. #65513

SHEET TITLE
EXTERIOR
ELEVATIONS

PROJECT
DISANTI RESIDENCE
1299 HARDIN ST.
WINTER PARK, FL 32789

CA#27371
PHONE: 321.251.6006
3662 AVALON PARK EAST BLVD.
SUITE 2072
ORLANDO, FL 32828

DBSS INC.
Engineering and Design Services

DESIGN
DRAWN
A/C
CHECKED
SSPE
JOB
DBSS - DISANTI
SCALE
AS NOTED
DATE
02.22.2023

SHT 6 OF X
05

RESOLUTION _____

A RESOLUTION OF THE CITY COMMISSION OF THE CITY OF WINTER PARK, FLORIDA, DESIGNATING THE PROPERTY LOCATED AT 1299 HARDING STREET, WINTER PARK, FLORIDA AS A HISTORIC RESOURCE ON THE WINTER PARK REGISTER OF HISTORIC PLACES.

WHEREAS, there are located within the City of Winter Park historic sites, areas, structures, buildings, improvements and appurtenances, both public and private, both on individual properties and in groupings, that serve as reminders of past eras, or that provide significant examples of past architectural styles and development patterns and that constitute unique and irreplaceable assets to the City; and

WHEREAS, there is the desire foster awareness and civic pride in the accomplishments of the past; and

WHEREAS, the Winter Park Historic Preservation Board has determined and recommended that the property at 1299 Harding Street with the existing home built in 1951 is an example of the architecture popular during that period.

NOW, THEREFORE, be it resolved by the City Commission of the City of Winter Park, Florida that:

SECTION 1. That the City Commission of the City of Winter Park hereby designates 1299 Harding Street as a historic resource on the Winter Park Register of Historic Places.

SECTION 2. That the City Commission of the City of Winter Park in consideration of this voluntary request for historic designation of this property has approved the designation with the setback variances as approved by the Historic Preservation Board to allow the expansions to the existing garage accessory for living space/exterior porch.

ADOPTED at a regular meeting of the City Commission of the City of Winter Park held in City Hall, Winter Park on this ____ day of _____ 2023.

Phillip Anderson, Mayor

ATTEST:

City Clerk



Historic Preservation Board **agenda item**

item type Non-Action Items	meeting date June 14, 2023
prepared by Allison McGillis	approved by
board approval Completed	
strategic objective	

subject

Discussion on development plans for 330 Holt Avenue.

motion / recommendation

background

The homeowners of 330 Holt Avenue have requested a discussion item with the Historic Preservation Board prior to their official application submittal to ensure that they are on the right track. Attached are their proposed plans.

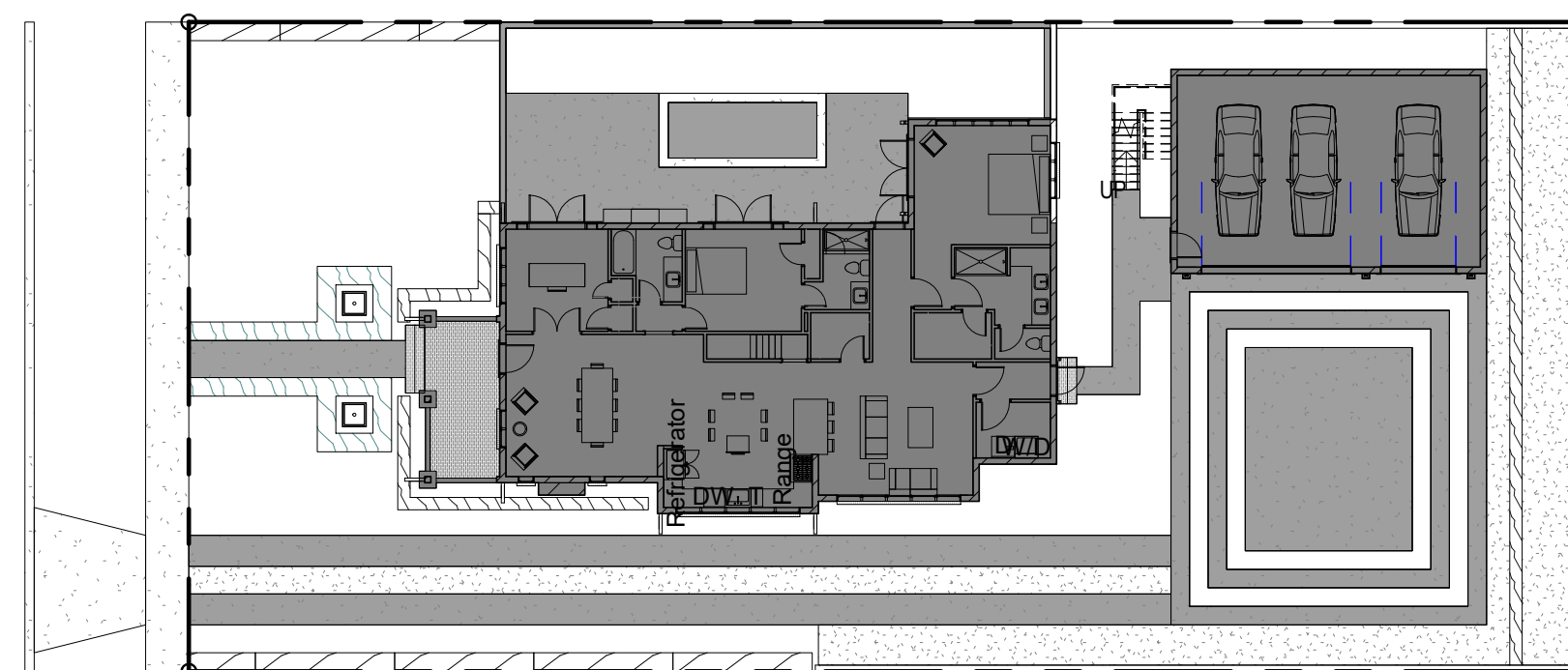
alternatives / other considerations

fiscal impact

ATTACHMENTS:

[330 Holt Option 4.pdf](#)

IMPERVIOUS CALCULATIONS:
TOTAL LOT AREA = 10,562 SF (+/-)
ALLOWABLE IMPERVIOUS COVERAGE: 5,281 SF (50%)
PROPOSED TOTAL IMPERVIOUS COVERAGE: 5,258 SF



② IMPERVIOUS PLAN
1" = 20'-0"

F.A.R. 40% ALLOWED OR 4,225 SF
TOTAL PROPOSED FAR: 3877 SF

FIRST FLOOR SETBACKS:

REAR:	25'-0" ALLOWED	56'-6" PROPOSED
SIDE:	10'-0" ALLOWED	10'-6"/17'-0" PROPOSED

SECOND FLOOR SETBACKS:

REAR:	35'-0" ALLOWED	82'-2" PROPOSED
SIDE:	14'-0" ALLOWED	26'-4"/27'-8" PROPOSED

ACCESSORY STRUCTURE SETBACKS (GARAGE UP TO 600SF)

REAR: 10'-0" ALLOWED 10'-2" PROPOSED
SIDE: 5'-0" ALLOWED 5'-2" PROPOSED
(MAY NEED VARIANCE FOR ATTIC TRUSS ADDITION AND STAIR***)

JURISDICTION:
WINTER PARK, FL
(407) 599-3399

NOTE:
RETENTION AREAS MUST BE THE DEPTHS SPECIFIED AFTER SOD IS PLACED.
ADDITIONAL EXCAVATION IS REQUIRED TO OBTAIN THE REQUIRED RETENTION VOLUME.



(407) 450-0945
wvreb@outlook.com

330 Holt Ave,
Winter Park

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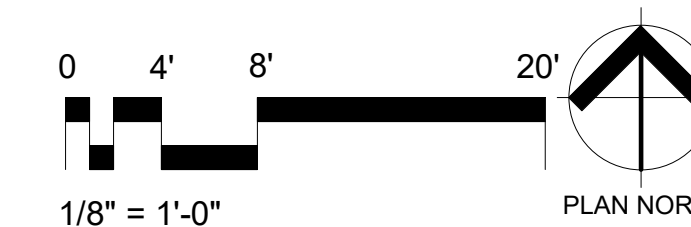
Renaissance
Wp LLC

330 Holt Renovation SITE PLAN

Checked By	WT
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2

Scale	As indicated
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330 Holt Ave,
Winter Park

[illegible]

Renaissance
Wp LLC

330 Holt Renovation

FLOOR PLAN

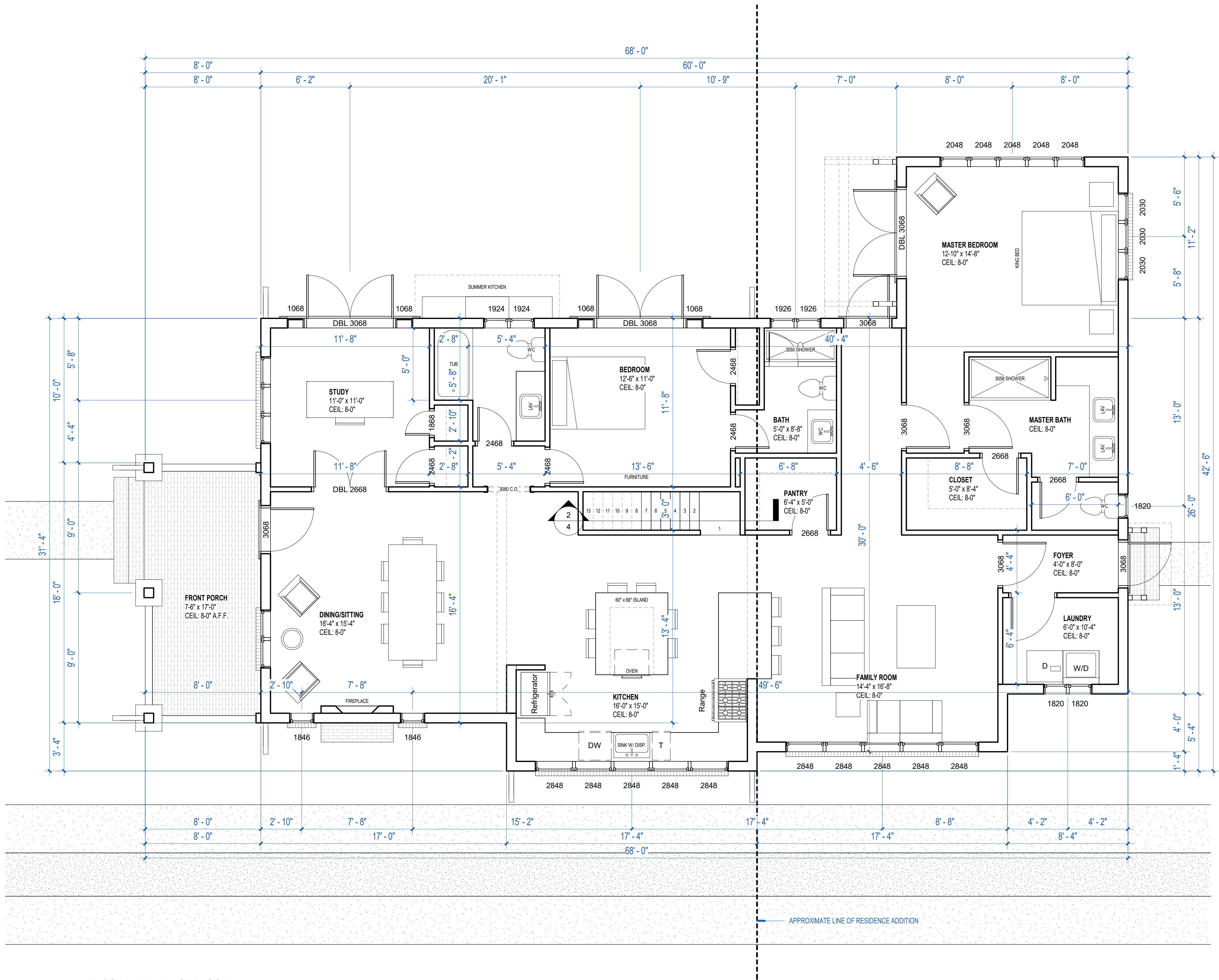
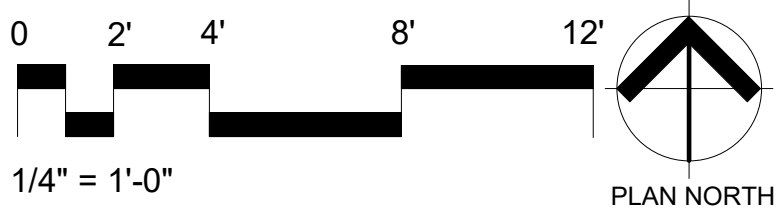
Date 5/25/2023

Drawn By WT

Checked By WT

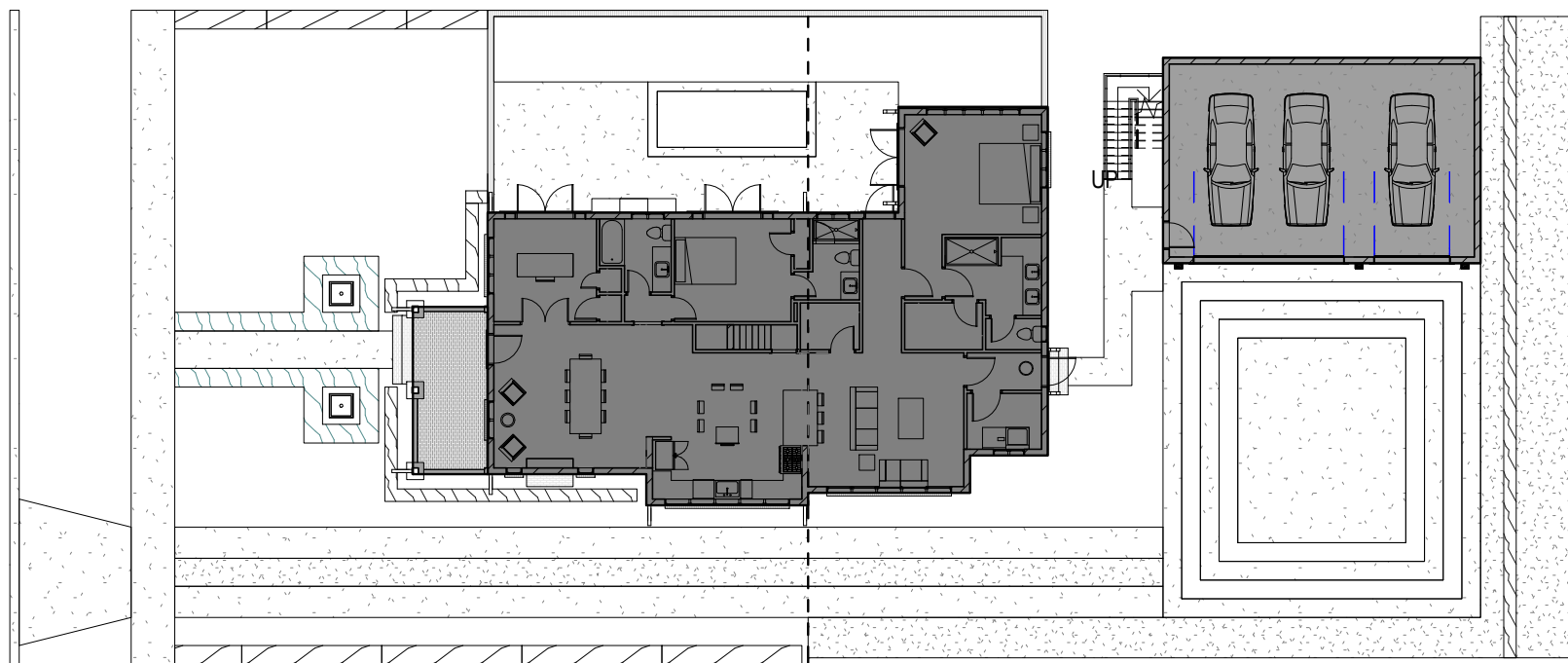
3

Scale As indicated



SF TABULATION

FIRST FLOOR	: 1937
ATTIC TRUSS	: 511
GARAGE ATTIC TRUSS	: 545
TOTAL AC	: 2993
FRONT PORCH	: 143
GARAGE	: 748
TOTAL UNDER ROOF	: 3884



2 FLOOR PLAN - SF CALCS
1" = 20'-0"

1 FLOOR PLAN - FIRST FLOOR
1/4" = 1'-0"

330 Holt Ave.
Winter Park

[illegible]

Renaissance
Wp LLC

330 Holt Renovation

ATTIC TRUSS FLOOR PLAN

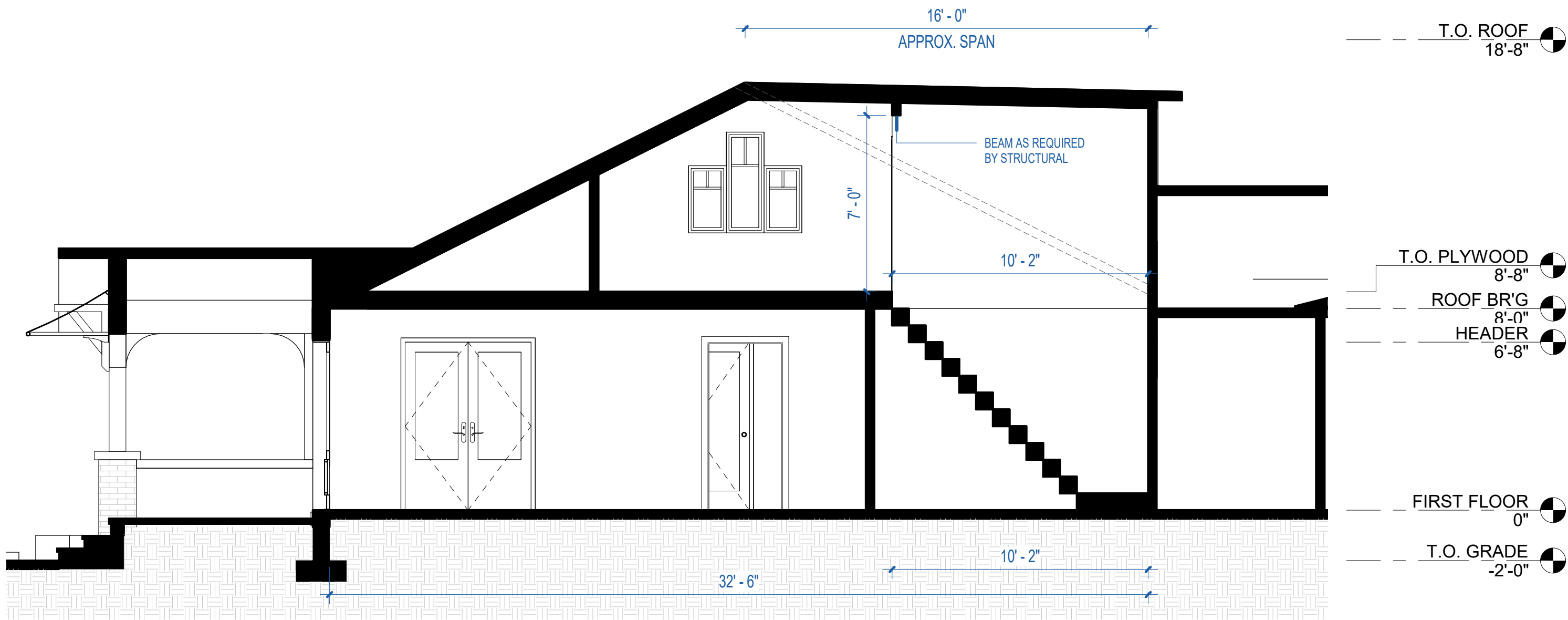
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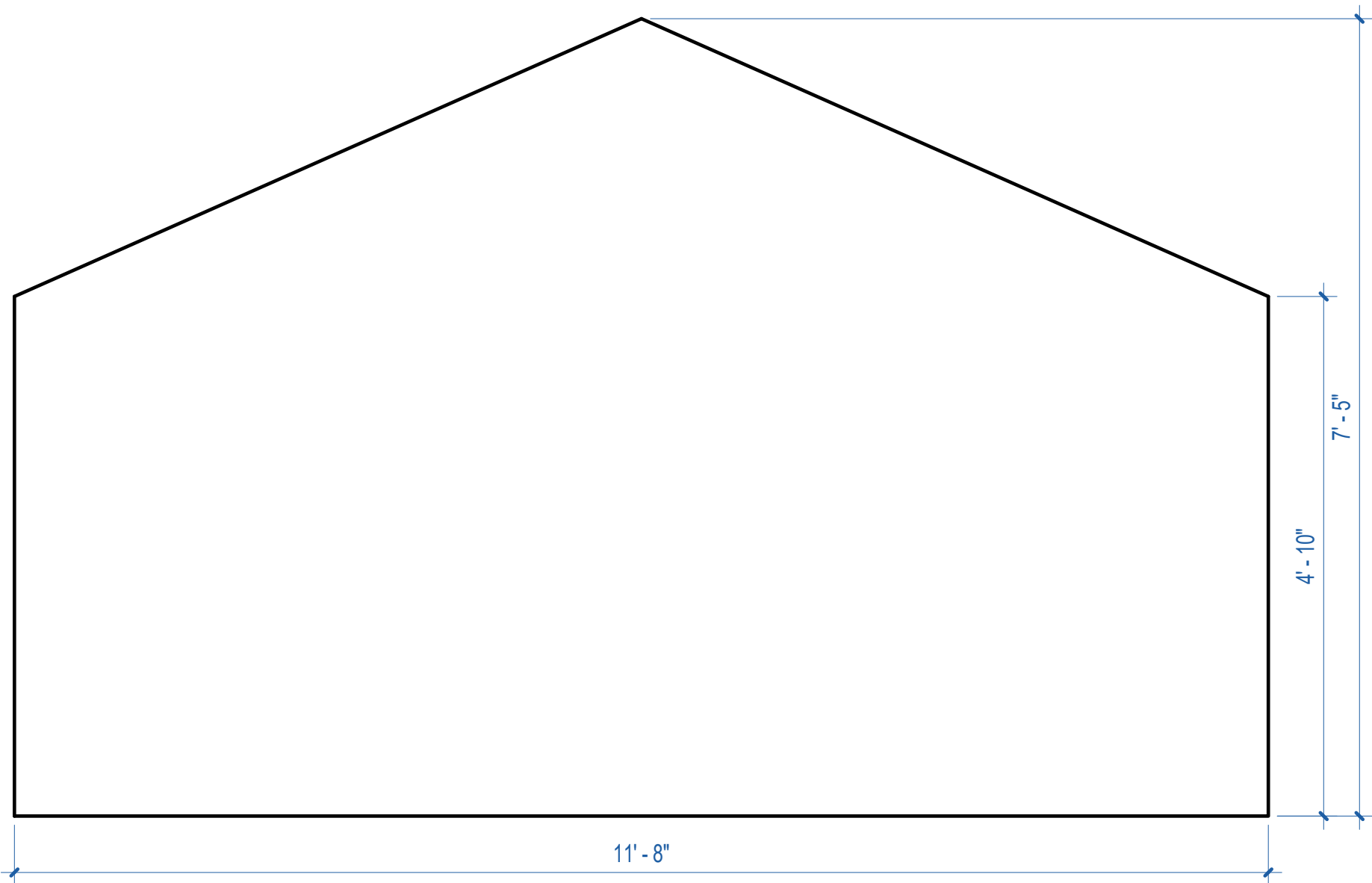
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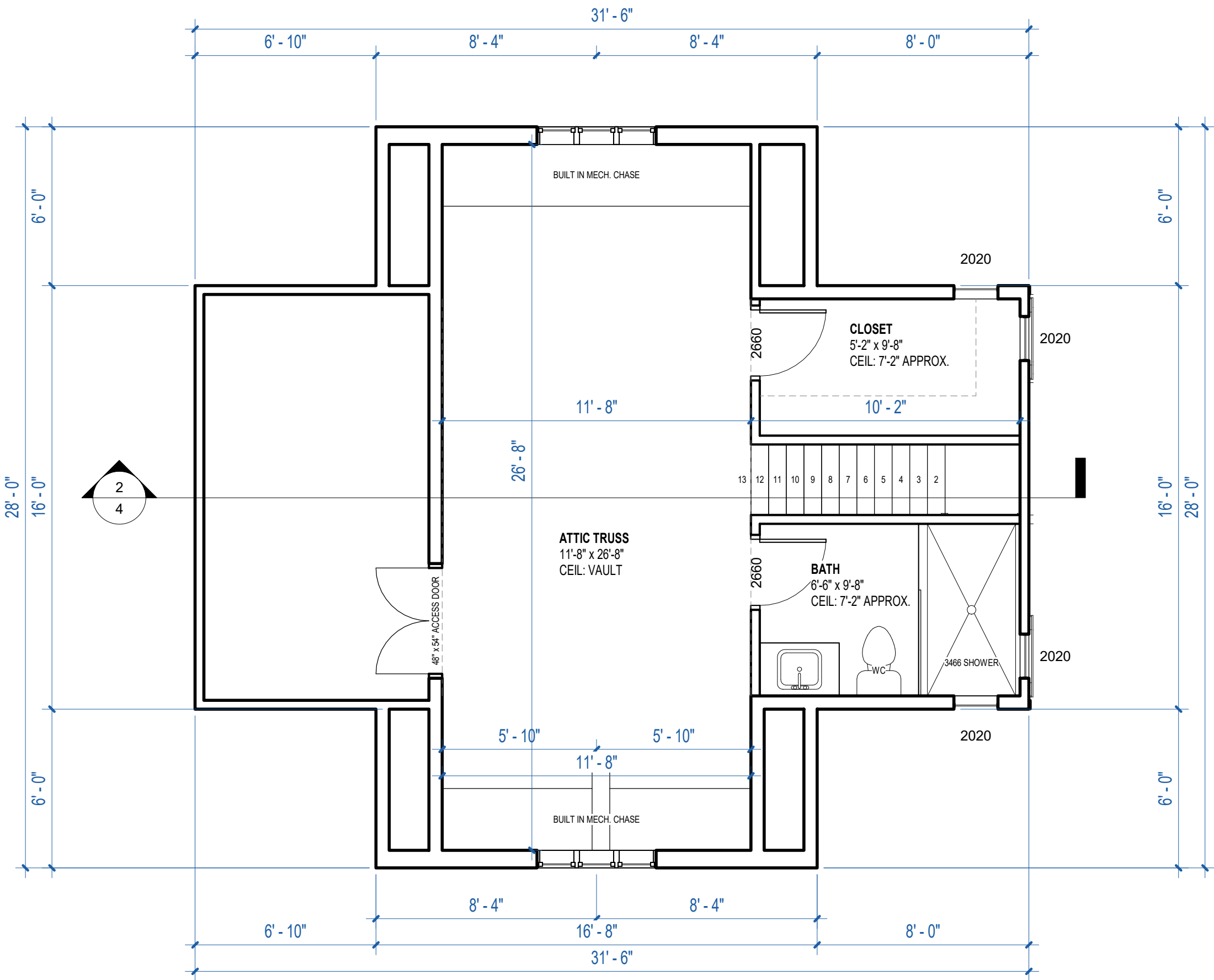
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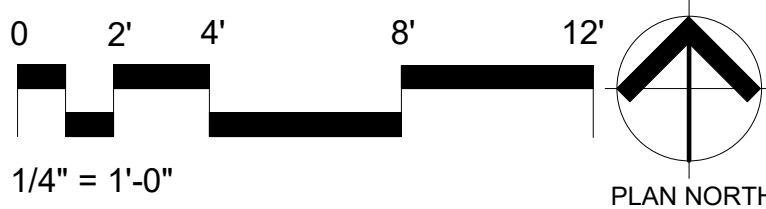
2 SECTION - THRU STAIR
1/4" = 1'-0"



③ ATTIC TRUSS PROFILE
3/4" = 1'-0"



① SECOND FLOOR PLAN - DORMER
1/4" = 1'-0"



330 Holt Ave,
Winter Park

[illegible]

Renaissance
Wp LLC

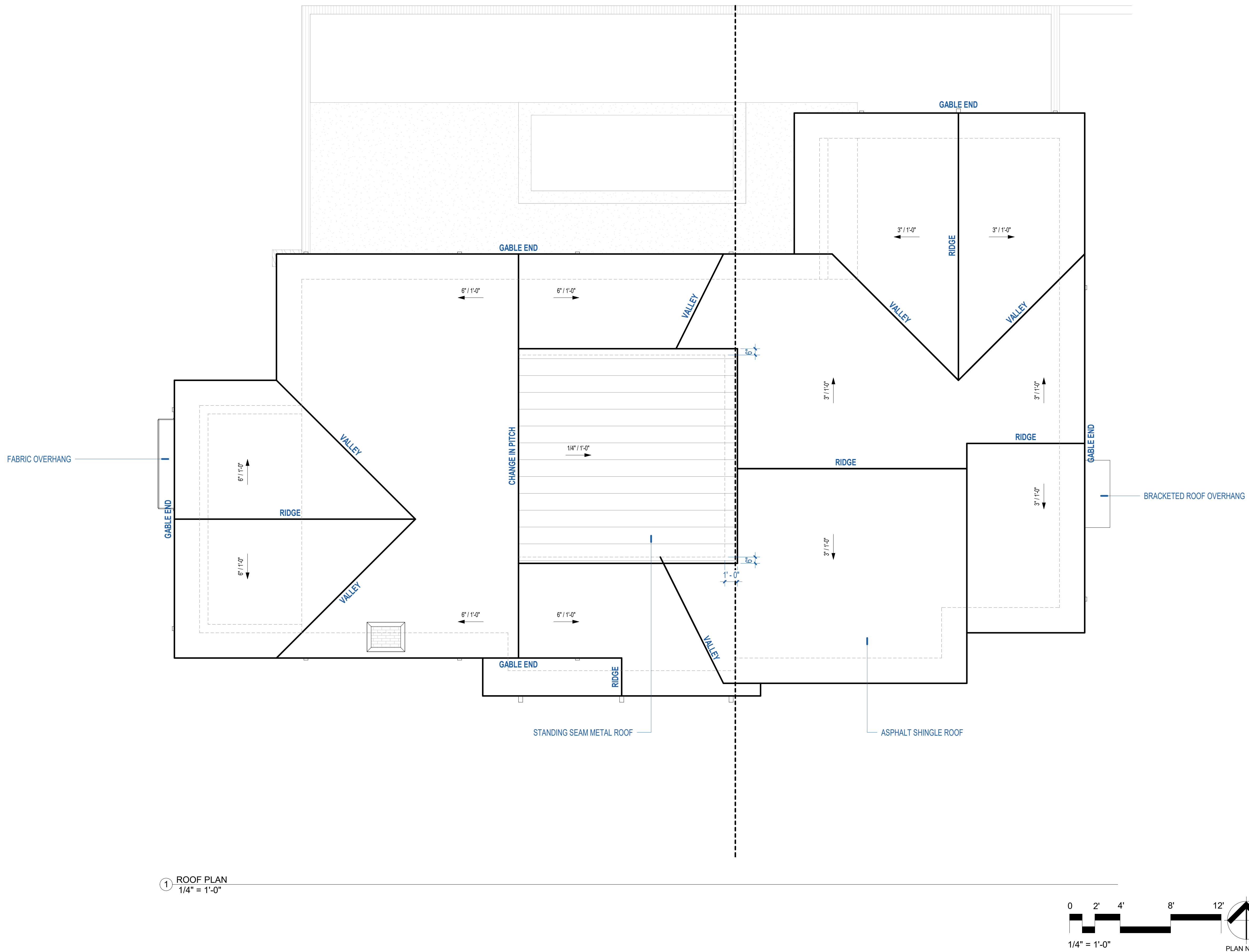
330 Holt Renovation

ROOF PLAN

Date	5/25/2023
Drawn By	WT
Checked By	WT

5

Scale $1/4" = 1'-0"$



① ROOF PLAN
1/4" = 1'-0"

330 Holt Ave,
Winter Park

[illegible]

Renaissance
Wp LLC

330 Holt Renovation

ELEVATIONS

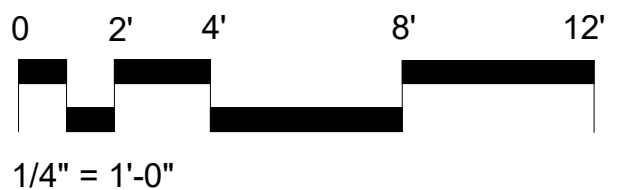
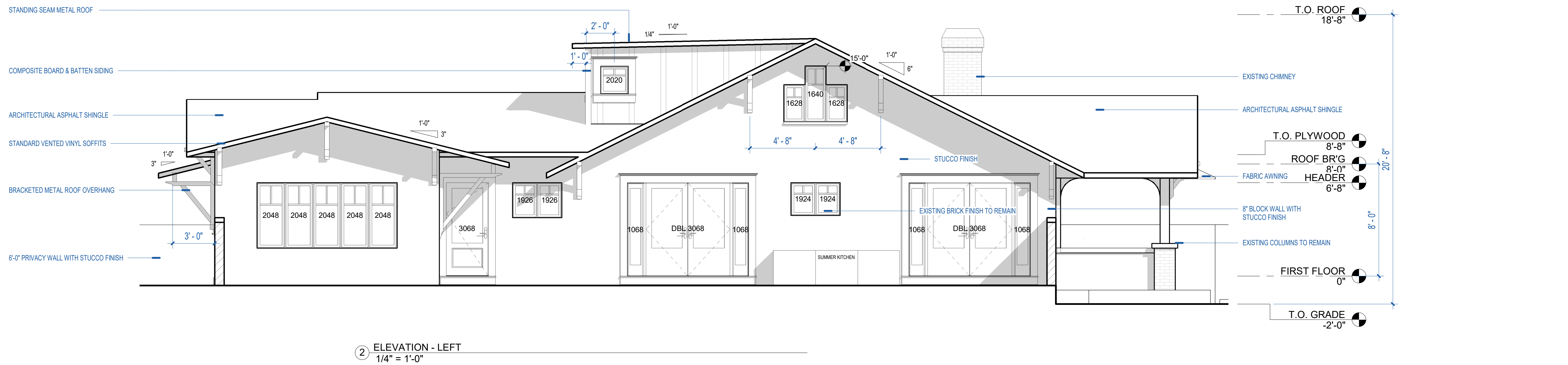
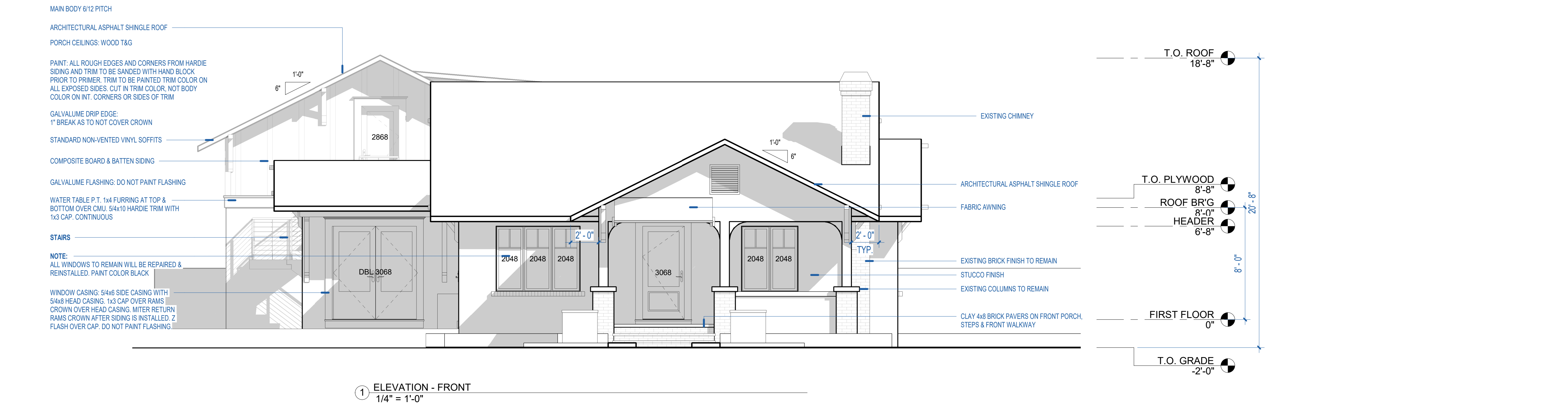
Date 5/25/2023

Drawn By WT

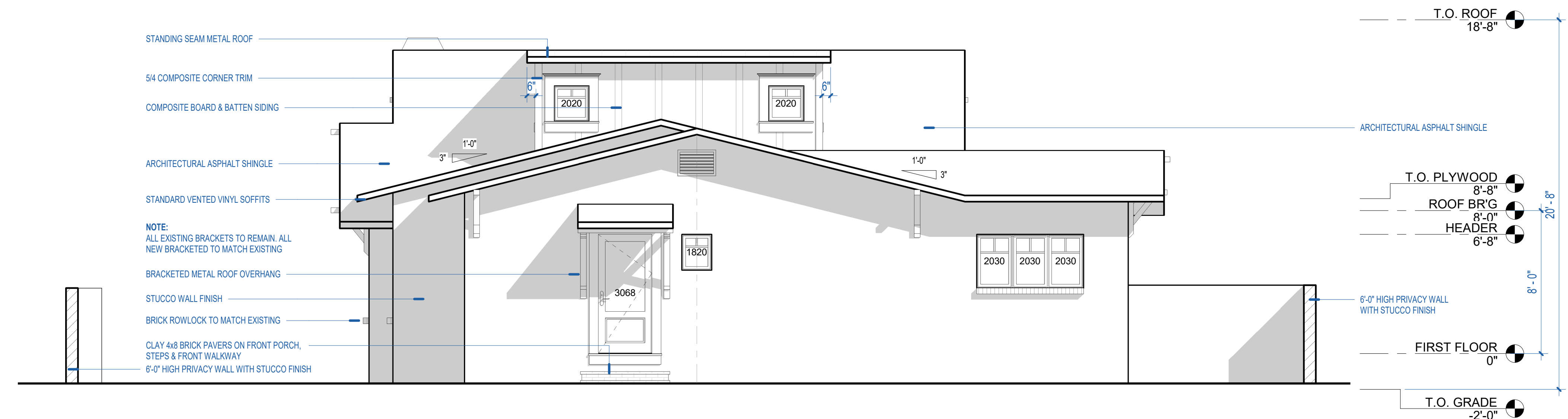
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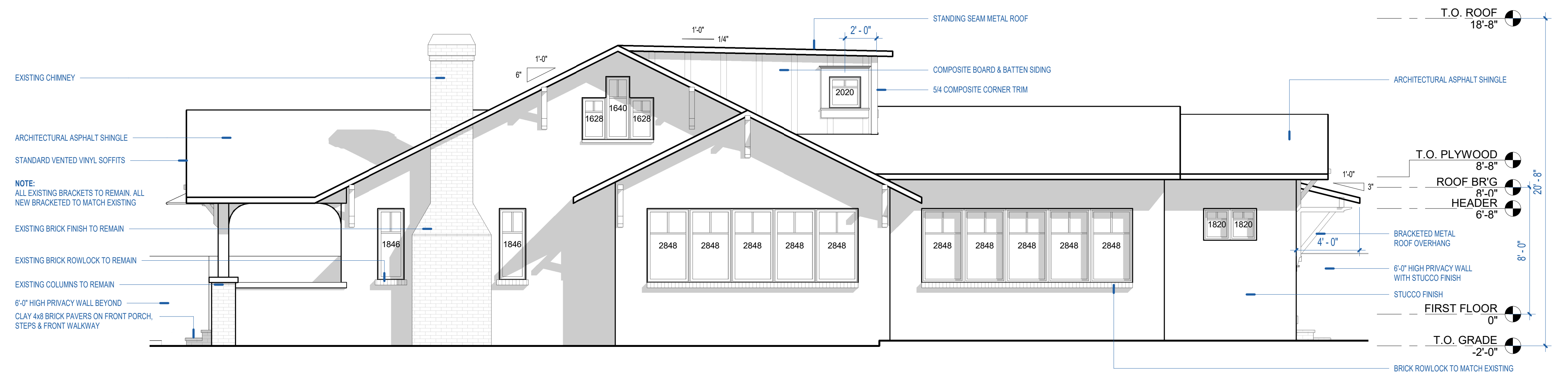
Scale $1/4" = 1'-0"$



330 Holt Ave,
Winter Park



① ELEVATION - REAR
1/4" = 1'-0"



② ELEVATION - RIGHT
1/4" = 1'-0"

[illegible]

Renaissance
Wp LLC

330 Holt Renovation

ELEVATIONS

Date 5/25/2023

Drawn By WT

Checked By WT

7

Scale $1/4" = 1'-0"$

330 Holt Ave,
Winter Park

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Renaissance
Wp LLC

330 Holt Renovation

GARAGE PLANS

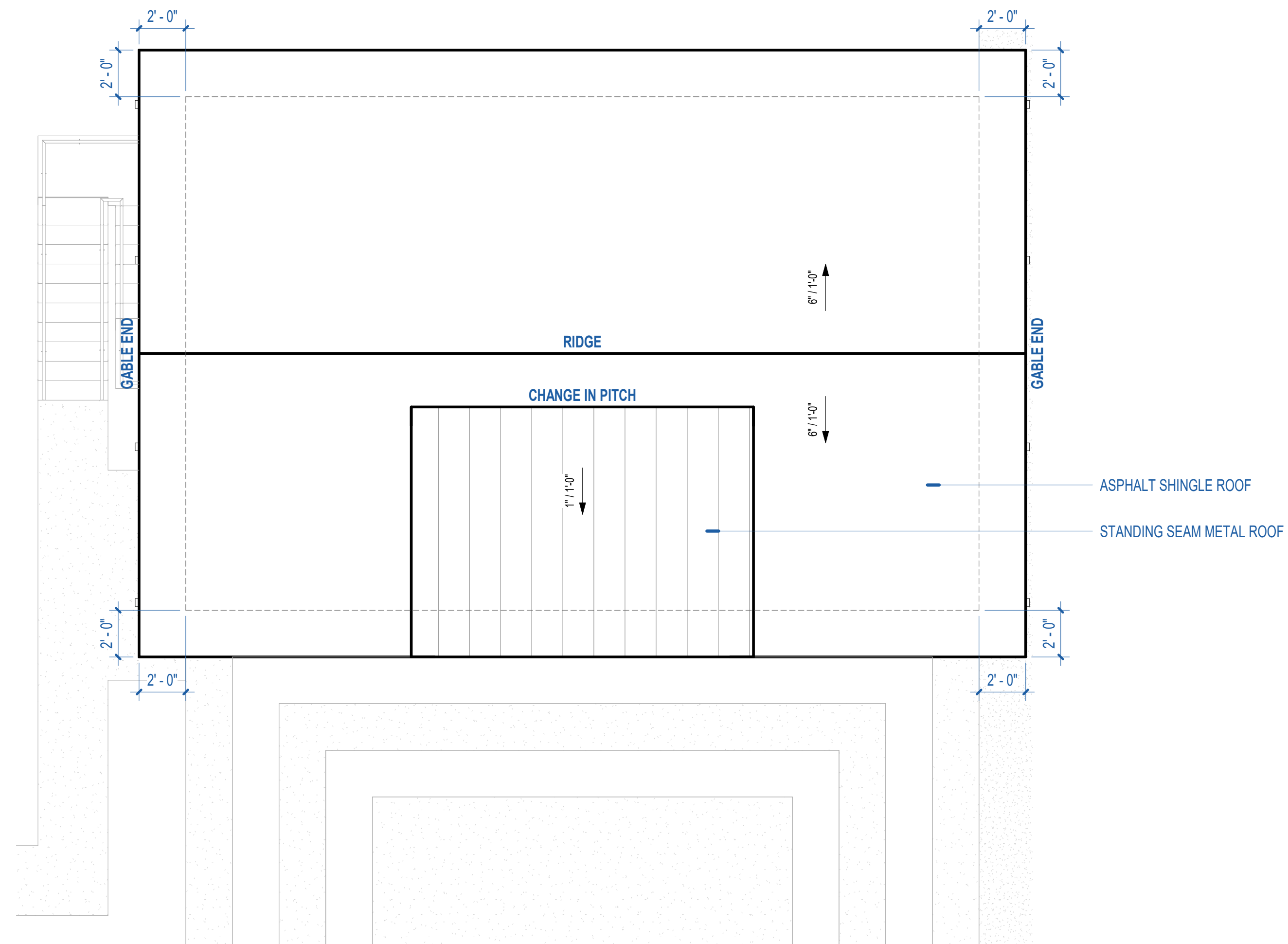
Date 5/25/2023

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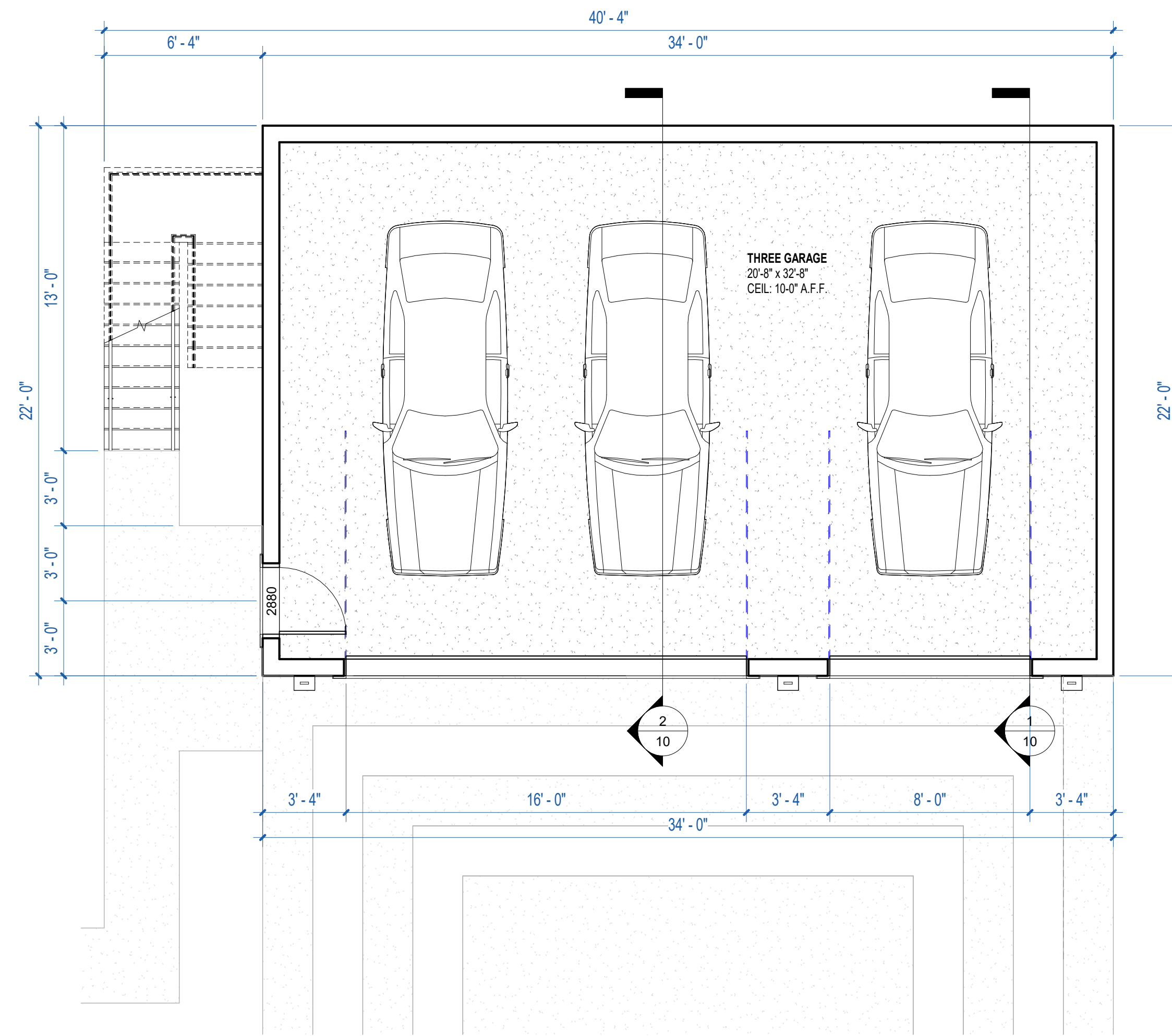
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8

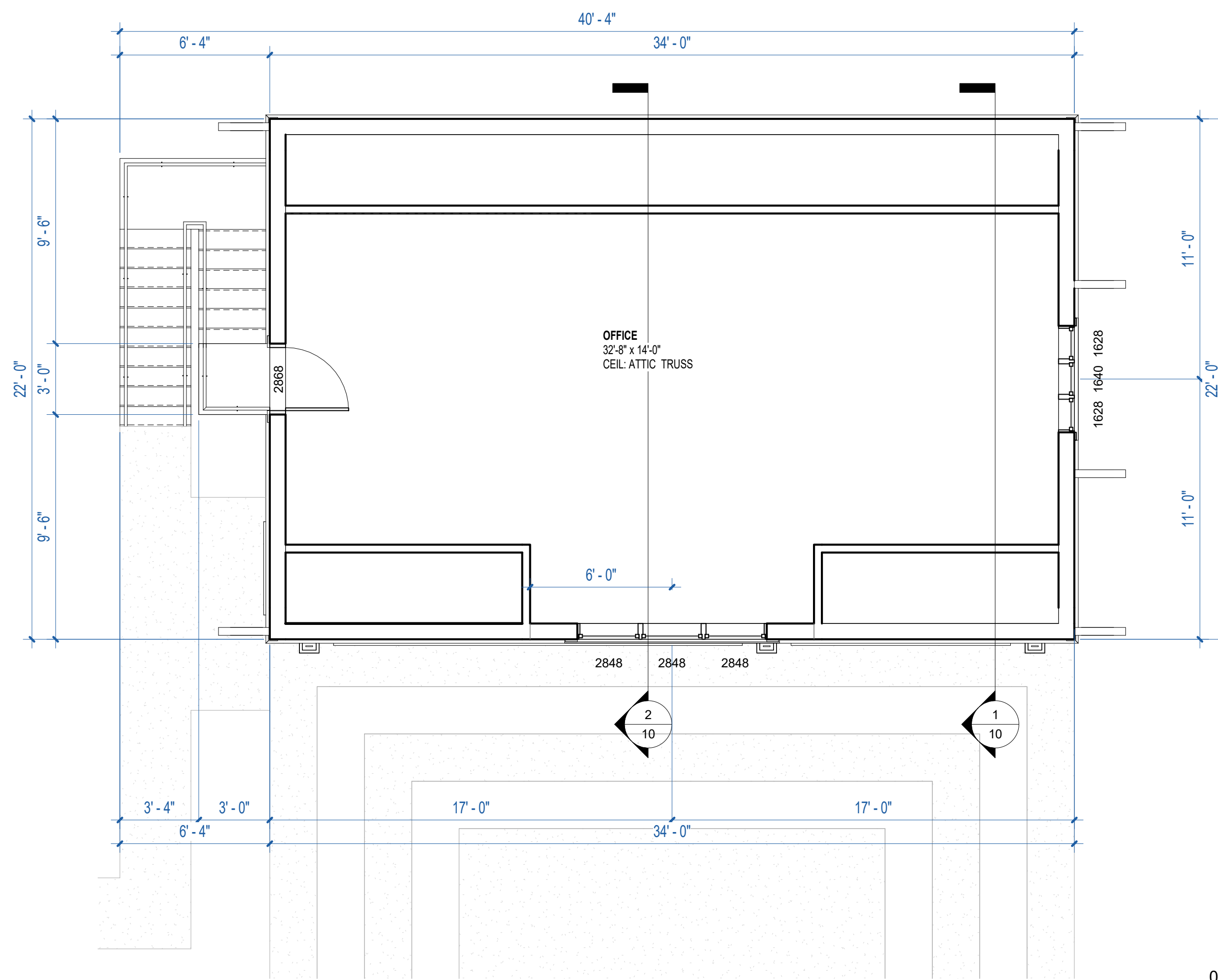
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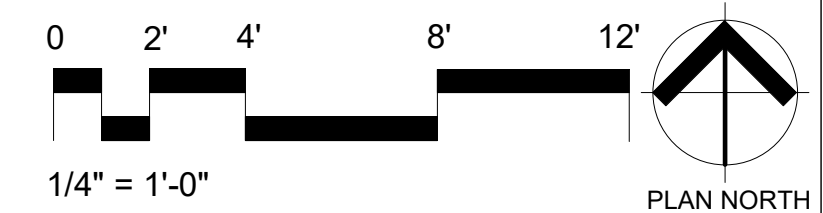
② ROOF PLAN
1/4" = 1'-0"



① GARAGE PLAN
1/4" = 1'-0"



3 ATTIC TRUSS PLAN - GARAGE
1/4" = 1'-0"



330 Holt Ave,
Winter Park

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Renaissance
Wp LLC

330 Holt Renovation

GARAGE ELEVATIONS

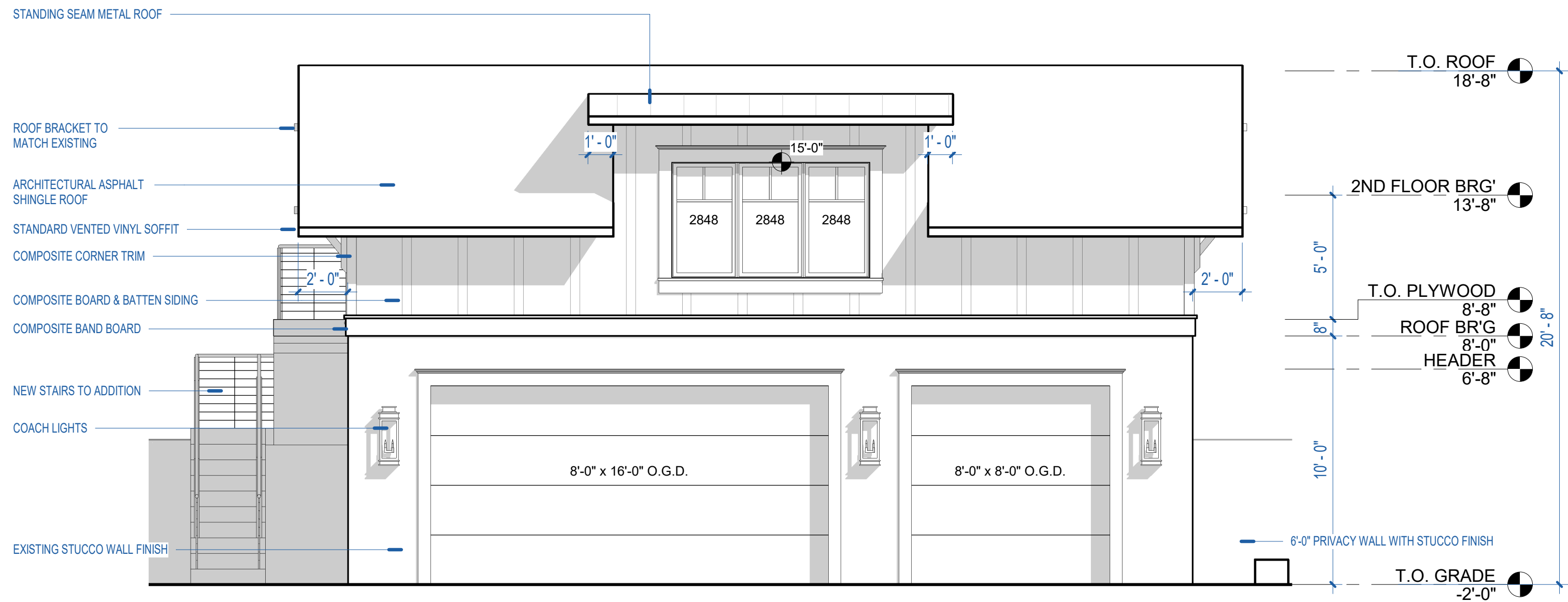
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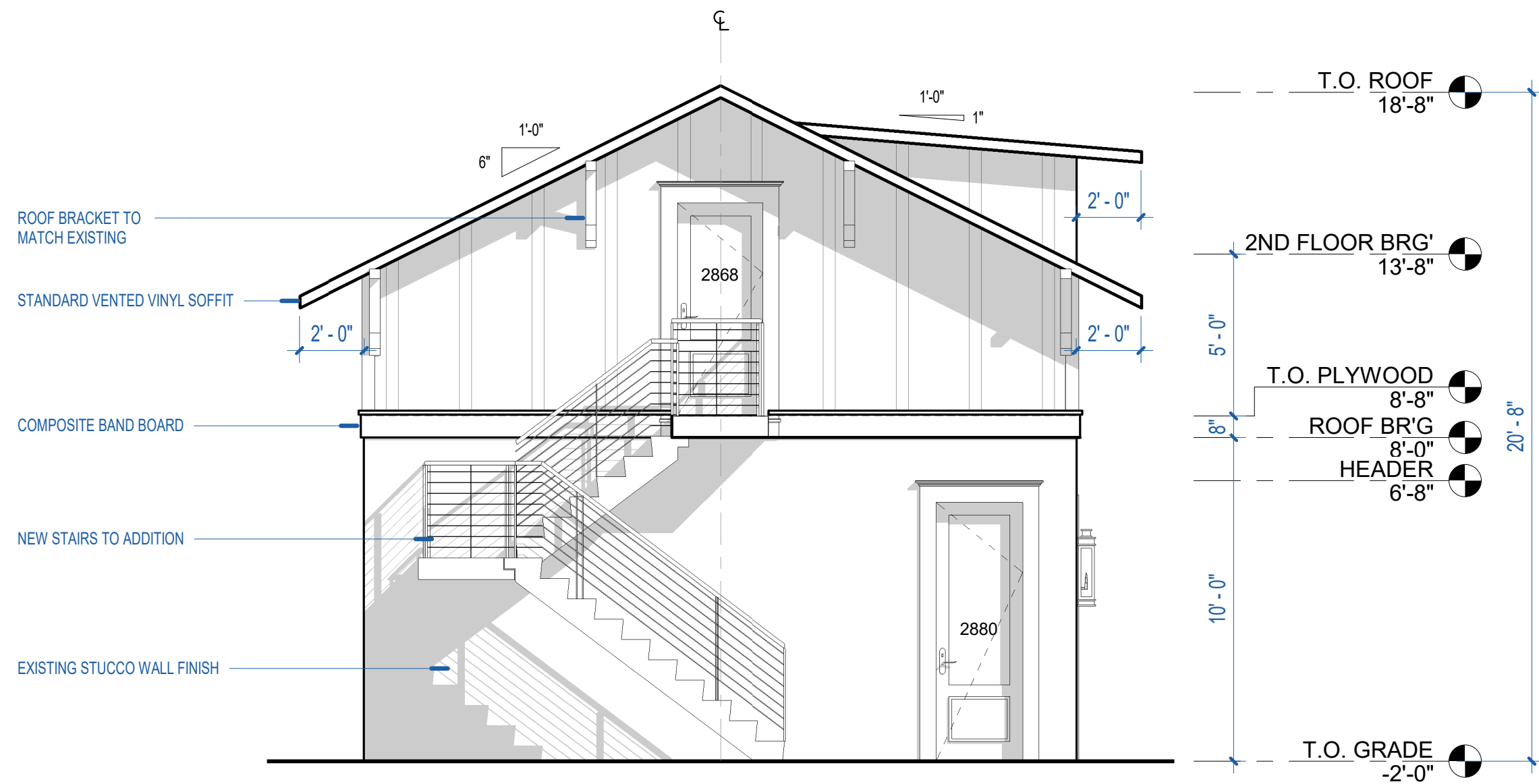
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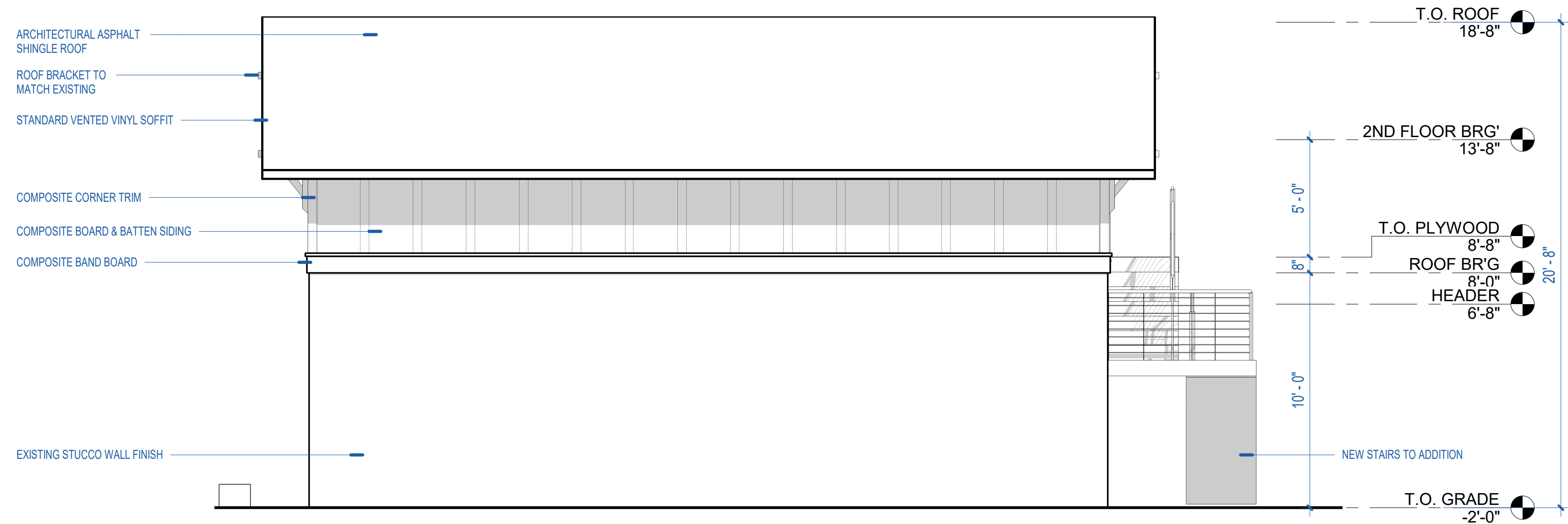
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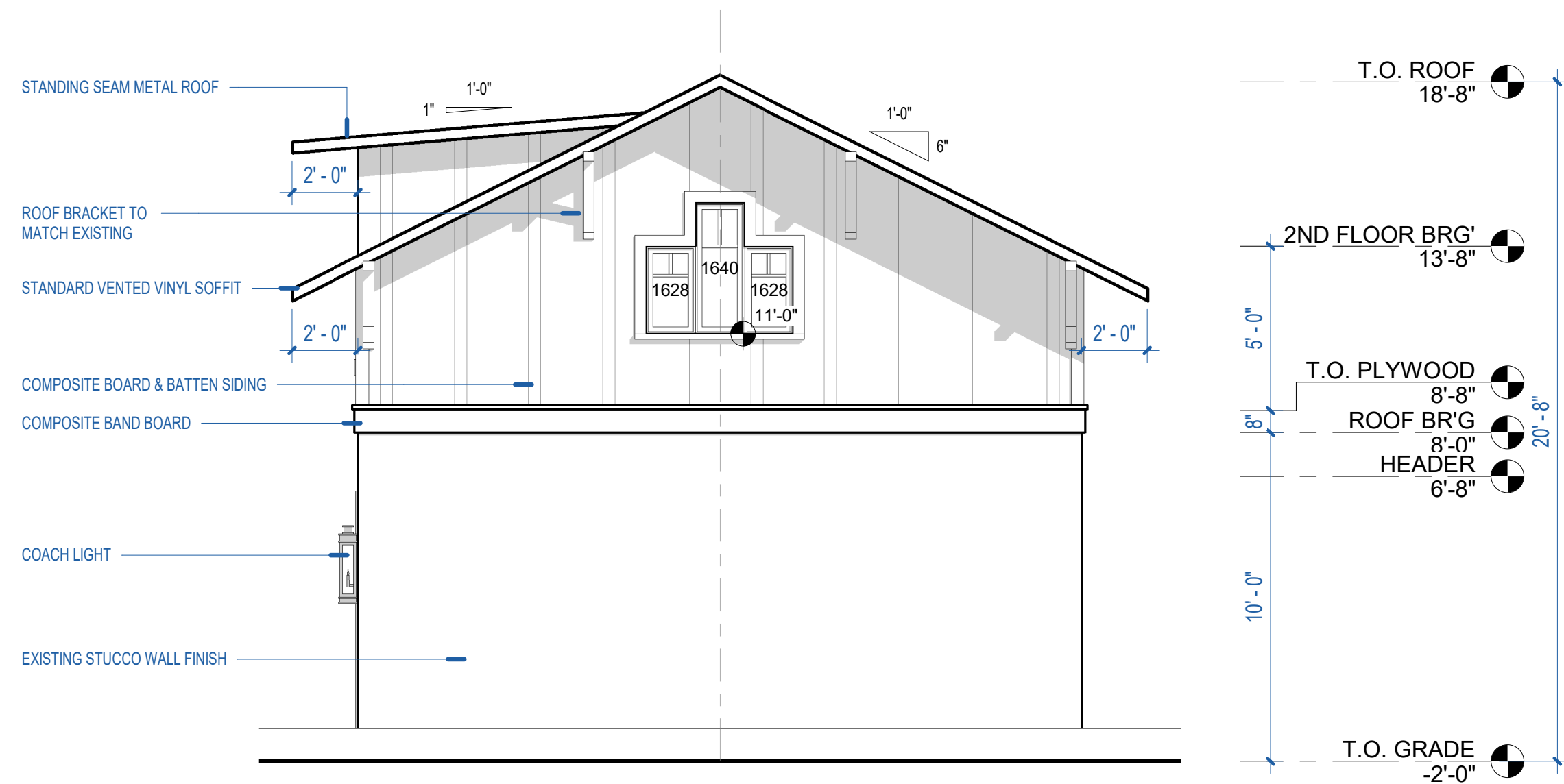
1 ELEVATION - GARAGE FRONT
1/4" = 1'-0"



② ELEVATION - GARAGE LEFT
1/4" = 1'-0"



③ ELEVATION - GARAGE REAR
1/4" = 1'-0"



4 ELEVATION - GARAGE RIGHT
1/4" = 1'-0"

330 Holt Ave.
Winter Park

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Renaissance
Wp LLC

330 Holt Renovation

GARAGE SECTIONS

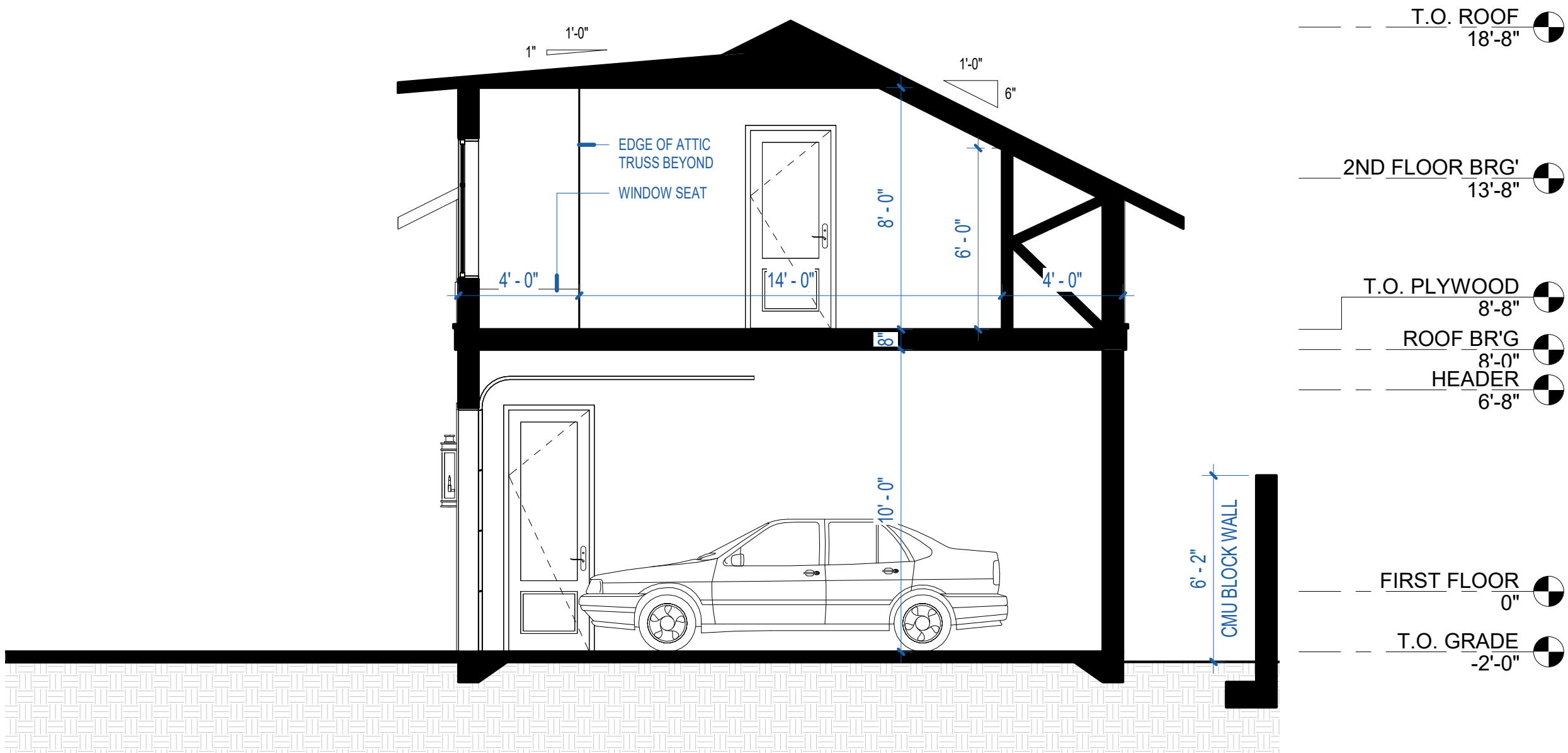
Date 5/25/2023

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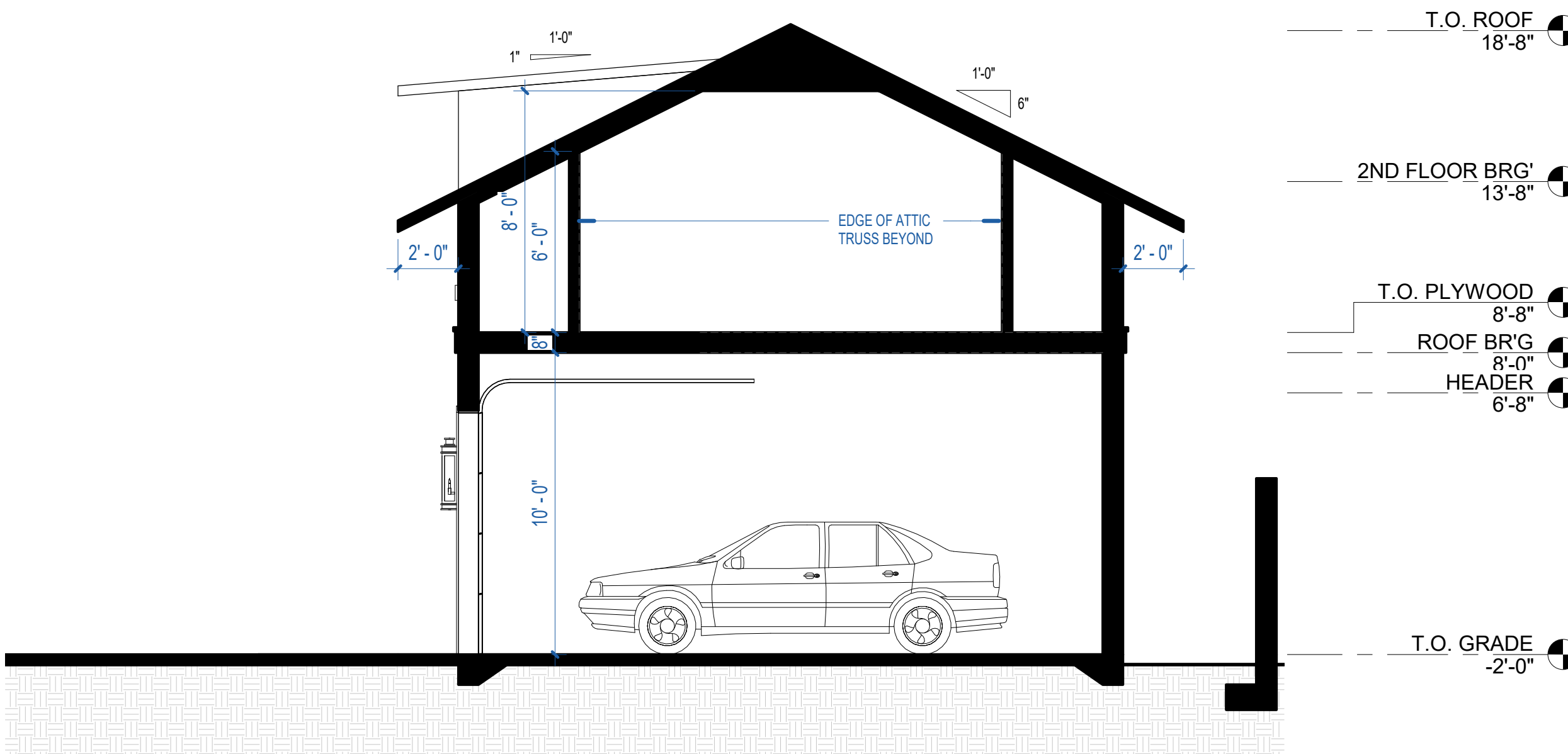
Checked By WT

10

Scale $1/4" = 1'-0"$



② SECTION - GARAGE ATTIC TRUSS
1/4" = 1'-0"



1 SECTION - GARAGE STAIR
1/4" = 1'-0"



