



# Historic Preservation Board Regular Meeting

## Agenda

**December 14, 2022 @ 9:00 am**

City Hall Commission Chambers  
401 S. Park Avenue

### welcome

Agendas and all backup material supporting each agenda item are accessible via the city's website at [cityofwinterpark.org/bpm](http://cityofwinterpark.org/bpm) and include virtual meeting instructions.

### assistance & appeals

Persons with disabilities needing assistance to participate in any of these proceedings should contact the City Clerk's Office ([407-599-3277](tel:407-599-3277)) at least 48 hours in advance of the meeting.

"If a person decides to appeal any decision made by the Board with respect to any matter considered at this hearing, a record of the proceedings is needed to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based." (F.S. 286.0105).

### please note

Times are projected and subject to change.

- 
1. **Call to Order**
  2. **Consent Agenda**
    - a. [Approval of the November 9, 2022 Meeting Minutes.](#) 1 minute.
  3. **Public Comments (for items not on the agenda): Three minutes allowed for each speaker**
  4. **Public Hearings**  
**(Public participation and comment on these matters must be in-person.)**
    - a. [Request by Charles and Lisa Clayton for approval of a 869 square foot, one-story addition to the existing home, built in 1938 at 940 Old England Avenue.](#) 20 minutes
  5. **Action Items**
  6. **Non-Action Items**
    - a. [Discussion of Historic Markers for 2023.](#) 15 minutes
    - b. [Discussion of the historic plaque program.](#) 15 minutes
  7. **Staff Updates**
  8. **Board Comments**
  9. **Upcoming Agenda Items**
  10. **Adjournment**



# Historic Preservation Board **agenda item**

|                     |                |              |                   |
|---------------------|----------------|--------------|-------------------|
| item type           | Consent Agenda | meeting date | December 14, 2022 |
| prepared by         | Aaron Hull     | approved by  |                   |
| board approval      | Completed      |              |                   |
| strategic objective |                |              |                   |

## subject

Approval of the November 9, 2022 Meeting Minutes.

## motion / recommendation

## background

## alternatives / other considerations

## fiscal impact

## ATTACHMENTS:

[November 9 HPB Draft Minutes.pdf](#)



# Historic Preservation Board Regular Meeting Minutes

November 09, 2022, at 9:00 a.m.

City Hall | Commission Chambers  
401 S. Park Ave. | Winter Park, Florida

## Present

Chair Anne Sallee and remaining members: Karen James, John Skolfield, Drew Henner, Aimee Spencer, and N. Lee Rambeau. Absent members: Vice-Chair Wade Miller. Staff: Director of Planning and Transportation Jeffrey Briggs; Planning Technician Aaron Hull; and Recording Secretary Mary Bush.

## (1) Call to Order

Chair Anne Sallee called the meeting to order at 9:00 a.m.

## (2) Consent Agenda

Motion made by John Skolfield, seconded by Karen James, to approve the August 10, 2022, meeting minutes. **Motion carried unanimously with a 6-0 vote (Absent from voting was Vice-Chair Wade Miller).**

## (3) Public Comments (for items not on the Agenda)

Michael Perelman, 1010 Greentree Drive, made a public comment about 1200 Lakeview Drive being designated as historical but being allowed to change the house's appearance. Mr. Perelman mentioned that the interpretation of being able to rebuild a home and still keep it as designated is not fair. Mr. Perelman stated he is glad that the property owners want to enhance the house, but he says if they keep changing the aesthetic, it needs to be undesignated, in his opinion.

The public hearing was closed.

## (4) Public Hearings

- a. Request by Monica Taffinder/Taffinder Tyedmers Trust to designate the property at 1379 Canterbury Road, built in 1935, to the Winter Park Register of Historic Places.

Jeffrey Briggs showed a presentation on the requested item. Mr. Briggs described the property and showed pictures of the house at 1379 Canterbury Road. Mr. Briggs stated that the house's architecture meets the requirements for historic designation. Mr. Briggs explained that the family renovated the garage, but the renovation does not take away from the historical aesthetic. Mr. Briggs stated that the house is in the Orwell Manor area, and the family would renovate the windows using grant money from the City.

### Staff recommended approval.

Aimee Spencer asked if the City would require weather stripping, and Mr. Briggs explained that Staff does not want to dictate the internal materials. Mrs. Spencer asked if the Board could dictate the materials per code, and Mr. Briggs clarified that the Board could ask that. Discussion ensued on the use of the grant money for the windows materials of the windows. Drew Henner asked if the applicant must come back for the Board to replace windows, and Mr. Briggs said a change for a like-for-like would not be brought to the Board. John Skolfield talked about the maintenance and refurbishment of the old windows and what could be done to try and refurbish them. Mr. Briggs clarified that an item would be discussed later in the meeting about the code needing to be more definitive on the rules of materials and enforcement of refurbishing-like materials. Mr. Briggs asked about the example code the Board had suggested at a previous meeting, and Mrs. Spencer mentioned that the City of West Palm Beach has good historical design guidelines. Mr. Henner stated that in

the past, with historic designations that, like material changes, have been previously approved, this could become an issue.

Motion made by John Skolfield and seconded by Karen James to approve the request by Monica Taffinder/Taffinder Tyedmers Trust to designate the property at 1379 Canterbury Road, built in 1935, to the Winter Park Register of Historic Places.

**Motion carried unanimously with a 6-0 vote (Absent from voting was Vice-Chair Wade Miller.)**

## **(5) Action Items**

- a. No action items were discussed.

## **(6) Non-Action Items**

- a. Discussion of construction issues at 1200 Lakeview Drive.

Jeffrey Briggs explained that the homeowners need guidance on the construction for the rebuild at 1200 Lakeview Drive. Mr. Briggs showed pictures of the house and described the previously voted-on item from the February Historic Preservation Board meeting. Mr. Briggs explained what the Board had voted on and the conditions that were part of the previous item. Mr. Briggs explained the new issues that the applicants have been facing with the rebuild due to flooding of the lake in the rear that has led to the flooding within the home and needs advice from the Board.

Michael Cegelis, 1200 Lakeview Drive, introduced his team and showed his presentation about the house at Lakeview Drive to the Board. Mr. Cegelis described that they have been dealing with issues with the house, and the appearance of the proposed site plan won't change even with the problems. Mr. Cegelis described the issues that they have been dealing with in detail. Mr. Cegelis showed an engineering report describing the difficulties with muck and the sandy overburden in the rear that led to flooding in the basement from the recent hurricanes. Mr. Cegelis showed pictures of the problems and the current house flooding. Mr. Cegelis described that they need to look at the load-bearing issues of the house and that they will need to do helical testing to look at the proper soil that will be required to replace the muck and sand. Mr. Cegelis mentioned that the engineer gave them two options to do an underpinning to the base of the house to keep the existing plan or do a new construction and not change the look of the proposed home but will provide better support. Mr. Cegelis mentioned that the new building would be cost-effective and more efficient for load-bearing, but they still want to keep the existing plan. Mr. Cegelis described the significant findings and issues they have been dealing with by looking at the two options. Mr. Cegelis described the processes for both options and showed pictures. Mr. Cegelis stated that they would not be able to do option one financially and explained how option two allows them to build a better and safer load-bearing base and is the option the applicants prefer. Mr. Cegelis then requested if the Board could provide insight into the two options and what would be the applicant's best way to proceed. Mr. Cegelis said he would keep the previously voted-on design from February with option two while providing better load-bearing support for safety and decreasing the risk of flooding.

John Skolfield stated that they initially should have done soil testing, and the applicant agreed. Mr. Cegelis's architect asked about soil conditions from the previous testing done on the house when Mr. Skolfield had done work on the property, and Mr. Skolfield stated they found muck and sand. Discussion ensued on the soil conditions of the property. Mr. Skolfield noted that he is skeptical of load changes due to materials and other concerns which Mr. Cegelis's architect responded that the dormers are adding more weight. Mr. Skolfield reassured the applicant that he was still skeptical of weight increase from just the dormers. Mr. Cegelis said he could send the load test to the Board, and a discussion ensued on the load bearing of the house. Mr. Cegelis discussed the property's foundation and structure with Mr. Skolfield. Mr. Cegelis stated that the house was structurally fine, and the previously done addition might cause the issues. Mr. Skolfield noted that the previous owner should have put a deed restriction on the house if they didn't want the house to change and that the Board should go along with their last decision from February.

Aimee Spencer stated she would not recommend the first option and that the second option makes more sense structurally and financially. N. Lee Rambeau asked Mr. Briggs if they are building a whole new structure, then

how does this request go with this Board, or how does the house keep its designation? Mr. Briggs explained that they were re-doing the house's aesthetic on the old foundation and that the Board does not need to vote on a decision because it is a re-do of an aesthetic. Mr. Briggs clarified that he brought this discussion up so that when the applicants start construction, the Board will know what the applicant is doing. Mrs. Rambeau stated that no old structure would be left after the rebuild and that the house should not stay designated. Discussion ensued on the removal of the designation. Chair Sallee stated that this shows the issues with the city's historical preservation and balancing what is realistic. Mr. Cegelis noted that this was done previously with homes owned by Rollins. Chair Sallee stated that if it stays designated, conditions should be put on it to track the property's history due to it not meeting the designation standards. Chair Sallee said she understands wanting to make the structure safe for habitation. Mr. Henner asked if the applicant wanted to keep the designation, and the applicant answered yes. Mr. Skolfield stated he understands the issues with keeping the designation but understands wanting to keep the designation from the homeowner's perspective. Mr. Cegelis discussed the house's history, and a discussion ensued on the next steps of the non-action items.

## **(7) Staff Updates**

Jeffrey Briggs updated the Board on an event at Casa Feliz that the Board has been invited to regarding historical homes in Winter Park. Mr. Briggs also updated the Board that the historic clock will be delivered soon and installed when it is delivered. Mr. Briggs mentioned that the four historical signs are being made and hopefully shipped out shortly. Mr. Briggs explained that it was a new budget year and would order four more signs and that Mr. Briggs would be bringing recommendations to the Board soon to help with placing these new signs. Chair Anne Sallee asked about the plaques for homes, and Mr. Briggs explained what Staff has been doing with the historical plaques. Chair Sallee mentioned that Hannibal Square needs to be looked at, and Mr. Briggs stated that Staff could look at Hannibal Square. Aimee Spencer asked if the Board could ask themselves, and Mr. Briggs explained that the list of homes without plaques could be sent to the Board. Drew Henner mentioned that 1420 Highland would be going on the market soon. Mr. Briggs stated that the issue recently has been people wanting to change minimal traditional homes and that recently homes being put on the market with this style are being demolished and rebuilt. Mr. Briggs clarified that if rebuilt, they must be built in an architecturally significant style.

Mr. Henner mentioned that these lots are 1/3 of an acre and that builders want to buy these homes for tear-down rebuilds. Aimee Spencer asked if this neighborhood has design standards, and Mr. Briggs explained that they never created them when the area was designated. Mrs. Spencer mentioned that she feels the two designated neighborhoods in Winter Park were made for two different goals, and the city needs to tighten the standards to prevent rebuilding. Mr. Henner stated that there is no way to guide applicants on building materials without set guidelines. Discussion ensued on the Board and City needing to create code and design guidelines to help guide rebuilds.

## **(8) Board Comments**

Chair Anne Sallee asked about doing a work session to create guidance for designating homes, making new code, and having legal at the meeting to help with any code written. Discussion ensued among the Board about the work session, and Jeff Briggs stated that a work session could be held in the new year to discuss these topics.

## **(9) Upcoming Agenda Items**

No discussion occurred for the upcoming agenda items for the following Historic Preservation Board meeting scheduled for September 14, 2022.

## **(10) Adjournment**

Chair Anne Sallee adjourned the meeting at 10:14 a.m.

/s/ Recording Secretary Aaron Hull



# Historic Preservation Board agenda item

|                                                                                                            |                                       |
|------------------------------------------------------------------------------------------------------------|---------------------------------------|
| <b>item type</b> Public Hearings<br>(Public participation and comment on these matters must be in-person.) | <b>meeting date</b> December 14, 2022 |
| <b>prepared by</b> Jeffrey Briggs                                                                          | <b>approved by</b>                    |
| <b>board approval</b> Completed                                                                            |                                       |
| <b>strategic objective</b>                                                                                 |                                       |

## subject

Request by Charles and Lisa Clayton for approval of a 869 square foot, one-story addition to the existing home, built in 1938 at 940 Old England Avenue.

## motion / recommendation

Staff recommendation is for approval.

## background

Charles and Lisa Clayton (owners) recently purchased the existing home at 940 Old England Avenue, which is a Tudor style home, built in 1938. This home was individually designated by the previous owners in 2013. The Clayton's are requesting approval for an 869 square foot, one-story addition to the north side of the existing home.

This property is 43,438 square feet in size. Together with the existing home of 5,802 square feet, the cumulative building size on this property will be 6,671 square feet. The resultant home will be a FAR of 15.4%, well within the maximum FAR of 35%. The impervious coverage will be 14,414 sq. ft. (33.2%), and is also well within the maximum allowable of 50%. The addition will meet the applicable setbacks and no variances are requested.

## Architectural Compatibility:

The one primary matter for the Historic Preservation Board is architectural compatibility of the new construction with the existing home. The project narrative and plans indicates how this addition will match the Tudor styling and window fenestration from the 1930's era. The architect, Bernie Johnson, will be at the HPB meeting to explain in detail, the material selections and how they have strived to match exactly the existing home. This is a very large lot with the house situated in the middle so there is no impact upon neighbors from this addition.

## Summary and Recommendation:

There are no variances requested and no impact on the neighboring affected properties. As such, the only focus then is on architectural compatibility and the architect having the owner as the builder, can assure the HPB of compatible design and materials. In light of their consent to the appearance of compatibility in design, the staff recommendation is for approval.

## **alternatives / other considerations**

### **fiscal impact**

#### **ATTACHMENTS:**

[Map, Aerial, Staff Pictures.pdf](#)

#### **ATTACHMENTS:**

[Narrative Scope of Work.pdf](#)

#### **ATTACHMENTS:**

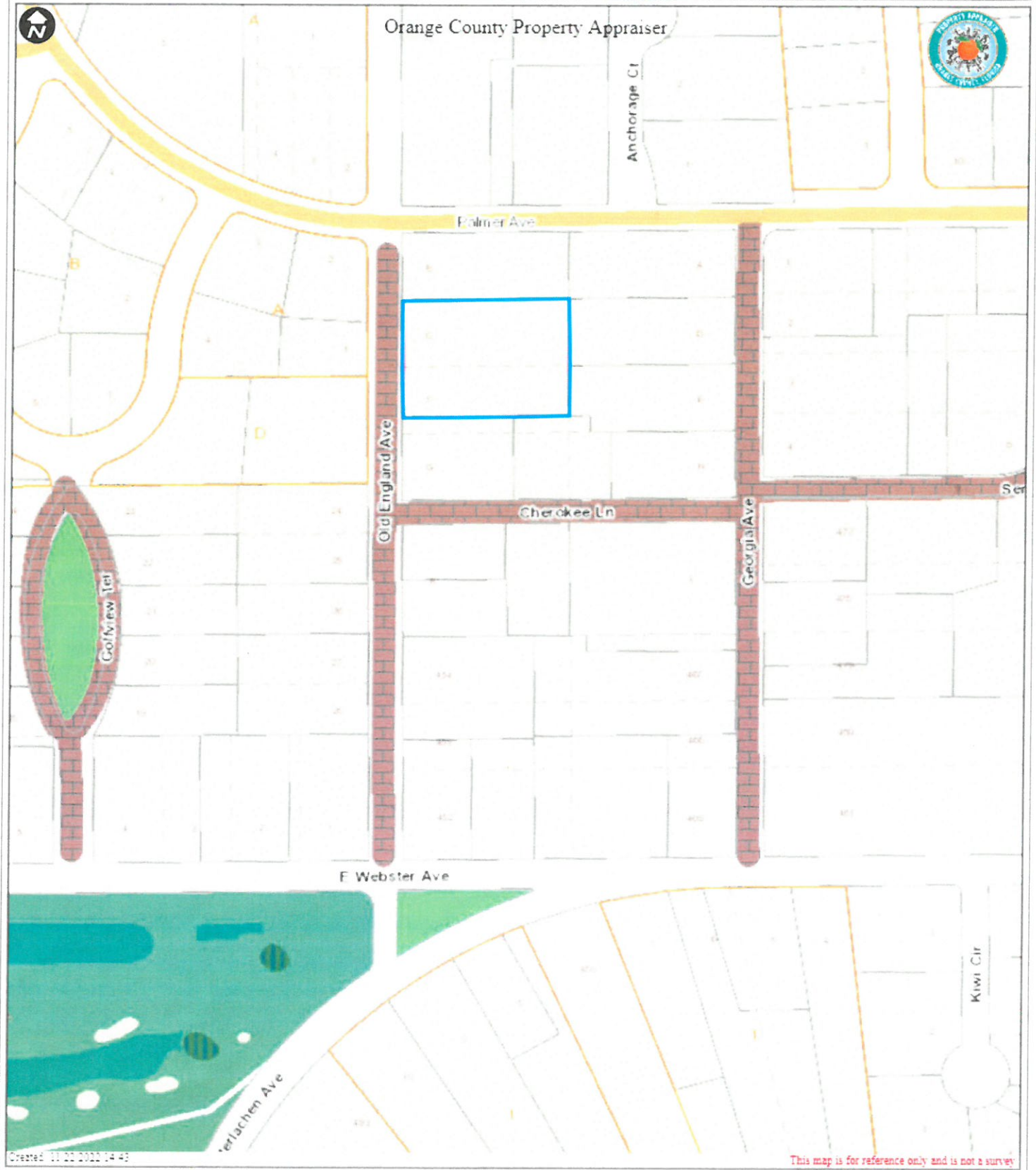
[Architect Elevations and Plans.pdf](#)

#### **ATTACHMENTS:**

[House Pictures \(existing\).pdf](#)

# OCA Web Map

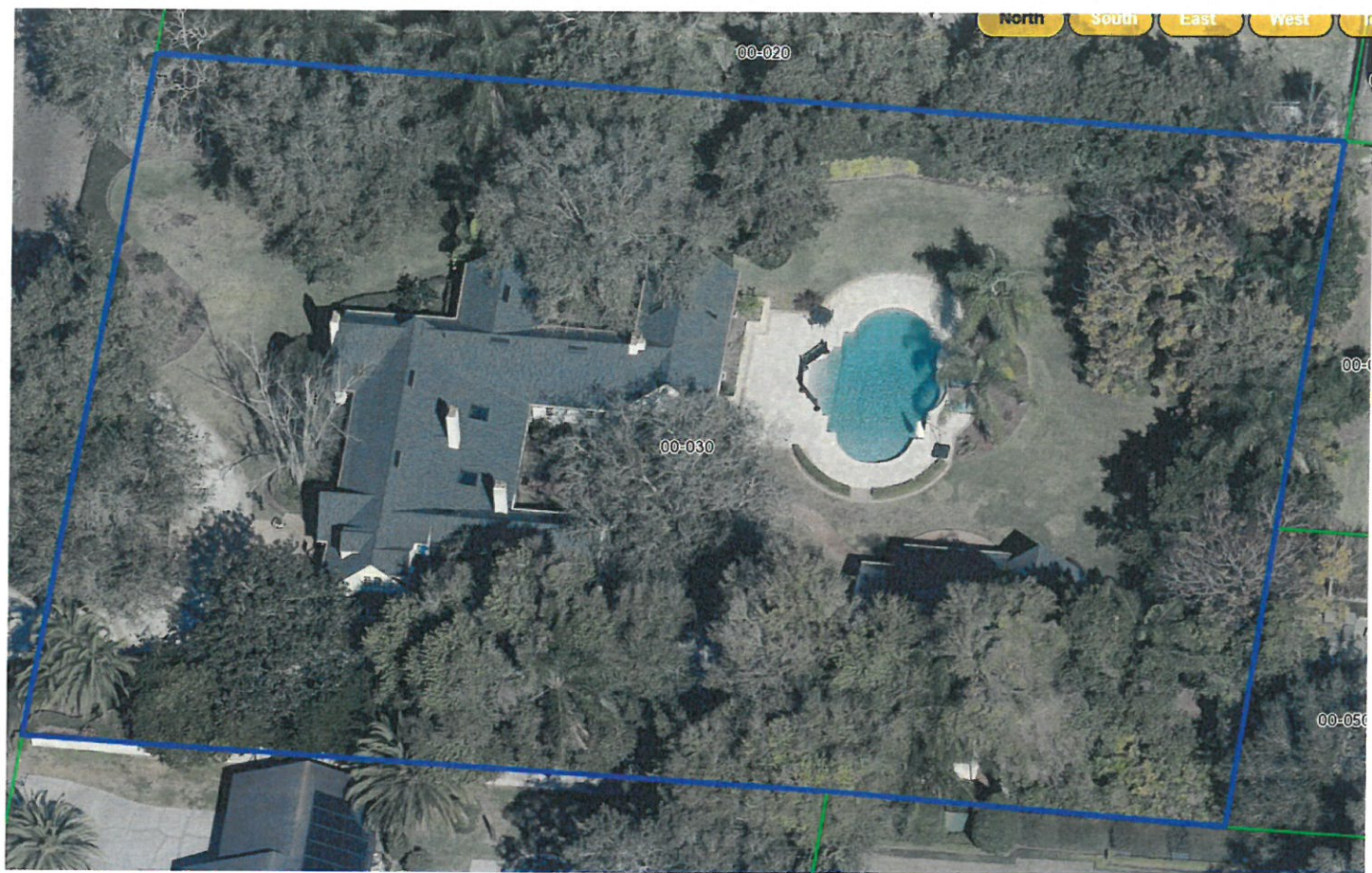
|                         |                  |               |                        |                                   |                 |                  |
|-------------------------|------------------|---------------|------------------------|-----------------------------------|-----------------|------------------|
| Florida Turnpike        | Major Roads      | Proposed Road | Block Line             | Commercial/Institutional          | Hydro           | Golf Course      |
| Interstate 4            | Public Roads     | Brick Road    | Lot Line               | Governmental/Institutional/Misc   | Waste Land      | Lakes and Rivers |
| Toll Road               | Gated Roads      | Rail Road     | Residential            | Commercial/Industrial/Vacant Land | County Boundary | Building         |
| Road Under Construction | Proposed SunRail | Agriculture   | Agricultural Curtilage | Parks                             | Hospital        |                  |



Created: 11/20/2022 14:43

This map is for reference only and is not a survey

## Aerial view of 940 Old England





940 OLD ENGLAND AVE, WINTER PARK, FL 32789 8/22/2018 2:34 PM



## WINTER PARK HISTORIC PRESERVATION BOARD

### 940 Old England Proposed Scope of Work

#### Front Elevation (Old England)

North West Elevation- Add Bedroom and Shared Bath

Window at new gallery match the existing South West

Corner Sun Room, Gable Details match Tudor style

#### South Side yard and South East Corner of Home

Increase Kitchen size and Kitchen bath, Add Natural light

To Kitchen with windows

#### Rear Elevation North East Corner

Add Porch off Master

Add Tub and Office to existing Master Wing

Closet enlarge

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#### EXISTING HOME'S DETAILS WILL BE INCORPORATED IN NEW WORK

- Windows match existing windows Lite Patterns and Manufacturer
- Roof Match existing Certainteed Landmark series Shingle Roof
- Plaster/Stucco match existing texture
- Trim work and Gable work match style per submission

## 940 Old England Renovation

**Roofing:** Match existing, Landmark Shingle," Colonial  
Slate"

**Stucco:** Texture to match existing stucco.

**Trim:** Wood, fascia and soffit details to match existing  
with like kind materials.

**Windows:** Anderson model to match existing windows, wood  
clad, match color and grids.



## SETBACK / COVERAGE WORKSHEET

For Single Family Zoning Districts (R-1A, R-1AA & R-1AAA)<sup>1</sup>

Address:

Submitted by:

|                 |                          |        |
|-----------------|--------------------------|--------|
| 940 OLD England | Lot width <sup>2</sup> : | 175    |
| Charles Clayton | Lot area <sup>3</sup> :  | 43,438 |

|                         | Maximum % Allowed <sup>4</sup>                                                                        | Existing Area <sup>10</sup> | Additional Proposed Area <sup>10</sup> | New Total Area | Maximum Allowed Area |
|-------------------------|-------------------------------------------------------------------------------------------------------|-----------------------------|----------------------------------------|----------------|----------------------|
| IMPERVIOUS LOT COVERAGE | Include bldg footprint, driveways, sidewalks, patios, swimming pools, A/C pads, artificial turf, etc. |                             |                                        |                |                      |
|                         | 2 story - 50%                                                                                         | 13256                       | 1158                                   | 14,414         | 21,719               |
|                         | 1 story - 60%                                                                                         |                             |                                        |                |                      |

|                                          |                                                                                                                                                                                                                                                                                      |      |     |      |        |
|------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------|-----|------|--------|
| FLOOR AREA RATIO (F.A.R.) <sup>5,6</sup> | For one and two story bldgs (include 1st & 2nd floors, garages/carports, stair areas on both floors, areas on 2nd floors which are open to the 1st floor <sup>7</sup> , and accessory bldgs.<br>EXCLUDE - pool screen enclosure areas and certain open front, side & rear porches 8. |      |     |      |        |
|                                          | Lots < 11,600 sf:<br>Use 38% Base FAR or w/<br>increased side setbacks:<br>43% Max FAR                                                                                                                                                                                               |      |     |      |        |
|                                          | Lots 11,600 sf to 13,600 sf<br>Use 4,500 sf Base area &<br>5,200 sf Maximum area                                                                                                                                                                                                     |      |     |      |        |
|                                          | Lots > 13,600 sf<br>Use 33% Base FAR or w/<br>increased side setbacks:<br>38% Max FAR                                                                                                                                                                                                | 5802 | 869 | 6671 | 14,334 |

|                       |                 |     |  |  |     |
|-----------------------|-----------------|-----|--|--|-----|
| SCREEN POOL ENCLOSURE | 8% <sup>9</sup> | N/A |  |  | N/A |
|-----------------------|-----------------|-----|--|--|-----|

|                               |                                                                                                                |      |   |   |      |
|-------------------------------|----------------------------------------------------------------------------------------------------------------|------|---|---|------|
| FRONT YARD LANDSCAPE COVERAGE | Count all landscaped green areas<br>EXCLUDE - hard surfaces and all driveway surfaces (pervious & impervious). |      |   |   |      |
| FRONT LOT AREA                | 50%                                                                                                            | 1600 | 0 | 0 | 4138 |

### NOTES:

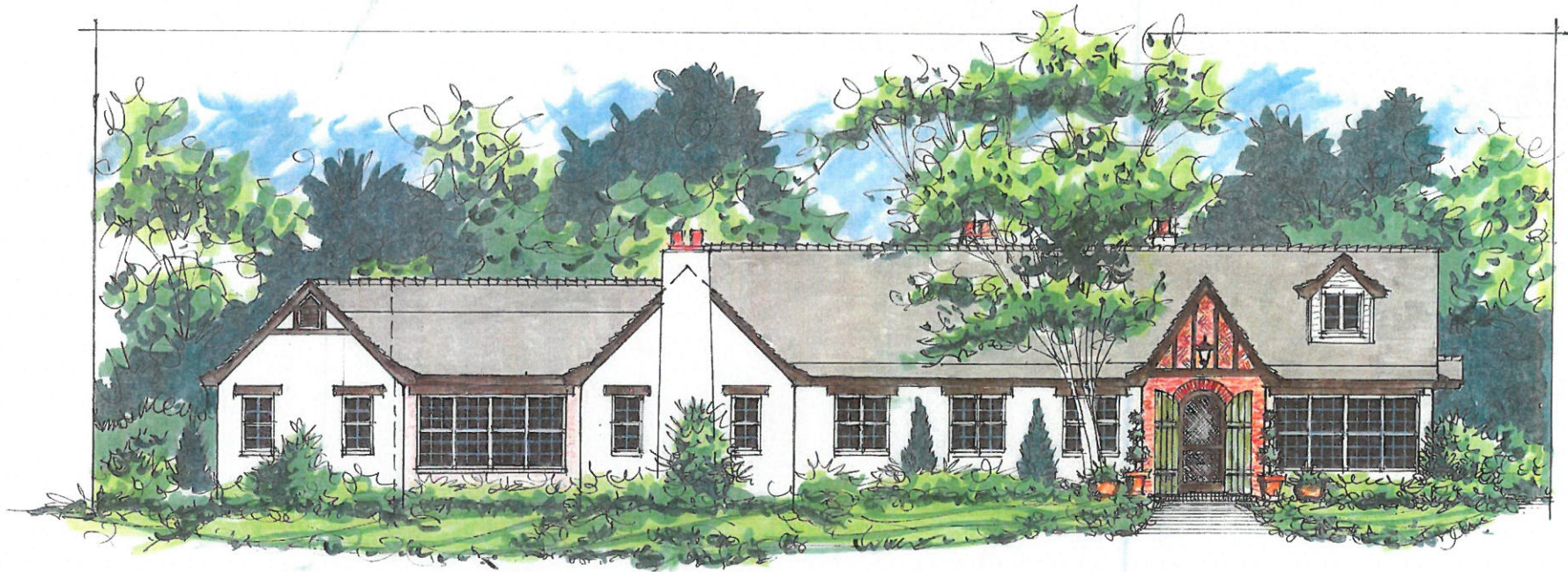
- Windsong & Waterbridge may use these standards, except lot types A, B, & C in Windsong. Provisions on side articulations & accessory bldgs are mandatory.
- Lot width measured at the front bldg line across lot. The bldg line is located at the required front setback for vacant lots or front bldg wall closest to the street of existing homes. For unusual (pie) shaped lots, an average lot width may be utilized as measured between the front setback line and the required rear setback line or shall be determined by the Building Director.
- Submerged lands or land across the street shall not be included.
- Percentage based on the lot area.
- One story homes with a sloping roof, 12:12 or less, may utilize the maximum F.A.R. and may provide roof dormers, 8 ft. maximum width and 2.5 ft. back from the required setback, occupying 45% of roof area within the same roof plane.
- See page 3 on how to achieve maximum F.A.R.
- Vaulted and cathedral ceiling areas count twice if the height from the floor to the ceiling is 17.5 feet or greater.
- The area of open front porches and entries may be excluded from the gross floor area subject to a maximum area of 400 square feet. The area within an open or screened rear and/or side porches, lanai, porte cochere or other covered areas may be excluded from the gross floor area up to 500 sf of floor area. On 2nd floor, rear and/or side porches shall have an exterior sides that are 75% open in order to be utilized up to 300 sf of the total 500 sf excludable gross floor area.
- Any area not already used in the permitted floor area ratio (FAR) may be added to this 8% for additional screened pool enclosure area.
- These columns only apply to existing homes.
- Vertical walled in areas created above the 1st floor must be including in the gross floor area

### SETBACKS (complete boxes A and B first)

|                                                                                                | Minimum Allowable Dimensions                                                   |                                                   |          | Existing                  | Proposed  |
|------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------|---------------------------------------------------|----------|---------------------------|-----------|
| <b>FRONT</b>                                                                                   | Average of 2 adjacent homes on each side. If corner lot, use 3 adjacent homes. |                                                   |          | No Change <sup>47.4</sup> | 47.4      |
| <b>SIDES<sup>1,2</sup></b><br>(see other side setback options on pg 4)<br><small>SIDES</small> | 1st Floor                                                                      | See pages 3&4<br><small>SEE PAGES 3&amp;4</small> | <b>A</b> | 38                        | 38        |
|                                                                                                | 2nd Floor                                                                      |                                                   | <b>B</b> | 48                        | 42        |
| <b>REAR<sup>1,3,4</sup></b><br><small>REAR<br/>REAR</small>                                    | 1st Floor                                                                      | 25 ft.                                            |          | 38.2                      | 38.2      |
|                                                                                                | 2nd Floor                                                                      | 35 ft. <sup>5</sup>                               |          | 38.2                      | 38.2      |
|                                                                                                | Lakefront                                                                      | see note 6                                        |          |                           |           |
| <b>CORNER LOT</b><br><small>CORNER LOT<br/><br/>CORNER LOT<br/>CORNER LOT</small>              | 1st Floor<br><small>1ST FLOOR</small>                                          | Lot width ≤ 65 ft.                                | 15 ft.   |                           |           |
|                                                                                                |                                                                                | Lot width > 65 ft. <sup>7</sup>                   | 20 ft.   |                           |           |
|                                                                                                | 2nd Floor<br><small>2ND FLOOR</small>                                          | Lot width ≤ 65 ft.                                | 15 ft.   |                           |           |
|                                                                                                |                                                                                | Lot width > 65 ft. <sup>7</sup>                   | 22.5 ft. |                           |           |
|                                                                                                |                                                                                |                                                   |          |                           |           |
| <b>BUILDING HEIGHT</b><br><small>8,9,10,11,12</small>                                          | 30 ft. - 35 ft. plus 2 ft. or 40 ft.<br>(see notes 11 & 12)                    |                                                   |          | No Change                 | No Change |

**Notes:**

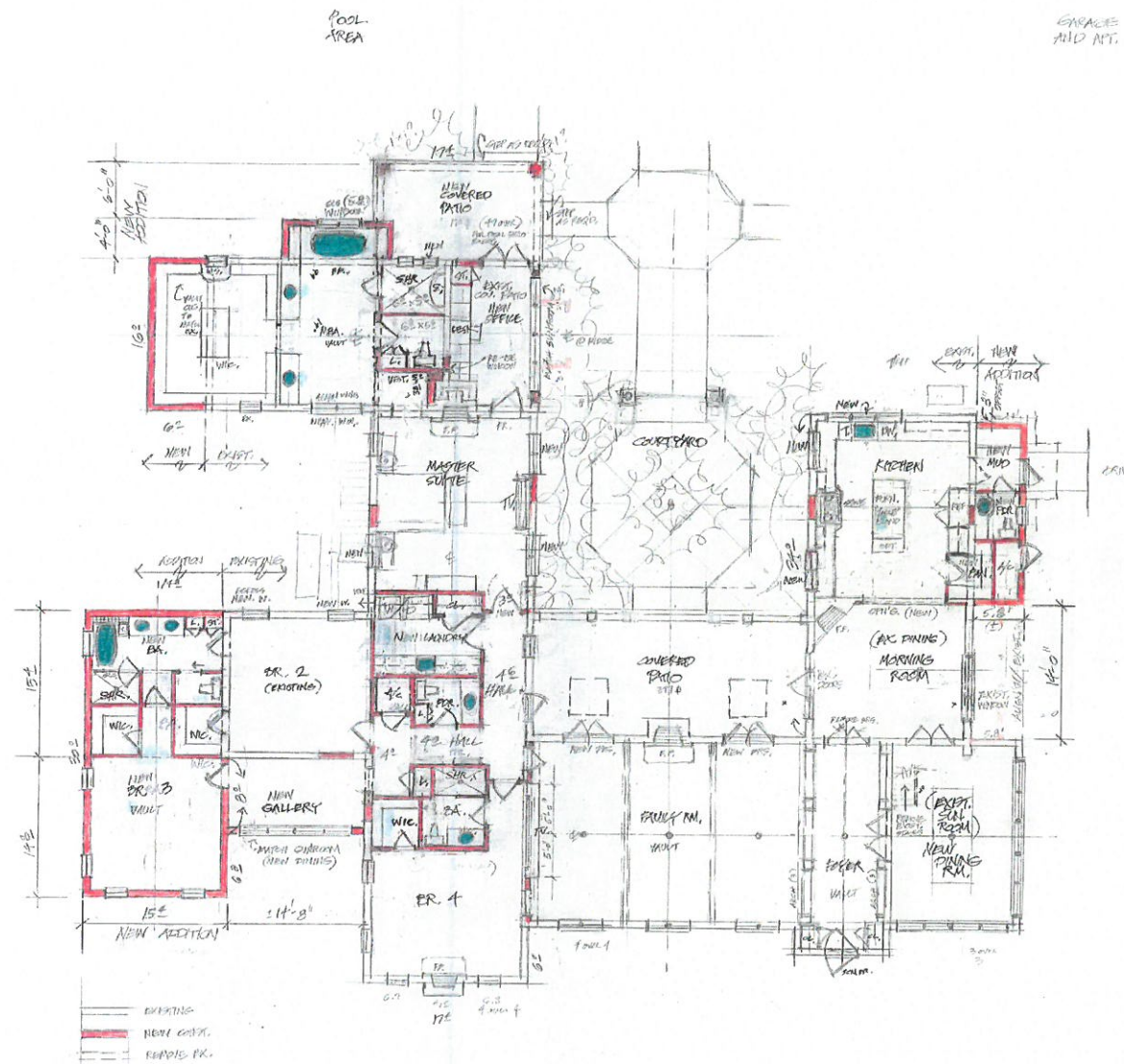
- Any building wall that exceeds 12 ft. in height measured from natural grade to top of wall plate or truss kneewall must meet the setbacks for the 2nd floor.
- Accessory buildings' maximum side wall height (natural grade to roof sheathing) shall not exceed 10.5 ft. and interior side setback is 5 ft. minimum (no gable end allowed) for garages up to 600 sf, pool cabana up to 500 sf and all other accessory buildings up to 320 sf. Other accessory buildings used for habitation shall meet setbacks of the main residence.
- Rear setbacks for properties abutting non-residential zoned, R-3/R-4, or a permanent stormwater retention area over 25 ft. in width may be 10 ft. For lots that are 75ft deep or less a first floor setback of 10ft and a second floor setback of 25ft is allowed. For lots which are 105ft deep or less a first floor setback of 15ft and a second floor setback of 30ft is allowed.
- Accessory buildings: garage/carport up to 820 sf, pool cabana up to 500 sf and storage bldg up to 320 sf - minimum rear setback shall be 10 ft. . Other accessory buildings used for habitation shall meet setbacks of the main residence.
- The rear setback may be reduced to 25 ft. for two-story components when those consist of a second story loft or mezzanine that is within the normal scale and 18-ft max height of a typical one-story structure.
- Require Planning & Zoning commission approval. Lakefront setback is based on the average setback establish by the adjacent residences within 200 ft. or 50 ft., whichever is greater, measured from ordinary high water line.
- Setbacks given are measured on the side yard adjacent to the street & lots over 75 ft. with 1st and 2nd floor setbacks of 25 ft. may reduce the rear setback by 5 ft. on each floor.
- Building height is the vertical distance measured from the average elevation of the existing lot grade measured directly adjacent to the front of the building or proposed building.
- No building or portion thereof shall exceed 30 ft. in height except for homes with a roof slope of 8:12 or greater may be permitted to have 2 ft. additional building height.
- Accessory building that exceeds 18 ft. in height shall meet the same setbacks as the principal building on the property.
- Properties or lots with at least 80 ft. of width at the building line are permitted to have a building height of 35 ft. if the side setbacks are increased to 20 ft. at 30 ft. above the side lot line. Exception: homes with a roof slope of 8:12 or greater are permitted 2 ft. of additional building height.
- Properties or lots exceeding 50,000 sq.ft. in size with at least 100ft width at the building line may be permitted building heights of 40 ft. if side setbacks are increased to 35 ft. to the portion of the roof over 30 ft. in height.



910 OLD ENGLAND AVE.  
JOHNSON ESTATE DESIGNS, INC.

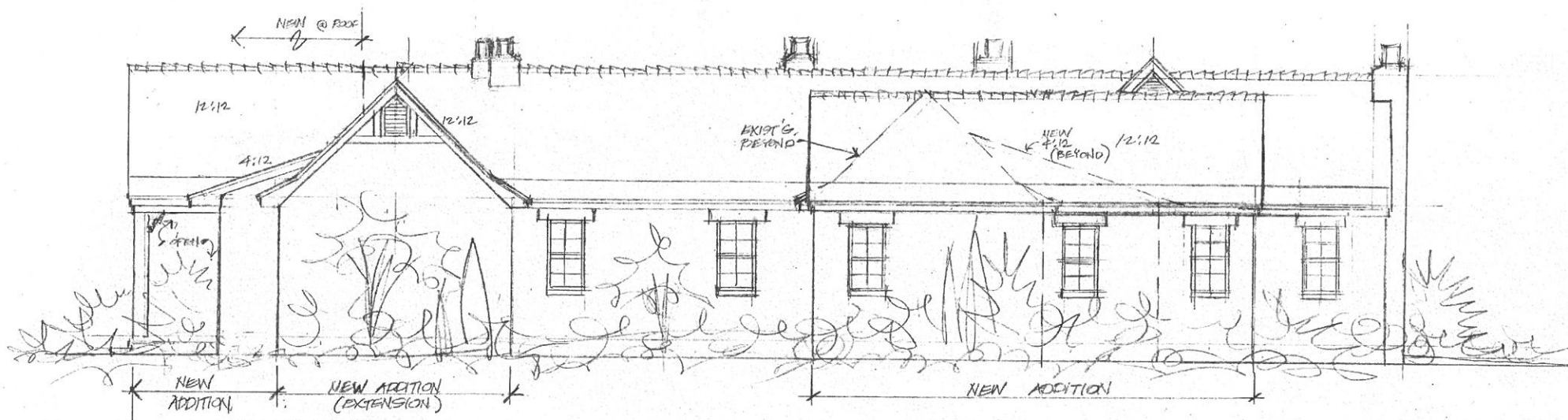
WEST ELEVATION

WINTER PARK, FL  
SCALE:  $\frac{1}{4}" = 1'-0"$









NORTH ELEVATION  
 JOHNSON ESTATE DESIGNS, INC.

940 OLD ENGLAND AVE, WINTER PARK, FL  
 SCALE: 1/4" = 1'-0"

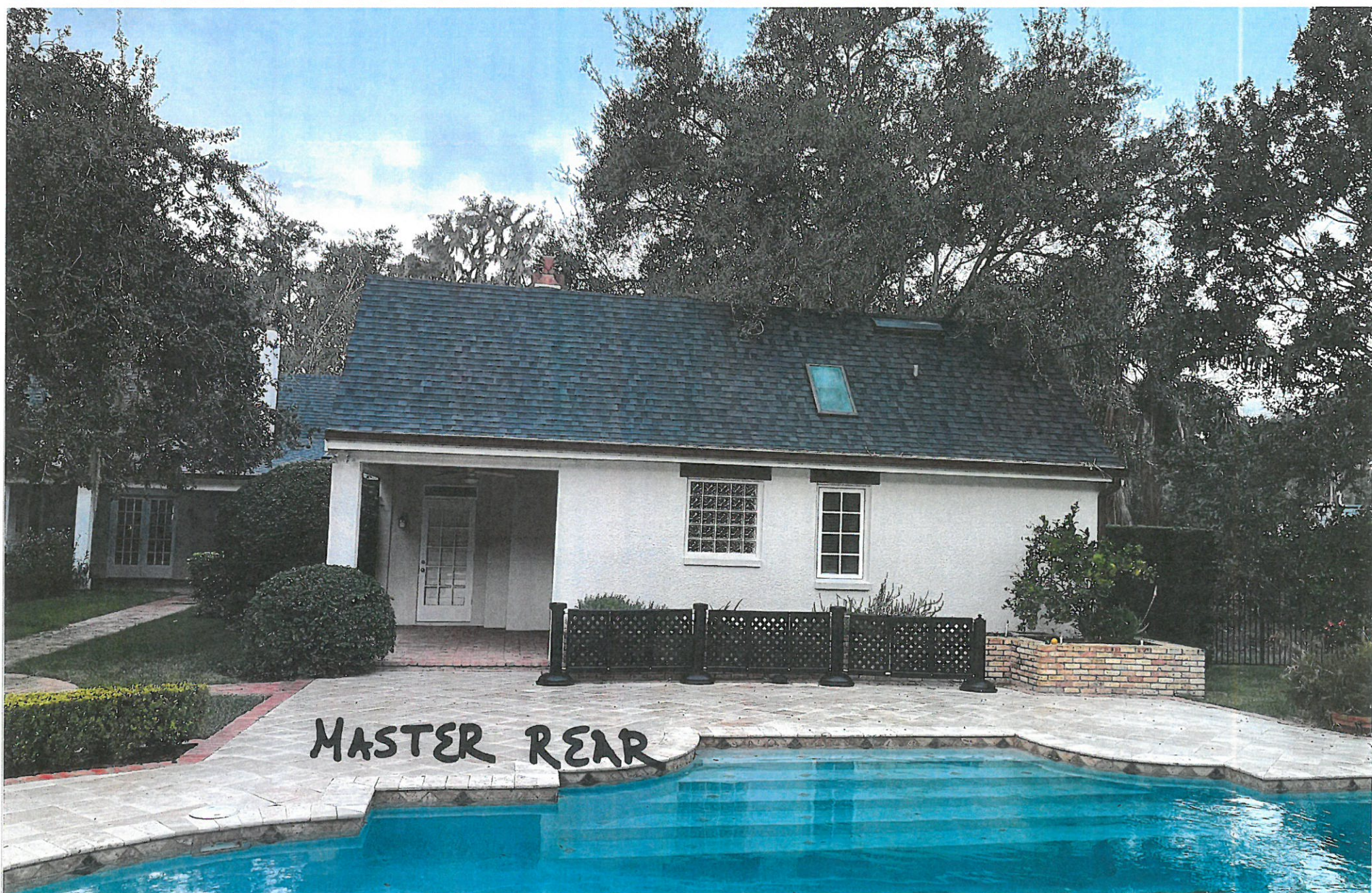


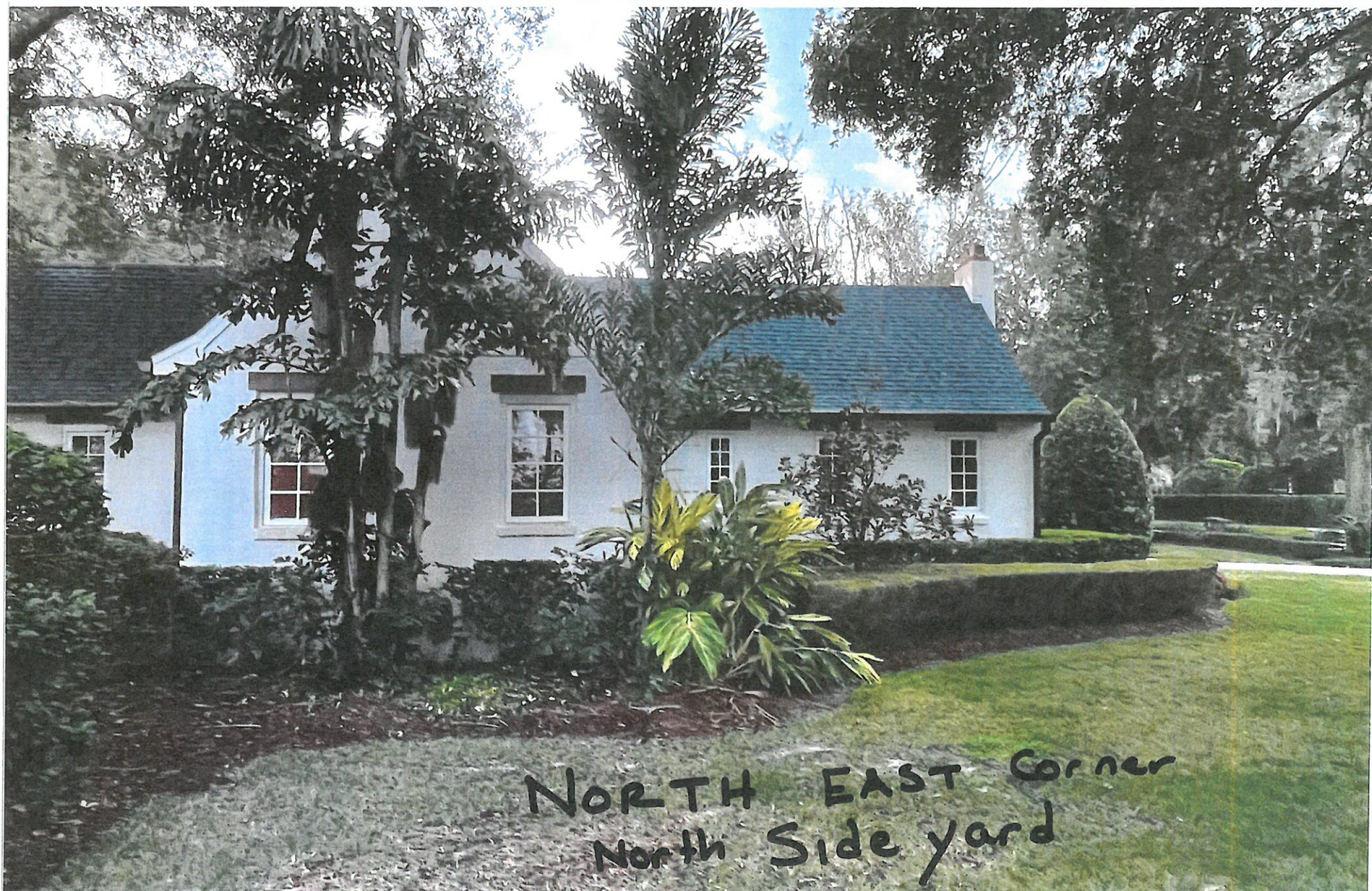
FRONT





SOUTH  
WEST  
S-PA3











# Historic Preservation Board agenda item

|                            |                                |
|----------------------------|--------------------------------|
| item type Non-Action Items | meeting date December 14, 2022 |
| prepared by Jeffrey Briggs | approved by                    |
| board approval Completed   |                                |
| strategic objective        |                                |

## subject

Discussion of Historic Markers for 2023.

## motion / recommendation

General discussion for ranking and decision at a future meeting.

## background

The City has four historic landmark signs on order. Pictures are attached.

There is funding in the current budget to purchase and install another four such signs in 2023. They are about \$4,000 each.

There are many candidates and staff would like the Historic Preservation Board to participate in the selection and prioritization for the 2023 signs. Some candidates that the staff would suggest are:

Orwin Manor (It is their 100th anniversary in 2023).

Winter Park Golf Course

Ninth Grade Center (Winter Park High School)

Waddell House (1331 Aloma Avenue)

Ripples (2400 Forrest Road)

Alabama Hotel

Dinky Dock

## alternatives / other considerations

fiscal impact

ATTACHMENTS:

[Historic Landmark Signs\\_2022.pdf](#)



# Winter Park

## Downtown Historic District

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In 1881, Loring A. Chase (New Hampshire) and Oliver Chapman (Massachusetts) purchased the 600 acres that now comprises Winter Park. They envisioned a community influenced by the New England towns of their childhood. Chase and Chapman designed brick streets to curve around the sparkling lakes and designated sites for churches, lakeside hotels and a business district that is set adjacent to a large town green, Central Park. They named their creation Winter Park.

The Town of Winter Park attracted educated and affluent northerners who built winter homes and contributed to the cultural, educational and business vitality of the frontier town. Their architectural preferences and the shady oaks they planted to line the streets reflected their northern roots. Florida's first college, Rollins College, was established in 1885 with the foresight and financial backing of these first residents.

In 2011, the Downtown Winter Park Historic District was placed on the National Register of Historic Places. This district runs along Park Avenue from Canton Avenue to Comstock Avenue. Central Park and its surrounding streets composed the town center for commerce, transportation and homes for the early settlers.



# Central Park

## Downtown Historic District

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In 1881, Loring Chase and Oliver Chapman purchased land for the development of the town that became Winter Park. Influenced by their New England roots, they designated land for a town square. Central Park was then created as the center of the downtown business district. It also served as the welcoming first impression to the wealthy winter visitors arriving from the north by train.

In 1911, Central Park was gifted to the city by Charles Hosmer Morse, President of Winter Park Land Company. The land transfer came with the provision that Central Park would remain a perpetual gift to the residents and guests of the city. To guarantee such, the deed expressly states that any supplemental use of the land other than as a park, would cause the land to revert back to the Morse estate.

Since its founding, Central Park has served as the community's centerpiece for concerts, art festivals, picnics and major town events. With its multiple fountains and sweeping oak trees, the greens also serve as a quiet refuge making Central Park the heart of Winter Park.



# Eastbank Comstock-Harris House

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In 1871, the original farmhouse, now known as Eastbank, was built on the eastern bank of Lake Osceola by Wilson Phelps. This is the oldest home in Winter Park.

Surrounded by farm crops and citrus groves, the original farmhouse was situated with a prominent view of Lake Osceola. In the 1880s, Eleanor and William Comstock purchased and enlarged the house to its present size. The Comstock's made the home an essential social life hub for the early residents of Winter Park, as a place to attend gatherings, meetings and parties.

In the 1920s, John and Flora Beck Harris purchased the Eastbank house, raised their family, and continued to host gatherings and events. The original farmhouse driveway from Palmer Avenue became Bonita Drive when it was bricked. Subsequently, John and Flora Twachman inherited and maintained the property as their home and a location for community events.

In 1983, Eastbank, also listed as the Comstock-Harris House, was designated on the National Register of Historic Places.



# The Winter Park Telephone Company

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In 1910, Carl Galloway set up a telephone switchboard over his family's grocery store which enabled customers to place grocery orders from home. At that time, the telephone was a novel invention to Florida families. However, five years later, with the addition of many more customers, the Galloways named the family business The Winter Park Telephone Company and set up their headquarters on New England Avenue in Winter Park.

Over the years, son Joe assisted his father with all phases of the business including the installation of the new "dial" phone. This was revolutionary at the time, as it enabled direct dialing without the assistance of an operator. After outgrowing the New England Avenue location, in 1956, the Galloways moved their Dial Exchange Building to this site on New York Avenue. Winter Park Telephone was eventually acquired by United Telephone System in 1979.

The Galloway legacy, name and community spirit continue to live on through the generosity of the Joe and Sarah Galloway Foundation which provides support to disadvantaged children and families throughout central Florida.



# Historic Preservation Board **agenda item**

|                            |                                |
|----------------------------|--------------------------------|
| item type Non-Action Items | meeting date December 14, 2022 |
| prepared by Jeffrey Briggs | approved by                    |
| board approval Completed   |                                |
| strategic objective        |                                |

## subject

Discussion of the historic plaque program.

## motion / recommendation

Provide direction to staff.

## background

The Historic Plaque program is intended to bring recognition and awareness to the properties with individually designated historic buildings and to the 'contributing' properties within the College Quarter and Virginia Heights, East historic districts.

The city staff has focused first upon offering historic plaques to the 'contributing' homes within the College Quarter and Virginia Heights, East historic districts. There are 110 such properties.

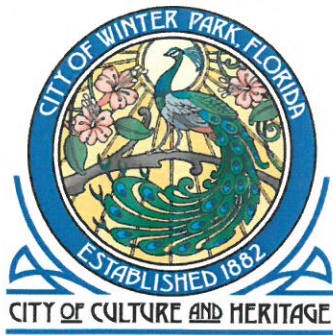
The city staff has mailed two letters (see sample attached) to those properties with disappointing results. To date, only 38 homes (35%) have accepted the city's offer of a free (\$200) brass plaque. The city has received no response from the remaining 72 (65%) of the homes. That list is also attached.

## alternatives / other considerations

## fiscal impact

## ATTACHMENTS:

[Historic Plaque Letter and List.pdf](#)



CITY OF WINTER PARK

401 Park Avenue South

Winter Park, Florida

32789-4386

[www.cityofwinterpark.org](http://www.cityofwinterpark.org)

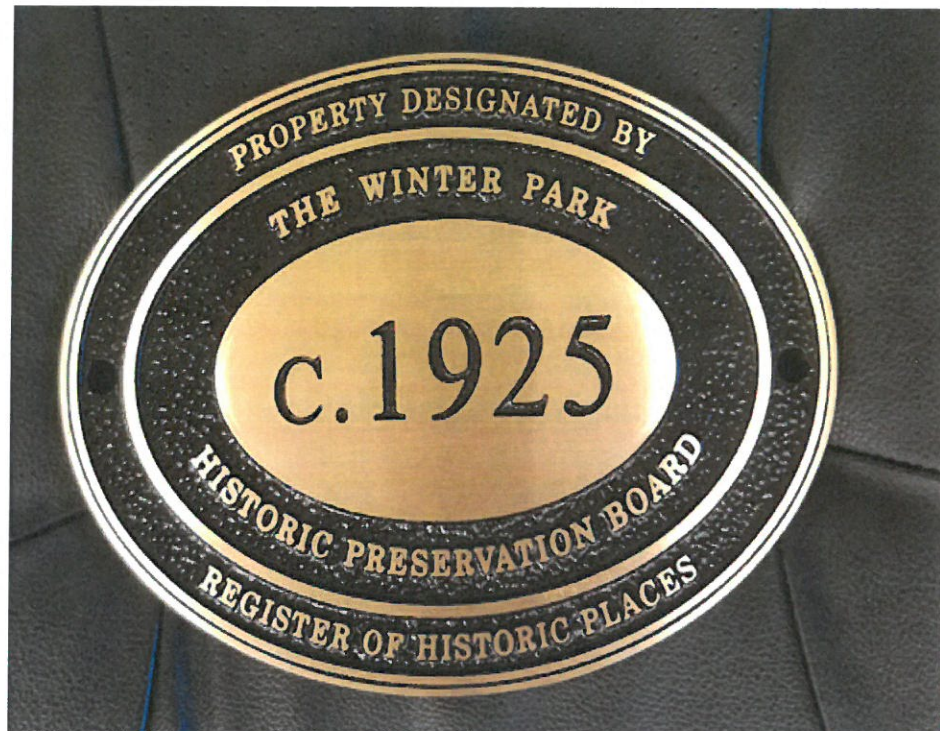
Date

Name

Address

Dear RESIDENTS NAME:

To increase awareness of our historic homes and districts, the Historic Preservation Board and the City Commission offer to provide brass plaques with the date of construction of your home to all those 'contributing' historic homes in the College Quarter and Virginia Heights historic districts. This letter aims to find out if you would like the City to order a plaque for your home.



If you would like a plaque, as shown above, with the date of the construction of your home, all you need to do is to respond via email to [ahull@cityofwinterpark.org](mailto:ahull@cityofwinterpark.org) or give me a call at 407-599-3530.

We hope you are interested in joining this program and look forward to hearing from you soon.

Aaron Hull

# College Quarter & Virginia Height Plague List

| Address                   |
|---------------------------|
| 1350 College Point        |
| 1400 Highland Road        |
| 1539 Glencoe Road         |
| 1551 Highland Road        |
| 1599 Highland Road        |
| 318 Vitoria Avenue        |
| 325 Vitoria Avenue        |
| 326 Vitoria Avenue        |
| 330 Holt Avenue           |
| 338 Vitoria Avenue        |
| 346 Vitoria Avenue        |
| 358 Vitoria Avenue        |
| 368 Vitoria Avenue        |
| 378 Vitoria Avenue        |
| 393 Holt Avenue           |
| 430 Holt Avenue           |
| 695 French Avenue         |
| 736 Antonette Avenue      |
| 746 McIntyre Avenue       |
| 751 Antonette Avenue      |
| 754 Antonette Avenue      |
| 757 Maryland Avenue       |
| 767 McIntyre Avenue       |
| 772 Maryland Avenue       |
| 774 Maryland Avenue       |
| 818 Antonette Avenue      |
| 835 Antonette Avenue      |
| 847 Antonette Avenue      |
| 945 Lakeview Drive        |
| 144 Stirling Avenue       |
| 701 Antonette Avenue      |
| 735 McIntyre Avenue       |
| 739 Antonette Avenue      |
| 741 S Pennsylvania Avenue |
| 757 French Avenue         |
| 800 McIntyre Avenue       |
| 855 S Pennsylvania Avenue |
| 965 Lakeview Drive        |
| 100 Stirling Avenue       |
| 1005 Lakeview Drive       |
| 1022 Lakeview Drive       |
| 1023 Lakeview Drive       |
| 1035 Lakeview Drive       |

Contributing  
Properties  
Only

Green - Have plague  
Yellow - To be delivered  
Blue - Ordered  
White - No response

|                        |
|------------------------|
| 126 Hampton Place      |
| 1421 Highland Road     |
| 1430 Glencoe Road      |
| 1450 Glencoe Road      |
| 1470 Glencoe Road      |
| 1471 Highland Road     |
| 1479 Glencoe Road      |
| 1510 Glencoe Road      |
| 1520 Glencoe Road      |
| 1521 Highland Road     |
| 1541 Highland Road     |
| 1580 Glencoe Road      |
| 1590 Glencoe Road      |
| 1601 Highland Road     |
| 210 Stirling Avenue    |
| 320 Holt Avenue        |
| 357 Vitoria Avenue     |
| 363 Holt Avenue        |
| 367 Holt Avenue        |
| 375 Holt Avenue        |
| 391 Vitoria Avenue     |
| 404 Holt Avenue        |
| 408 Holt Avenue        |
| 411 Holt Avenue        |
| 422 Holt Avenue        |
| 425 Holt Avenue        |
| 435 Holt Avenue        |
| 450 Holt Avenue        |
| 451 Holt Avenue        |
| 453 Huntington Avenue  |
| 455 Huntington Avenue  |
| 461 Huntington Avenue  |
| 471 Holt Avenue        |
| 472 Holt Avenue        |
| 479 Holt Avenue        |
| 483 Holt Avenue        |
| 597 Huntington Avenue  |
| 701 McIntyre Avenue    |
| 719 French Avenue      |
| 723 Maryland Avenue    |
| 726 Maryland Avenue    |
| 731 French Avenue      |
| 734 Maryland Avenue    |
| 736 S. Pennsylvania AV |

|                        |
|------------------------|
| 738 S. Pennsylvania AV |
| 747 McIntyre Avenue    |
| 748 McIntyre Avenue    |
| 750 S. Pennsylvania AV |
| 757 Antonette Avenue   |
| 762 Antonette Avenue   |
| 764 Antonette Avenue   |
| 767 Antonette Avenue   |
| 767 French Avenue      |
| 778 S. Pennsylvania AV |
| 781 Antonette Avenue   |
| 782 Antonette Avenue   |
| 787 Antonette Avenue   |
| 796 Antonette Avenue   |
| 814 Antonette Avenue   |
| 829 Antonette Avenue   |
| 834 Antonette Avenue   |
| 843 S. Pennsylvania AV |
| 853 S. Pennsylvania AV |
| 865 S. Pennsylvania AV |
| 867 S. Pennsylvania AV |
| 905 Lakeview Drive     |
| 937 Lakeview Drive     |