



Historic Preservation Board Regular Meeting

Agenda

September 9, 2026 @ 9:00 AM

City Hall Commission Chambers
401 S. Park Avenue

welcome

Agendas and all backup material supporting each agenda item are accessible via the city's website at cityofwinterpark.org/meetings/ and include virtual meeting instructions.

decorum

As a courtesy to those present, please silence your mobile devices. If you must take a phone call, please excuse yourself and step outside.

Members of the public shall observe the same rules of propriety, decorum and good conduct applicable to members of the Board. Persons making remarks or exhibiting behavior that disrupts the orderly conduct of this meeting will be subject to removal from the meeting.

assistance & appeals

Persons with disabilities needing assistance to participate in any of these proceedings should contact the City Clerk's Office ([407-599-3277](tel:407-599-3277)) at least 48 hours in advance of the meeting.

"If a person decides to appeal any decision made by the Board with respect to any matter considered at this hearing, a record of the proceedings is needed to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based." (F.S. 286.0105).

board member compliance

Board/Committee members when acting within the scope of their public duties are subject to the Florida Sunshine Law (Ch. 286, F.S.), Florida Public Records Act (Ch. 119, F.S.) and state ethics laws (Ch. 112, F.S.). All discussions with any other board member(s) regarding public items that are likely to come before the board/committee must occur on the record during a public meeting. No member shall vote upon, and no appointed member shall attempt to influence, any item considered which would inure to the special private gain or loss of the member, any principal/parent/subsidiary retaining the member, or any relative or business associate of the member. Members must announce their conflict and file a written conflict disclosure with the City Clerk within 15 days of the meeting.

- 1. Call to Order**
- 2. Selection of Chair and Vice Chair**
- 3. Consent Agenda**
 - a. Approve the minutes of May 13, 2026. 1 minute
- 4. Public Comments (for items not on the agenda): Three minutes allowed for each speaker**
- 5. Public Hearings (Public participation and comment on these matters must be in person.)**
 - a. COR #26-08. Request by Winter Park Day Nursery for approval to construct a 1,025 square-foot, single-story addition in the rear of the existing building of their property located at 741 South Pennsylvania Avenue within the College Quarter Historic District, zoned R-2. 15 minutes
- 6. Non-Action Items**
 - a. Discuss demolition of existing home within the College Quarter Historic District located at 726 Maryland Avenue. 15 minutes
- 7. Action Items**
 - a. Finalize a list of ideas for code updates and incentives to have a joint work session with the Commission on September 24, 2026. 30 minutes
- 8. Staff Updates**
- 9. Board Comments**
- 10. Upcoming Agenda Items**
- 11. Adjournment**



Historic Preservation Board

agenda item 3.a

item type

Consent Agenda

meeting date

September 9, 2026

prepared by

Mary Jean, Administrative Coordinator IV

approved by**subject**

Approve the minutes of May 13, 2026.

motion | recommendation**background****alternatives | other considerations****fiscal impact****attachments**

1. Draft Historic Preservation Board Regular Meeting Minutes



Historic Preservation Board Regular Meeting Minutes

May 13, 2026 at 9:00 AM

City Hall Commission Chambers
401 S. Park Avenue

Present

Kelsey Wolfe, Kim Burst Wood, Margie Bridges, Rhett Delaney, Cynde Norris, Lee Rambeau

Absent

John Skolfield

Staff Present

Director of Planning & Zoning Allison McGillis, Planner I Corinna Lundgren,
Administrative Coordinator Mary Jean

1. Call to Order

Vice-Chair Wolfe called the meeting to order at 9:03 a.m.

2. Consent Agenda

- a. Approve the minutes of April 8, 2026.

No one from the public wished to speak. The public hearing was closed.

Motion made by Rhett Delaney, seconded by Lee Rambeau, to approve the April 8, 2026, meeting minutes.

The motion carried unanimously by a 6-0 vote. (John Skolfield was absent from the meeting.)

3. Public Comments (for items not on the agenda): Three minutes allowed for each speaker

No one from the public wished to speak. The public hearing was closed.

4. Public Hearings (Public participation and comment on these matters must be in person.)

- a. COR #26-06. Request by Glenn and Leah Eggert for approval to modify the existing structure by reopening the enclosed front porch of their home located at 835 Antonette Avenue within the

College Quarter Historic District, zoned R-1A.

Mrs. McGillis provided a summary of the request. She noted that the request had been a non-action item on the Board's April 8, 2026, agenda. She then indicated that the applicant was requesting to open the left portion of the home where a front porch was enclosed in the past, so it has a front porch view from the street. She added that the front door would be moved to the right and no square footage would be added.

Staff recommendation was for approval.

The Board noted that they had spoken at length about the request at their April meeting.

No one from the public wished to speak. The public hearing was closed.

Motion made by Margie Bridges, seconded by Lee Rambeau, for approval to modify the existing structure by reopening the enclosed front porch of their home located at 835 Antonette Avenue within the College Quarter Historic District, zoned R-1A.

The motion carried unanimously by a 6-0 vote. (John Skolfield was absent from the meeting.)

b.

COR #26-07. Request by Dennis and Kellie Welsh for approval of a variance to revise previously approved plans for a fence enclosing the pool area, specifically to permit modifications to the fence height and location, for their home located at 151 Stirling Avenue within the Virginia Heights East Historic District, zoned R-1AA.

Mrs. McGillis provided a summary of the request. She noted that the applicant was requesting the variance for privacy and pool safety reasons. She then explained that the code requires a street-facing fence to be set back 10 feet from the property line. She indicated that the code requirement would put the fence within the pool, so the applicant was requesting to allow a six-foot fence versus the four-foot fence required by the building code for pool safety purposes. She added that the applicant was also proposing hedges within the right-of-way to soften the view of the fence from the street.

Staff recommendation was for approval.

A brief discussion ensued on whether the proposed fence would only enclose the pool

area.

Motion made by Kelsey Wolfe, seconded by Lee Rambeau, for approval of a variance to revise previously approved plans for a fence enclosing the pool area, specifically to permit modifications to the fence height and location, for their home located at 151 Stirling Avenue within the Virginia Heights East Historic District, zoned R-1AA.

The motion carried unanimously by a 6-0 vote. (John Skolfield was absent from the meeting.)

5. Action Items

6. Non-Action Items

- a. Demolition permit for 250 Virginia Drive - Florida Master Site File property

The Board discussed a demolition permit application for the home at 250 Virginia Drive, a 1939 Colonial Revival residence designed by James Gamble Rogers and listed on the Florida Master Site File. Mrs. McGillis explained that because the property has historic significance, the demolition permit automatically triggered a 90-day delay and notification to the Board. While the Board does not have authority to approve or deny demolition, the purpose of the delay is to explore alternatives such as relocating the structure, purchasing it for preservation, or documenting and salvaging historic elements before demolition.

Board members expressed strong concern about the potential loss of the home, with several noting its architectural significance and apparent good condition. One member stated that they had personally visited the house and questioned claims that it suffered from structural problems, noting that previous owners had carefully maintained it for decades. Others remarked that homes in much worse condition have successfully been restored and that the property's recent purchase for approximately \$2.6 million suggested redevelopment of the lot may have been the primary motivation rather than preservation.

Throughout the discussion, frustration with the Board's limited authority was expressed. The Board indicated that, because the property is neither individually designated nor located within a historic district, they have little power beyond raising awareness and encouraging alternatives. It was expressed that Winter Park lacks meaningful tools to preserve historic homes outside designated districts and that a simple 90-day waiting period is often ineffective when owners are committed to demolition.

The Board heard public comment from the following residents:

In Favor:

Orman Kimbrough of 1451 Highland Road, Winter Park, FL 32789.

Opposed:

Sally Flynn of 1400 Highland Road, Winter Park, FL 32789; and Wade Miller of 1520 Glencoe Road, Winter Park, FL 32789.

Did not confirm their favor of or opposition to the request:

Betsy Owens of 656 Park Avenue, Winter Park, FL 32789.

No one else from the public wished to speak. The public hearing was closed.

In depth discussion then ensued about preservation policy. It was expressed that historic preservation needs stronger city-level support through incentives such as tax benefits, grants, insurance assistance, or other financial programs that would make preserving historic homes economically attractive. The need for public education about the value of historic neighborhoods was also stressed, and a concern was raised that many newcomers appreciate Winter Park's character while simultaneously contributing to the loss of the very homes that create that character.

By the end of the discussion, a viable path to preventing the demolition of 250 Virginia Drive could not be determined. While relocation and purchase of the house were mentioned as theoretical options, the practicality and desirability of moving historic homes was questioned. The Board's consensus was that the situation highlighted a broader systemic problem requiring policy changes by the City Commission. Board members encouraged residents and preservation advocates to attend the City Commission meeting that evening, voice support for stronger preservation measures, and push for new policies and incentives that could help protect significant historic homes like 250 Virginia Drive in the future. The Board ultimately focused on using the case as an example to advocate for stronger preservation policies and incentives at the city level.

7. Staff Updates

- a. Historic Preservation Month Proclamation - May 13th City Commission meeting at 3:30pm

Mrs. McGillis noted that May was Historic Preservation Month. She also hoped that the Board would be able to attend that day's City Commission meeting where the mayor

would be giving a proclamation for Historic Preservation Month.

Mrs. McGillis also noted that the meeting was the last one for Board member Lee Rambeau. Mrs. McGillis expressed gratitude for Ms. Rambeau's insight and years of service on the Board. Mrs. McGillis then introduced the Board's new member, Anne Mooney, who attended the meeting and would be starting on the Board at the June regular meeting.

8. Board Comments

9. Upcoming Agenda Items

10. Adjournment

The meeting adjourned at 9:56 a.m.

ATTEST:

/s/ Mary Jean, Recording Secretary



Historic Preservation Board

agenda item 5.a

item type

Public Hearings (Public participation and comment on these matters must be in person.)

meeting date

September 9, 2026

prepared by

Allison McGillis, Director of Planning and Zoning

approved by

Allison McGillis, Director of Planning and Zoning

subject

COR #26-08. Request by Winter Park Day Nursery for approval to construct a 1,025 square-foot, single-story addition in the rear of the existing building of their property located at 741 South Pennsylvania Avenue within the College Quarter Historic District, zoned R-2.

motion | recommendation

Staff recommendation is for approval with the condition that the existing rooftop equipment be adequately screened from view from the right-of-way.

background

Winter Park Day Nursery is requesting a Certificate of Review for an addition and renovations to its existing facility at 741 S. Pennsylvania Avenue, which is zoned R-2 and located within the College Quarter Historic District. The project includes 1,025 square feet of new building area, along with interior renovations, bringing the total area affected by the project to approximately 2,251 square feet. The new space will provide additional classrooms, restrooms, and a small conference/workspace area.

The Winter Park Day Nursery has been at this location since 1960. The property is approximately 0.81 acres and fronts S. Pennsylvania Avenue, with the railroad right-of-way running along the northwest side of the property. The addition is proposed toward the rear of the existing building, where it will have limited visibility from Pennsylvania Avenue. The applicant anticipates the additional classroom space will accommodate approximately 18 additional children.

The addition will remain one story and generally continue the scale and appearance of the existing building. The project also includes some changes to parking and circulation around the site due to the Day Nursery obtaining the small property to the north (739 S. Pennsylvania Avenue). With the existing site and the northern property, a total of 35 parking spaces will be provided through a combination of existing, new, and overflow parking.

Several trees will need to be removed to accommodate the improvements. The applicant had the trees evaluated by a certified arborist, who recommended removal of two large oak trees within the playground because of their condition. Several invasive camphor trees are also proposed for removal. Staff and the applicant have reviewed the affected trees on site, and any required mitigation will be addressed through the city's tree removal process.

Overall, the addition is modest in relation to the existing building and is tucked toward the rear of the property, where it will not be a prominent feature from Pennsylvania Avenue. The building will remain one story, and the addition continues the general form and character, as well as materials, of the existing facility. Staff finds that the project provides the Day Nursery with additional space needed without significantly changing the appearance or established character of the property.

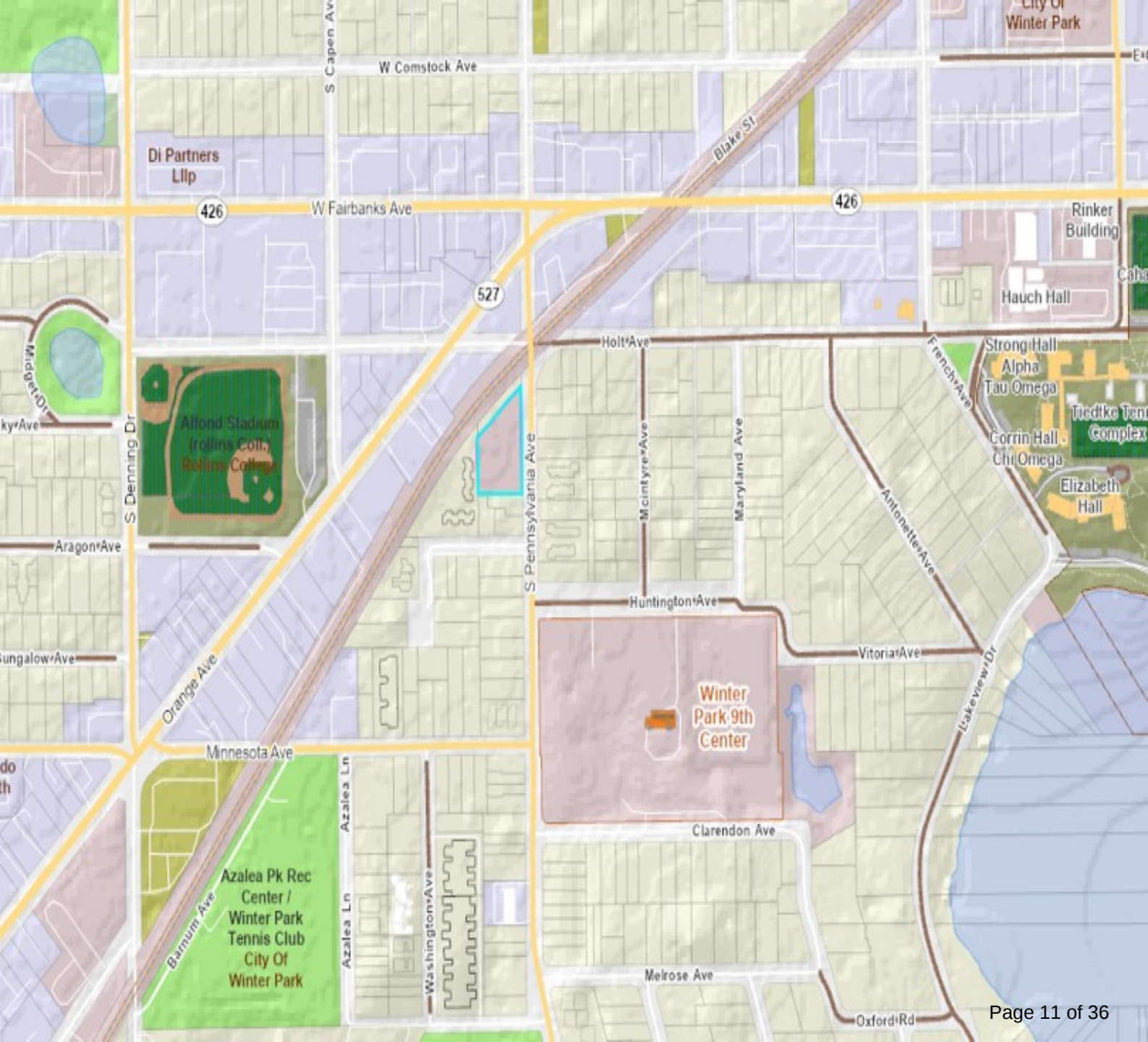
Overall, staff recommends approval of the Certificate of Review. The proposed addition is appropriately scaled and located, maintains the character of the existing building, and should have minimal visual impact on the surrounding historic district. The only condition staff is recommending is that the existing rooftop be adequately screened from view from the right-of-way.

alternatives | other considerations

fiscal impact

attachments

1. Location Map
2. Aerial Map
3. Winter Park Day Nursery Narrative
4. Ireland survey_r1
5. Winter Park Day Nursery Expansion CIVIL SITE PLAN
6. 2604 A201 EL 7.28.26
7. 2604 A101 FP 7.28.26







Conditional Use Permit for 741 S. Pennsylvania Ave.

Winter Park Day Nursery Addition

Dear Planning & Zoning Department,

My name is Ali DeMaria, Executive Director of Winter Park Day Nursery. As many of you know, Winter Park Day Nursery has served children and families in our community for 87 years, and at this same location since 1960. Our mission is to provide a safe and caring educational environment that supports the development and well-being through growth and discovery.

The Nursery provides a nurturing learning environment for infants through pre-kindergarten, with 56% of enrolled children receiving tuition assistance and scholarships for families in need. We are excited for the opportunity to enhance our facility through an expansion to our existing classrooms. The proposed expansion is expected to accommodate 18 additional children, many from families already enrolled at the school.

As part of the project, a certified arborist evaluated the existing trees on the property to determine which trees could be preserved and which may need to be removed. The arborist found that the two large oak trees within the playground area are in poor condition and recommended their removal due to the potential safety risk they pose. The camphor trees were also identified as invasive and are recommended for removal. In addition, one 6 inch cherry tree and several palm trees may be removed under the city's guidance.

We completed a site walk with the City of Winter Park arborist on 8/3/26 at 11:30 am to review the proposed removals. The project team will follow all City requirements for tree removal and mitigation while preserving existing trees wherever practical.

Our community meeting is on 8/3/26 at Winter Park Day Nursery, 741 S Pennsylvania Ave, Winter Park, FL 32789, from 5:00-7:00 PM. A community letter was sent out to the designated list of surrounding homes. Contact information was provided to all neighboring property owners, and they were encouraged to reach out with any questions or concerns regarding the proposed project. To date, the surrounding neighbors have been supportive of the nursery and its planned expansion.



The following is an outline of the project criteria and data:

Information on the Project:

- A single-story addition to the existing building, approximately 1,025 net-new square feet for 2 additional classrooms, a bathroom, and small conference space.
- Intended use is additional classrooms and workspace for the school.
- R-2 and Low-Density zoning.
- The proposed addition is located in the rear of the existing building, having minimal visual impact on the surrounding neighborhood.
- An in-house 10-day traffic observation study found that the school currently operates with well separated peak pickup windows and modest daily traffic volumes that are not expected to be significantly impacted by the increase in children.
- The project does not trip any traffic thresholds with the City or D.O.T. requirements.
- A plan that meets all codes within the City of Winter Park.
- Anticipated to begin construction in late fall of 2026, with completion anticipated in summer 2027.
- For any specific or technical questions, feel free to contact our construction management team, Lamm & Company Partners, located at 968 Lake Baldwin Lane Orlando, FL 32814. Contact information is 407-892-2525 - JeremyLamm@lammco.com.

We thank you in advance for taking the time to review the project.

Yours truly,

Ali DeMaria
Winter Park Day Nursery
741 S. Pennsylvania Ave.
Winter Park, FL 32789
407-647-0505

Legal Description:

Parcel 2:
 Lot 1 (Less the Northwesternly 30.00 feet thereof which parallels the present railroad right-of-way), Lot 2 (Less any and part thereof which lies within 30.00 feet of the present railroad right-of-way), and all of Lots 3 and 4, Block 95 of the REVISED MAP OF THE TOWN OF WINTER PARK, as recorded in Plat Book A, Pages 67, of the Public Records of Orange County, Florida, together with the East ½ of the vacated alley lying West of and adjacent to the above description.

Flood Disclaimer:
BY PERFORMING A SEARCH WITH THE LOCAL GOVERNING MUNICIPALITY OR WWW.FEMA.GOV, THE PROPERTY APPEARS TO BE LOCATED IN ZONE X. THIS PROPERTY WAS FOUND IN CITY OF WINTER PARK, COMMUNITY NUMBER 120188, DATED 09/25/2009.
CERTIFIED TO:
WINTER PARK DAY NURSERY

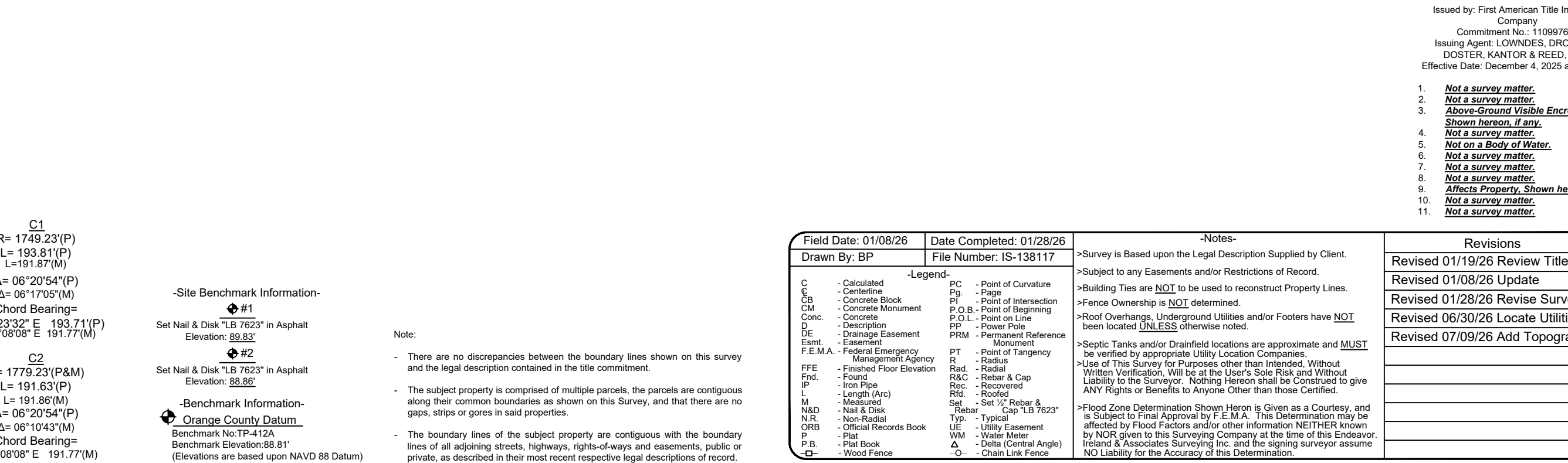
THAT PART OF LOTS 1 AND 2, LYING WITHIN 30 FEET OF THE PRESENT RIGHT OF WAY LINE OF THE ATLANTIC COAST LINE RAILROAD, BLOCK 95, TOWN OF WINTER PARK, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK A, PAGE 67, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA

LOT 1 (LESS THE NORTHWESTERLY 30.00 FEET THEREOF WHICH PARALLELS THE PRESENT RAILROAD RIGHT-OF-WAY), LOT 2 (LESS ANY AND PART THEREOF WHICH LIES WITHIN 30.00 FEET OF THE PRESENT RAILROAD RIGHT-OF-WAY), AND ALL OF LOTS 3 AND 4, BLOCK 95 OF THE REVISED MAP OF THE TOWN OF WINTER PARK, AS RECORDED IN PLAT BOOK A, PAGES 67, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, TOGETHER WITH THE EAST ½ OF THE VACATED ALLEY LYING WEST OF AND ADJACENT TO THE ABOVE DESCRIPTION.

ALL OF THE ABOVE BEING FURTHER DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF LOT B LOCK 95, TOWN OF WINTER PARK, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK A, PAGE 67, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA; THENCE ALONG THE SOUTHERLY LINE EXTENDED OF SAID LOT 4, BLOCK 95, NORTH 89°59'37" WEST, 147.13 FEET TO THE WESTERLY LINE OF THE EAST 1/2 OF THE VACATED ALLEY, THENCE DEPARTING SAID WESTERLY LINE OF THE EAST 1/2 OF THE VACATED ALLEY, ALONG THE WESTERLY LINE OF THE EAST 1/2 OF THE VACATED ALLEY LYING ADJACENT TO LOTS 1 THROUGH 4, BLOCK 95, TOWN OF WINTER PARK, NORTH 00°1'45" EAST, 176.79 FEET TO THE NORTHERLY LINE OF THE VACATED ALLEY LYING ADJACENT TO SAID LOT 1, BLOCK 95, AND ALSO BEING THE SOUTHERLY RIGHT-OF-WAY LINE OF SOUTH FLORIDA RAILWAY AND A POINT ON A NON-TANGENT CURVE TO THE RIGHT, HAVING A RADIUS OF 1779.23 FEET, THENCE NORTHEASTERLY, ALONG SAID SOUTHERLY LINE OF THE VACATED ALLEY, ALONG THE SOUTHERLY RIGHT-OF-WAY LINE OF SAID SOUTH FLORIDA RAILWAY AND ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 06°20'54", AN ARC LENGTH OF 191.86 FEET, HAVING A CHORD BEARING AND DISTANCE OF NORTH 50°08'08" EAST, 191.77 FEET TO A POINT ON THE NORTHERLY LINE EXTENDED OF THE EASTERLY LINE OF SAID LOT 1, BLOCK 95, AND BEING ON THE WESTERLY RIGHT OF WAY LINE OF SOUTH PENNSYLVANIA AVENUE, THENCE ALONG THE EASTERLY LINE OF SOUTH PENNSYLVANIA AVENUE, SOUTH 00°01'45" WEST, 299.73 FEET TO THE POINT OF BEGINNING.

CONTAINING 35,387.06 SQ. FT. OR 0.812 ACRES OF LAND MORE OR LESS.



Schedule B-II (Exceptions)

Issued by: First American Title Insurance Company
Commitment No.: 110997675
Issuing Agent: LOWNDES, DROSDICK, DOSTER, KANTOR & REED, P.A.
Effective Date: December 4, 2025 at 8:00 a.m.

Not a survey matter.
Not a survey matter.
Above Ground Visible Encroachment
Shown hereon, if any.
Not a survey matter.
Not on a Body of Water.
Not a survey matter.
Not a survey matter.
Not a survey matter.
Affects Property, Shown hereon.
Not a survey matter.
Not a survey matter.

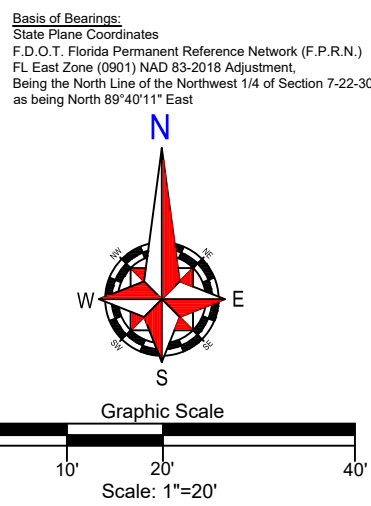
Revisions
Revised 01/19/26 Review Title
Revised 01/08/26 Update
Revised 01/28/26 Revise Survey
Revised 06/30/26 Locate Utilities
Revised 07/09/26 Add Topography

I hereby certify that this Boundary Survey of the above Described Property is True and Correct to the Original Plat and is a Survey Properly and lawfully Surveyed under my Direction on the Date Shown, Based on Information Furnished to Me and Has Noted and Conforms to the Standard of Practice for Land Surveying in the State of Florida in accordance with Chapter 117.05 Florida Administrative Code, Pursuant to Section 472.02 Florida Statutes.

 FOR THE RECORD

Patrick K. Ireland, P.E. PS# 6637 LB 7623
This Survey is intended ONLY for use of Said Certified Parties.
This Survey NOT VALID UNLESS signed and Embossed with Surveyor's Seal.

Ireland & Associates Surveying, Inc.
800 Currency Circle Suite 1020
Lake Mary, Florida 32746
www.IrelandSurveying.com
Office-407.678.3366 Fax-407.320.8165



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CONSTRUCTION DOCUMENTS FOR WINTER PARK DAY NURSERY EXPANSION

LEGAL DESCRIPTION

THAT PART OF LOTS 1 AND 2, LYING WITHIN 30 FEET OF THE PRESENT RIGHT OF WAY OF THE ATLANTIC COAST LINE RAILROAD, BLOCK 95, TOWN OF WINTER PARK, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK A, PAGE 67, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

AND

LOT 1 (LESS THE NORTHWESTERLY 30.00 FEET THEREOF WHICH PARALLELS THE PRESENT RAILROAD RIGHT-OF-WAY), LOT 2 (LESS ANY AND PART THEREOF WHICH LIES WITHIN 30.00 FEET OF THE PRESENT RAILROAD RIGHT-OF-WAY), AND ALL OF LOTS 3 AND 4, BLOCK 95 OF THE REVISED MAP OF THE TOWN OF WINTER PARK, AS RECORDED IN PLAT BOOK A, PAGES 67, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, TOGETHER WITH THE EAST ½ OF THE VACATED ALLEY LYING WEST OF AND ADJACENT TO THE ABOVE DESCRIPTION.

ALL OF THE ABOVE BEING FURTHER DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF LOT 4, BLOCK 95, TOWN OF WINTER PARK, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK A, PAGE 67, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, THENCE ALONG THE SOUTHERLY LINE EXTENDED OF SAID LOT 4, BLOCK 95, NORTH 89°59'31" WEST, 147.13 FEET TO THE WESTERLY LINE OF THE EAST 1/2 OF THE VACATED ALLEY; THENCE DEPARTING SAID SOUTHERLY LINE EXTENDED OF LOT 4, BLOCK 95, ALONG THE WESTERLY LINE OF THE EAST 1/2 OF THE VACATED ALLEY LYING ADJACENT TO LOTS 1 THROUGH 4, BLOCK 95, TOWN OF WINTER PARK, NORTH 00°01'45" EAST, 176.79 FEET TO THE NORTHERLY LINE OF THE VACATED ALLEY LYING ADJACENT TO SAID LOT 1, BLOCK 95, AND ALSO BEING THE SOUTHERLY RIGHT-OF-WAY LINE OF SOUTH FLORIDA RAILWAY AND A POINT ON A NON-TANGENT CURVE TO THE RIGHT, HAVING A RADIUS OF 1779.23 FEET; THENCE NORTHEASTERLY ALONG SAID NORTHERLY LINE OF THE VACATED ALLEY AND ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE OF SAID SOUTH FLORIDA RAILWAY AND ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 06°20'54", AN ARC LENGTH OF 191.86 FEET, HAVING A CHORD BEARING AND DISTANCE OF NORTH 50°08'08" EAST, 191.77 FEET TO A POINT ON THE NORTHERLY LINE EXTENDED OF THE EASTERLY LINE OF SAID LOT 1, BLOCK 95, AND BEING ON THE WESTERLY RIGHT OF WAY LINE OF SOUTH PENNSYLVANIA AVENUE; THENCE ALONG THE EASTERLY LINE OF SAID LOTS 1 THROUGH 4, BLOCK 95, AND ITS NORTHERLY EXTENSION, AND WITH BEING THE WESTERLY RIGHT-OF-WAY LINE OF SOUTH PENNSYLVANIA AVENUE, SOUTH 00°01'45" WEST, 299.73 FEET TO THE POINT OF BEGINNING.

CONTAINING 35,387.06 SQ. FT. OR 0.812 ACRES OF LAND MORE OR LESS.

PROJECT TEAM

OWNER

WINTER PARK DAY NURSERY INC.
741 S PENNSYLVANIA AVE
WINTER PARK, FL 32789
CONTACT: ALI DEMARIA
PHONE: (407) 647-0505
EMAIL: EXEC@WPDAYNURSERY.ORG

CIVIL ENGINEER

KIMLEY-HORN AND ASSOCIATES
6876 MARWICK LN SUITE 350,
ORLANDO, FL 32827
CONTACT: JEFFREY RIVERA, P.E.
PHONE: (407)-459-8117
EMAIL: JEFFREY.RIVERA@KIMLEY-HORN.COM

ARCHITECT

BLAKENSHIP ARCHITECTS INC.
541 LAKE CATHERINE DRIVE
MAITLAND, FL 32751
CONTACT: NELSON BLAKENSHIP
PHONE: (407)-331-8868
EMAIL: NELSON@BLAKENSHIPARCHITECTS.COM

SURVEYOR

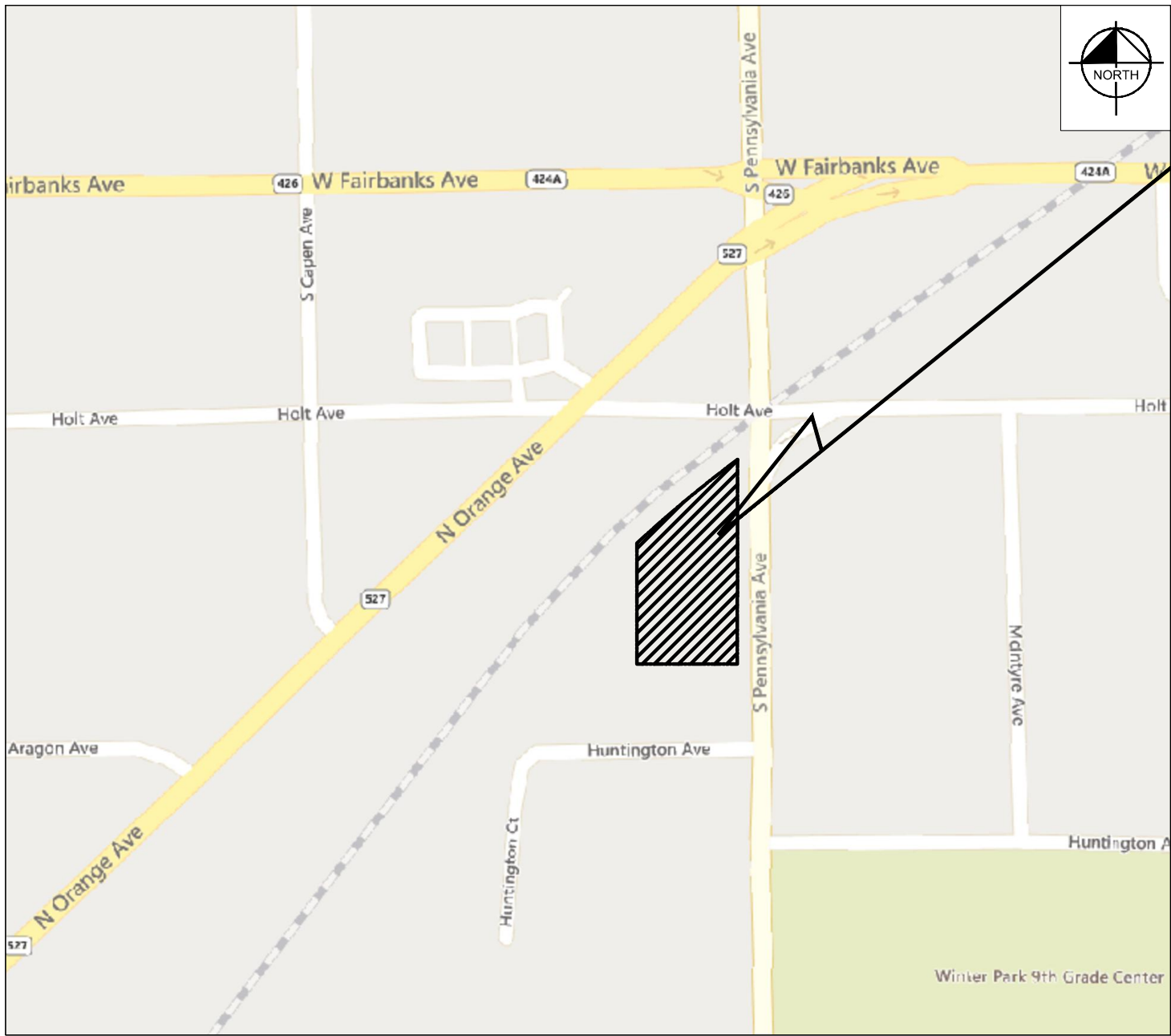
IRELAND & ASSOCIATES SURVEYING, INC.
800 CURRENCY CIR, SUITE 1020
LAKE MARY, FLORIDA, 34746
CONTACT: PATRICK K. IRELAND
PHONE: (407) 678-3366
EMAIL: IRELANDSURVEYING@GMAIL.COM

DEVELOPER

WINTER PARK DAY NURSERY INC.
741 S PENNSYLVANIA AVE
WINTER PARK, FL 32789
CONTACT: ALI DEMARIA
PHONE: (407) 647-0505
EMAIL: EXEC@WPDAYNURSERY.ORG

PARCEL I.D. # 05-22-30-9400-95-000
PARCEL I.D. # 05-22-30-9400-95-011

741 S PENNSYLVANIA AVE
CITY OF WINTER PARK, FLORIDA
AUGUST 3, 2026



SECTION 7, TOWNSHIP 22S, RANGE 30E
LOCATION MAP
N.T.S.

PREPARED BY
Kimley»Horn

© 2026 KIMLEY-HORN AND ASSOCIATES, INC.
6876 MARWICK LN SUITE 350, ORLANDO, FL 32827
Phone: (407)-459-8117
WWW.KIMLEY-HORN.COM CA 00000696



AERIAL PHOTOGRAPH
N.T.S.

Sheet List Table

Sheet Number	Sheet Title
C0.0	COVER SHEET
C1.0	GENERAL NOTES
C2.0	STORMWATER POLLUTION PREVENTION PLAN NOTES
C2.1	STORMWATER POLLUTION PREVENTION PLAN DETAILS
C3.0	SITE AND UTILITY PLAN
C3.1	OVERFLOW PARKING LAYOUT
C4.0	CONSTRUCTION DETAILS
C5.0-C5.2	CITY OF WINTER PARK STANDARD DETAILS

JEFFREY L. RIVERA, P.E.
FL P.E. No. 92754

Winter Park Day Nursery Expansion
08/03/2026
ENGINEER'S PROJECT No. 249930000
REVISIONS:

NO.	DATE	BY	CHK	APP
1				
2				
3				
4				

Plotted By: TerMorrisson, Artur Sheet Set: Winter Park Day Nursery Expansion Layout: C1.0 July 31, 2026 11:45:11am K:\kro-civil\249930000-winter park day nursery\CADD\CONSTR\plansheets\C1.0 - GENERAL NOTES.dwg This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

GENERAL	PAVING, GRADING AND DRAINAGE
1. LOCATIONS, ELEVATIONS, AND DIMENSIONS OF EXISTING UTILITIES, STRUCTURES AND OTHER FEATURES ARE SHOWN ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. THE EXISTING UTILITY INFORMATION SHOWN IS BASED ON THE TOPOGRAPHIC SURVEY PROVIDED BY BENCHMARK SURVEYING & MAPPING, LLC. THE CONTRACTOR SHALL VERIFY THE LOCATIONS, ELEVATIONS, AND DIMENSIONS OF ALL EXISTING UTILITIES, STRUCTURES AND OTHER FEATURES, AFFECTING THIS AREA PRIOR TO CONSTRUCTION WORK. 2. PRIOR TO THE INITIATION OF SITE CONSTRUCTION, THE CONTRACTOR SHALL VERIFY ANY EXISTING UTILITIES INCLUDING GAS, WATER, ELECTRIC, CABLE TV, COMMUNICATIONS, SANITARY SEWERS AND STORM DRAINAGE SYSTEMS, ON AND / OR ADJACENT TO THE SITE. REMOVE OR CAP AS NECESSARY. 3. THE CONTRACTOR SHALL EXERCISE CAUTION IN AREAS OF BURIED UTILITIES AND SHALL CALL "SUNSHINE" AT 1-800-432-4770 AT LEAST 48 HOURS PRIOR TO CONSTRUCTION TO ARRANGE FOR FIELD LOCATIONS OF BURIED UTILITIES. 4. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO EXISTING FACILITIES, ABOVE OR BELOW GROUND, THAT MAY OCCUR AS A RESULT OF THE WORK PERFORMED, BY THE CONTRACTOR OR SUB-CONTRACTORS, AS CALLED FOR IN THESE CONTRACT DOCUMENTS. 5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BECOME FAMILIAR WITH THE PERMIT AND INSPECTION REQUIREMENTS SPECIFIED BY THE VARIOUS GOVERNMENTAL AGENCIES AND THE ENGINEER. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION, AND SCHEDULE INSPECTIONS ACCORDING TO AGENCY INSTRUCTION/REQUIREMENTS. 6. THE CONTRACTOR SHALL SUBMIT SHOP DRAWNGS, ON ALL PRECAST AND MANUFACTURED ITEMS, TO THE OWNER'S ENGINEER FOR REVIEW. FAILURE TO OBTAIN APPROVAL BEFORE INSTALLATION MAY RESULT IN REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE. 7. ALL UTILITY SERVICE STUB-OUTS (WATER, SANITARY SEWER, etc.) ARE TO BE INSTALLED WITHIN 5' OF BUILDING(S), UNLESS OTHERWISE NOTED ON PLANS. 8. CONTRACTOR TO COORDINATE WITH THE APPLICABLE ELECTRIC UTILITY SUPPLIER REGARDING ANY NECESSARY RELOCATION(S) OF UNDERGROUND AND/OR OVERHEAD ELECTRIC FACILITIES, AND FOR THE LOCATION AND INSTALLATION OF TRANSFORMER PAD(S) AND ASSOCIATED ELECTRIC FACILITIES. 9. SAFETY: A. DURING THE CONSTRUCTION AND/OR MAINTENANCE OF THIS PROJECT, ALL SAFETY REGULATIONS ARE TO BE ENFORCED. THE CONTRACTOR OR HIS REPRESENTATIVE SHALL BE RESPONSIBLE FOR THE CONTROL AND SAFETY OF THE TRAVELING PUBLIC AND THE SAFETY OF HIS/HER PERSONNEL. B. LABOR SAFETY REGULATIONS SHALL CONFORM TO THE PROVISIONS SET FORTH BY OSHA. C. THE MINIMUM STANDARDS AS SET FORTH IN THE 2013 EDITION OF "THE STATE OF FLORIDA, MANUAL ON TRAFFIC CONTROL AND SAFE PRACTICES FOR STREET AND HIGHWAY CONSTRUCTION, MAINTENANCE AND UTILITY OPERATIONS" SHALL BE FOLLOWED IN THE DESIGN, APPLICATION, INSTALLATION, MAINTENANCE AND REMOVAL OF ALL TRAFFIC CONTROL DEVICES, WARNING DEVICES AND BARRIERS NECESSARY TO PROTECT THE PUBLIC AND CONSTRUCTION PERSONNEL FROM HAZARDS WITHIN THE PROJECT LIMITS. D. ALL TRAFFIC CONTROL MARKINGS AND DEVICES SHALL CONFORM TO THE PROVISIONS SET FORTH IN THE 2009 MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES PREPARED BY THE U.S. DEPARTMENT OF TRANSPORTATION FEDERAL HIGHWAY ADMINISTRATION. E. ALL SUBSURFACE CONSTRUCTION SHALL COMPLY WITH THE "TRENCH SAFETY ACT". THE CONTRACTOR SHALL INSURE THAT THE METHOD OF TRENCH PROTECTION AND CONSTRUCTION IS IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REGULATIONS. F. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY AND ENFORCE ALL APPLICABLE SAFETY REGULATIONS. THE ABOVE INFORMATION HAS BEEN PROVIDED FOR THE CONTRACTOR'S INFORMATION ONLY AND DOES NOT IMPLY THAT THE OWNER OR ENGINEER WILL INSPECT AND/OR ENFORCE SAFETY REGULATIONS. 10. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN AN R-Q-W UTILIZATION PERMIT (IF REQUIRED) FOR CONSTRUCTION OF THE PROPOSED UTILITIES. THIS PERMIT MUST BE OBTAINED BY A DULY LICENSED PLUMBING CONTRACTOR (OR CLASS A GENERAL CONTRACTOR) PRIOR TO THE START OF CONSTRUCTION. THESE PLANS AND ANY SUBSEQUENT REVISIONS TO THESE PLANS, THAT ARE ISSUED BY THE ENGINEER, WILL BE SUBJECT TO THE APPROVAL CONDITIONS OF THIS PERMIT. 11. THE GRAPHIC INFORMATION DEPICTED ON THESE PLANS HAS BEEN COMPILED TO PROPORTION BY SCALE AS ACCURATELY AS POSSIBLE. HOWEVER, DUE TO REPRODUCTIVE DISTORTION, REDUCTION, AND/OR REVISIONS, INFORMATION CONTAINED HEREIN IS NOT INTENDED TO BE SCALED FOR CONSTRUCTION PURPOSES. 12. ALL SPECIFICATIONS AND DOCUMENTS REFERENCED HEREIN SHALL BE OF THE LATEST REVISION. 13. ALL UNDERGROUND UTILITIES MUST BE IN-PLACE, TESTED AND INSPECTED PRIOR TO BASE AND SURFACE CONSTRUCTION. 14. WORK PERFORMED UNDER THIS CONTRACT SHALL INTERFACE SMOOTHLY WITH ANY OTHER WORK BEING PERFORMED ON SITE BY OTHER CONTRACTORS/SUBCONTRACTORS AND UTILITY COMPANIES. IT WILL BE NECESSARY FOR THE GENERAL CONTRACTOR TO COORDINATE AND SCHEDULE HIS/HER ACTIVITIES ACCORDINGLY. 15. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED. 16. ALL SIGNAGE MUST COMPLY WITH CITY OF WINTER PARK'S LAND DEVELOPMENT CODE CHAPTER 58, ARTICLE IV.	1. ALL DELETERIOUS SUBSURFACE MATERIAL (I.E. MUCK, PEAT, BURIED DEBRIS, ETC.) IS TO BE EXCAVATED AND REPLACED WITH SUITABLE/COMPACTED SOILS, AS DIRECTED BY THE GEOTECHNICAL ENGINEER OF RECORD OR THE OWNERS ENGINEERS. DELETERIOUS MATERIAL IS TO BE STOCKPILED OR REMOVED FROM THE SITE AS DIRECTED BY THE OWNER OR OWNER'S ENGINEER. EXCAVATED AREAS ARE TO BE BACKFILLED WITH APPROVED MATERIALS AND COMPACTED AS SHOWN ON THESE PLANS AND PER THE GEOTECHNICAL REPORT. CONTRACTOR IS RESPONSIBLE FOR ACQUIRING ANY PERMITS THAT ARE NECESSARY FOR REMOVING DELETERIOUS MATERIAL FROM THE SITE. 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXCAVATIONS AGAINST COLLAPSE AND WILL PROVIDE BRACING, SHEETING OR SHORING AS NECESSARY. DEWATERING METHODS SHALL BE USED AS REQUIRED TO KEEP TRENCHES DRY WHILE PIPE AND APPURTENANCES ARE BEING PLACED. 3. ALL NECESSARY FILL AND EMBANKMENT THAT IS PLACED DURING CONSTRUCTION SHALL CONSIST OF MATERIAL SPECIFIED BY THE OWNER'S SOILS TESTING COMPANY OR ENGINEER AND BE PLACED AND COMPACTED ACCORDING TO THESE PLANS. 4. PROPOSED SPOT ELEVATIONS REPRESENT FINISHED PAVEMENT OR GROUND SURFACE GRADES, UNLESS OTHERWISE NOTED. 5. IT MAY BE NECESSARY TO FIELD ADJUST PAVEMENT ELEVATIONS TO PRESERVE THE ROOT SYSTEMS OF TREES SHOWN TO BE SAVED. CONTRACTOR TO COORDINATE WITH OWNER'S ENGINEER PRIOR TO ANY ELEVATION CHANGES. 6. CONTRACTOR SHALL TRIM, TACK AND MATCH EXISTING PAVEMENT AT LOCATIONS WHERE NEW PAVEMENT MEETS EXISTING PAVEMENT. 7. CURBING SHALL BE PLACED AT THE EDGES OF ALL PAVEMENT, UNLESS OTHERWISE NOTED. REFER TO THE 2026-2027 EDITION OF F.D.O.T. "STANDARD PLANS" FOR DETAILS AND SPECIFICATIONS OF ALL F.D.O.T. TYPE CURB AND GUTTERS CALLED FOR IN THESE PLANS. 8. PRIOR TO CONSTRUCTING CONCRETE PAVEMENT, THE CONTRACTOR IS TO SUBMIT A PROPOSED JOINTING PATTERN TO THE SOILS ENGINEER FOR APPROVAL. 9. CONTRACTOR TO PROVIDE A 1/2" TO 1" BITUMINOUS EXPANSION JOINT MATERIAL WITH SEALER AT ABUTMENT OF CONCRETE AND OTHER MATERIALS (STRUCTURES, OTHER POURED) 10. ALL PAVEMENT MARKINGS SHALL BE MADE IN ACCORDANCE WITH F.D.O.T. STANDARD INDEX #711-001. 11. THE CONTRACTOR WILL STABILIZE BY SEED AND MULCH, SOD, OR OTHER APPROVED MATERIALS ANY DISTURBED AREAS WITHIN ONE WEEK FOLLOWING CONSTRUCTION OF THE UTILITY SYSTEMS AND PAVEMENT AREAS. CONTRACTOR SHALL MAINTAIN SUCH AREAS UNTIL FINAL ACCEPTANCE BY OWNER. CONTRACTOR TO COORDINATE WITH OWNER REGARDING TYPE OF MATERIAL, LANDSCAPING AND IRRIGATION REQUIREMENTS. 12. THE CONTRACTOR SHALL RESTORE OFF-SITE CONSTRUCTION AREAS TO EQUAL AND/OR BETTER CONDITION THAN EXISTING PRIOR TO START OF CONSTRUCTION. 13. UNLESS OTHERWISE NOTED, GRADE TO MEET EXISTING ELEVATION AT PROPERTY LINES. 14. SURVEY MONUMENTS OR BENCHMARKS, WHICH HAVE TO BE DISTURBED BY THIS WORK, SHALL BE REPLACED UPON COMPLETION OF WORK BY A REGISTERED LAND SURVEYOR AT CONTRACTORS EXPENSE. 15. FINAL GRADES SHOWN INCLUDE SOD HEIGHT. ALL AREAS SHALL BE GRADED TO DRAIN AWAY FROM THE BUILDINGS. 16. LIME ROCK AS-BUILTS ARE TO BE APPROVED BY OWNER'S ENGINEER PRIOR TO PAVING. 17. ALL WORK TO BE PERFORMED IN ACCORDANCE WITH ALL LOCAL, STATE AND JURISDICTIONAL PERMITTING AGENCIES. 18. ALL WORK SHALL COMPLY WITH THE GEOTECHNICAL REPORTS BY PROFESSIONAL SERVICE INDUSTRIES, INC.
PAVING/GRADING TESTING AND INSPECTION	
1. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING APPLICABLE TESTING WITH THE SOILS ENGINEER. TESTS WILL BE REQUIRED PURSUANT WITH THE SOILS REPORT. UPON COMPLETION OF WORK THE SOILS ENGINEER WILL SUBMIT CERTIFICATIONS TO THE OWNER AND OWNER'S ENGINEER STATING THAT ALL REQUIREMENTS HAVE BEEN MET. 2. A QUALIFIED TESTING LABORATORY SHALL PERFORM ALL TESTING NECESSARY TO ASSURE COMPLIANCE OF THE IN-PLACE MATERIALS AS REQUIRED BY THESE PLANS AND GEOTECHNICAL REPORT, THE VARIOUS AGENCIES AND PERMIT CONDITIONS. SHOULD ANY RETESTING BE REQUIRED DUE TO THE FAILURE OF ANY TESTS TO MEET THESE REQUIREMENTS, THE CONTRACTOR WILL BEAR ALL COSTS OF SAID RETESTING.	

AS BUILT

UPON COMPLETION OF CONSTRUCTION, THE CONTRACTOR SHALL FURNISH THE OWNER'S ENGINEER WITH COMPLETE "AS-BUILT" INFORMATION, CERTIFIED BY A REGISTERED LAND SURVEYOR. THIS "AS-BUILT" INFORMATION SHALL INCLUDE INVERT ELEVATIONS, LOCATIONS OF STRUCTURES FOR ALL UTILITIES INSTALLED, AS WELL AS GRADE BREAK LOCATIONS AND ELEVATIONS FOR PROPOSED CONSTRUCTION. NO ENGINEER'S CERTIFICATIONS FOR CERTIFICATE OF OCCUPANCY (C.O.) PURPOSES WILL BE MADE UNTIL THIS INFORMATION HAS BEEN RECEIVED AND ACCEPTED BY THE OWNER'S ENGINEER.

Always call 811 two full business days before you dig to have underground utilities located and marked.

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WINTER PARK DAY NURSERY EXPANSION	FLORIDA	CITY OF WINTER PARK	SHEET NUMBER C1.0	Kimley»Horn © 2026 KIMLEY-HORN AND ASSOCIATES, INC. 6876 MARWICK LANE, SUITE 350, ORLANDO, FL 32827 PHONE: 407-898-1511 WWW.KIMLEY-HORN.COM REGISTRY No. 35106	REVISIONS No.	DATE BY

GENERAL NOTES



KHA PROJECT 249930000	DATE 08/03/2026
SCALE AS SHOWN	DESIGNED BY ATM
	DRAWN BY ATM
CHECKED BY JLR	DATE: 08/03/2026

CITY OF WINTER PARK

WINTER PARK DAY NURSERY EXPANSION

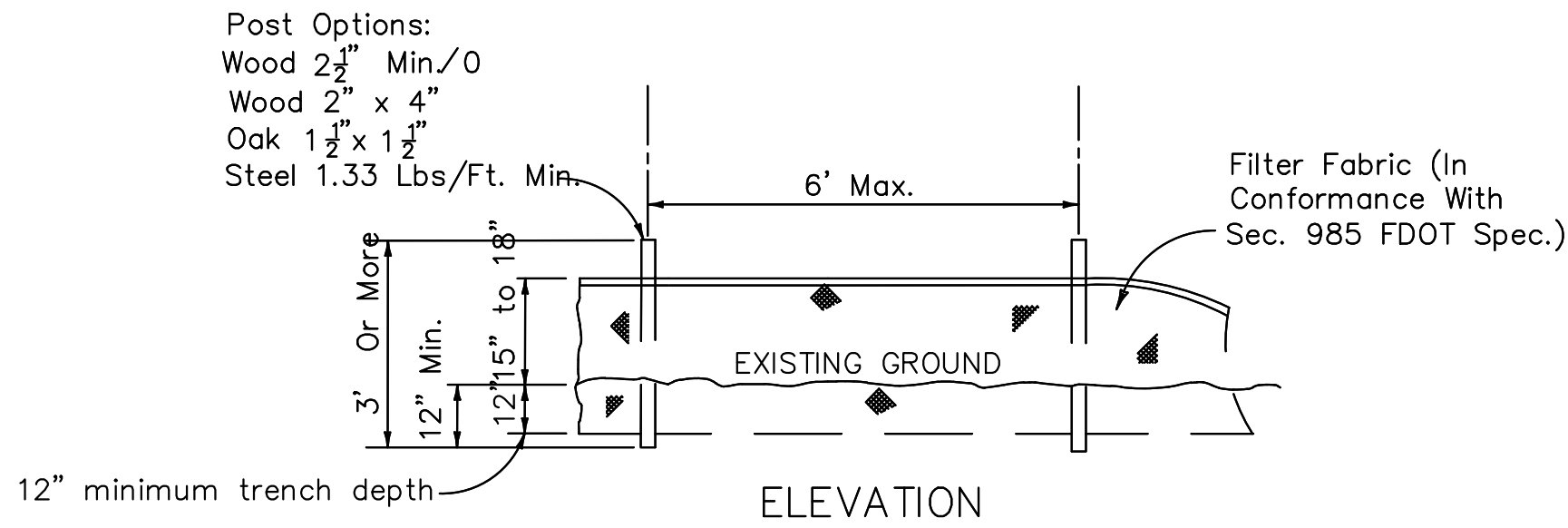
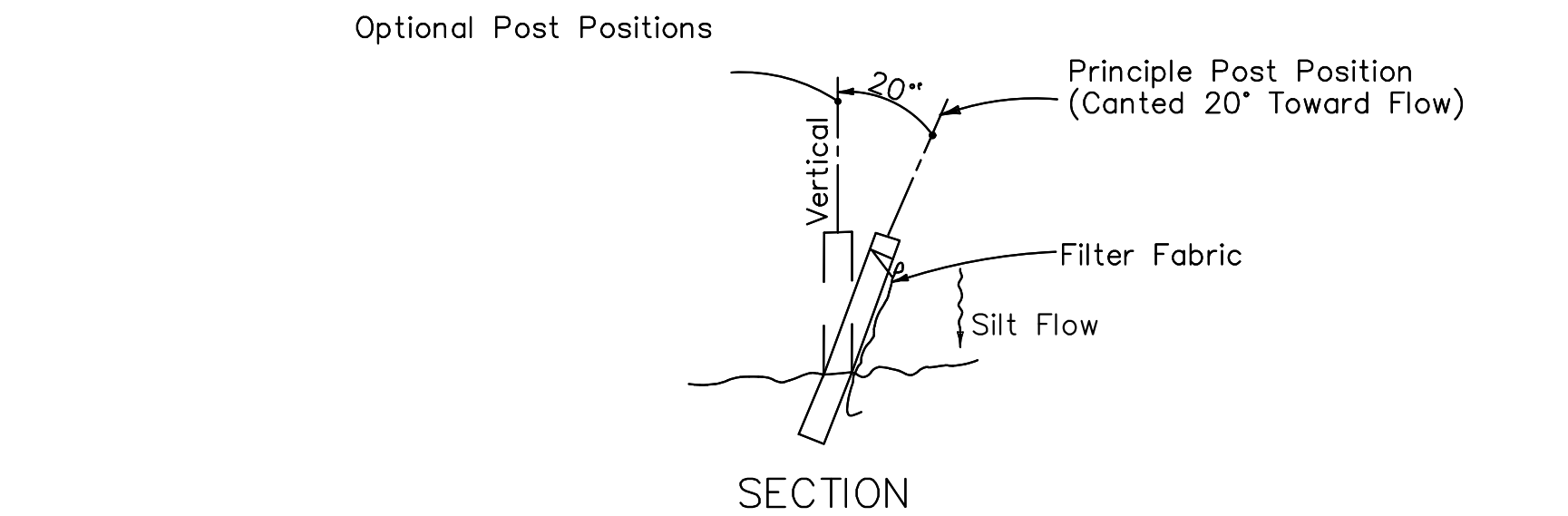
GENERAL NOTES

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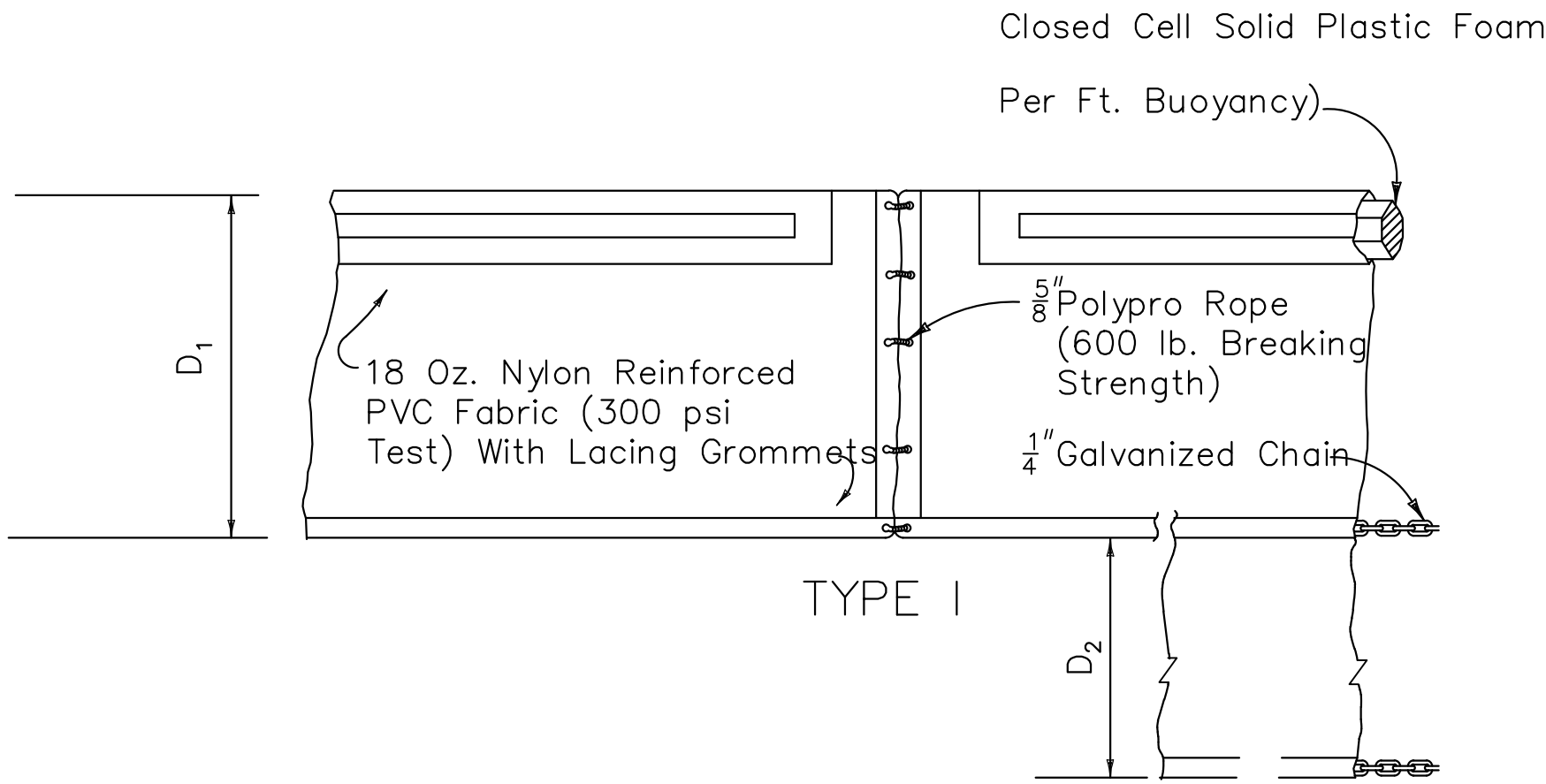
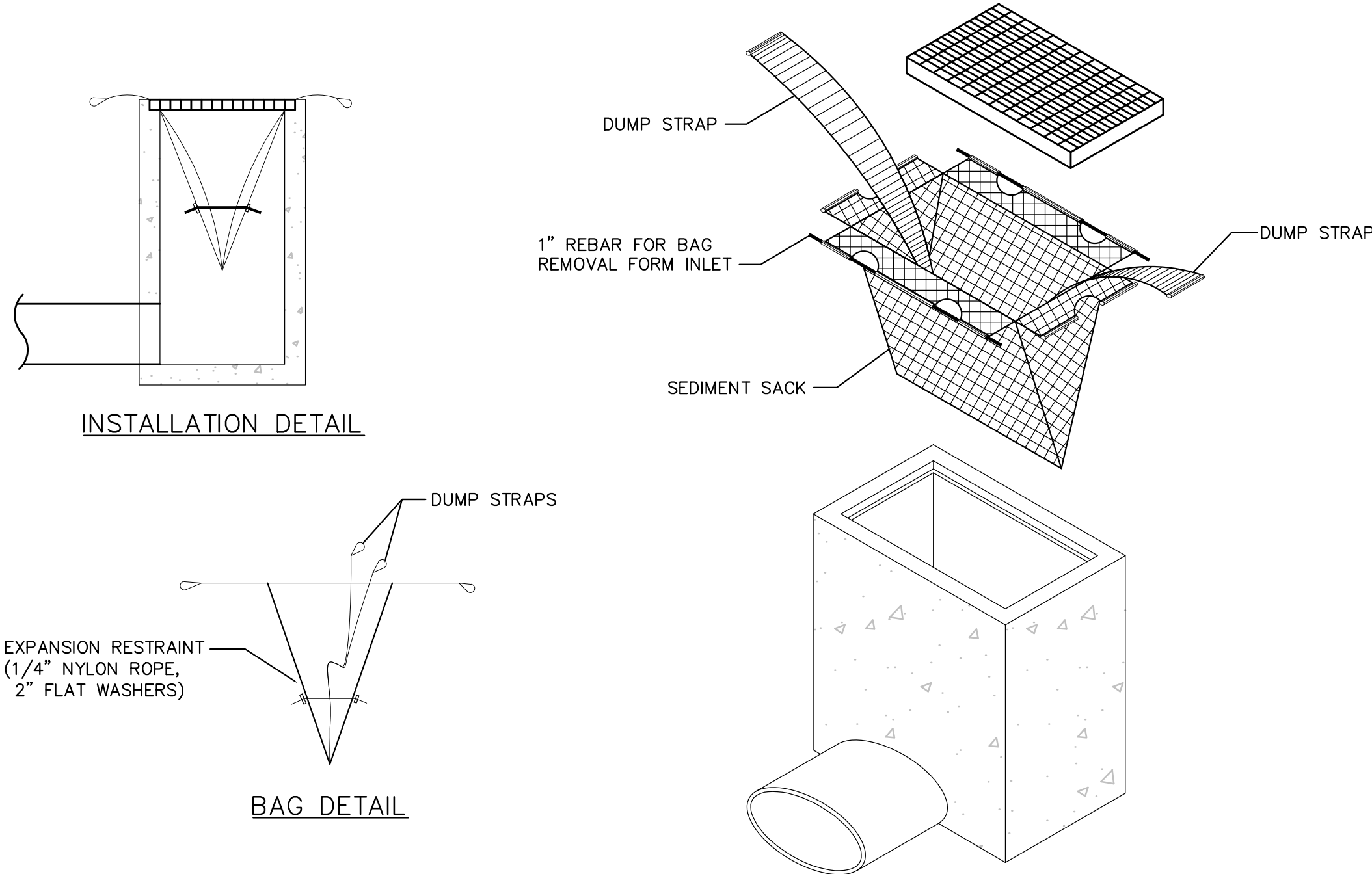
Plotted By: Temofirov, Artur Date: 11/4/2026 11:45:20am K:\n\cvi\249930000-winter_park_dog_nurses\CADD_CONST\plansets\C2.0 - SWPPP.dwg
 Layout: C2.0 This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reason of and improper reliance on this document, without written authorization and adaptation by Kinley-Horn and Associates, Inc., shall be without liability to Kinley-Horn and Associates, Inc.

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Plotted By: TerMortenson, Artur Sheet Set: Winter Park Day Nursery Expansion Layout: C2.1 July 31, 2026 11:45:23am K:\ken-civ\249930000-winter park day nursery\CADD\CONST\plan\sheet\c2.0 - SWPPP.dwg
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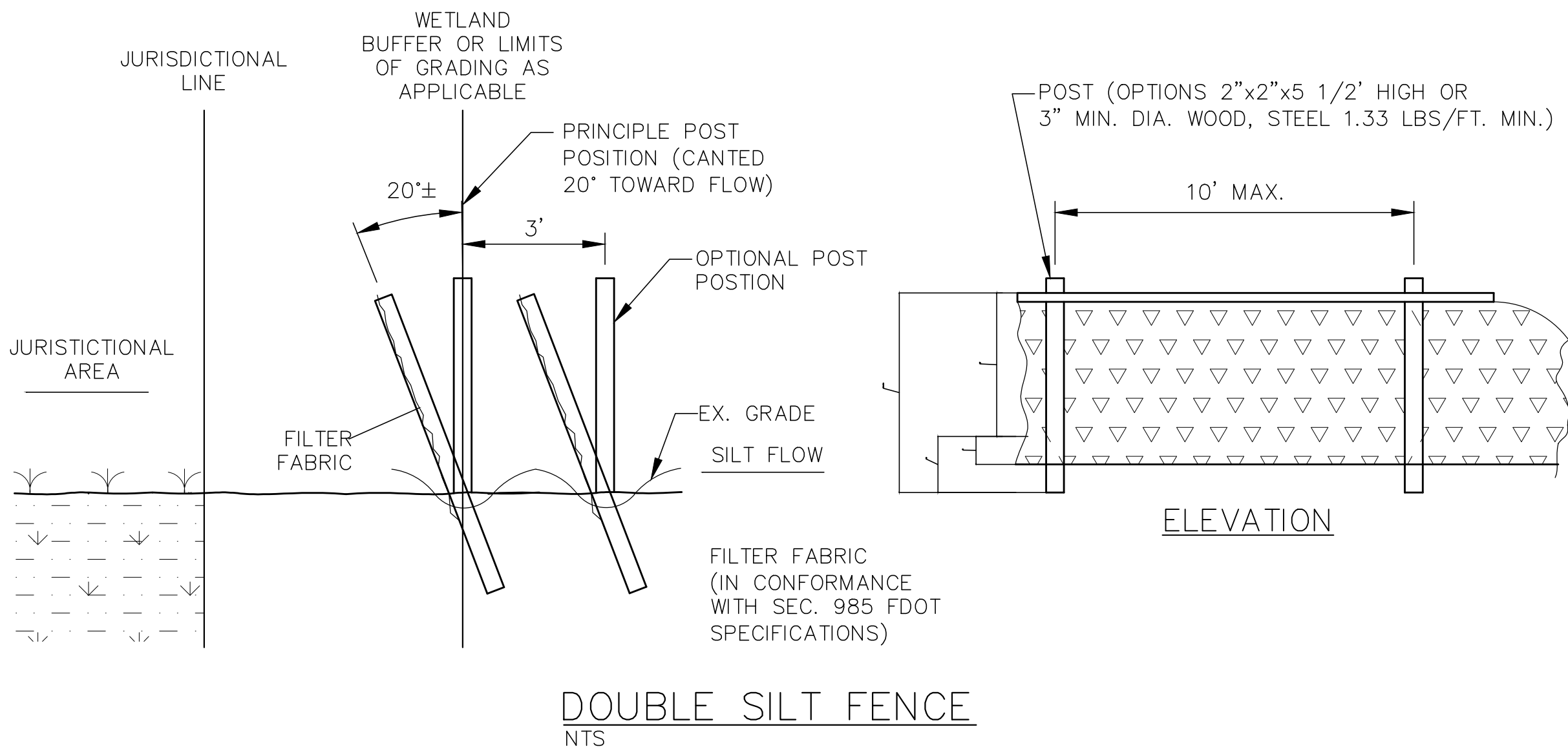
TYPE III SILT FENCE
NTS



D₁ = 5' Std. (Single Panel For Depths 5' or Less).
D₂ = 5' Std. (Additional Panel For Depths 5').
Curtain To Reach Bottom Up To Depths Of 10 Feet.
Two(2) Panels To Be Used For Depths Greater Than 10 Feet Unless Special Depth Curtains Specifically Called For In The Plans Or As Determined By The Engineer.

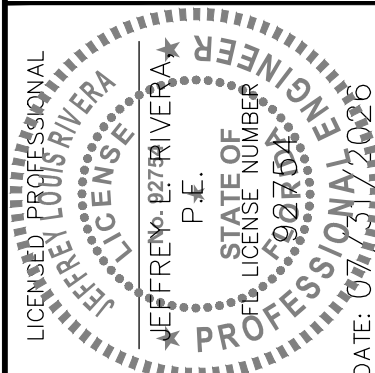
NOTICE: COMPONENTS OF TYPES I AND II MAY BE SIMILAR OR IDENTICAL TO PROPRIETARY DESIGNS. ANY INFRINGEMENT ON THE PROPRIETARY RIGHTS OF THE DESIGNER SHALL BE THE SOLE RESPONSIBILITY OF THE USER. SUBSTITUTIONS FOR TYPES I AND II SHALL BE AS APPROVED BY THE ENGINEER.

FLOATING TURBIDITY BARRIERS

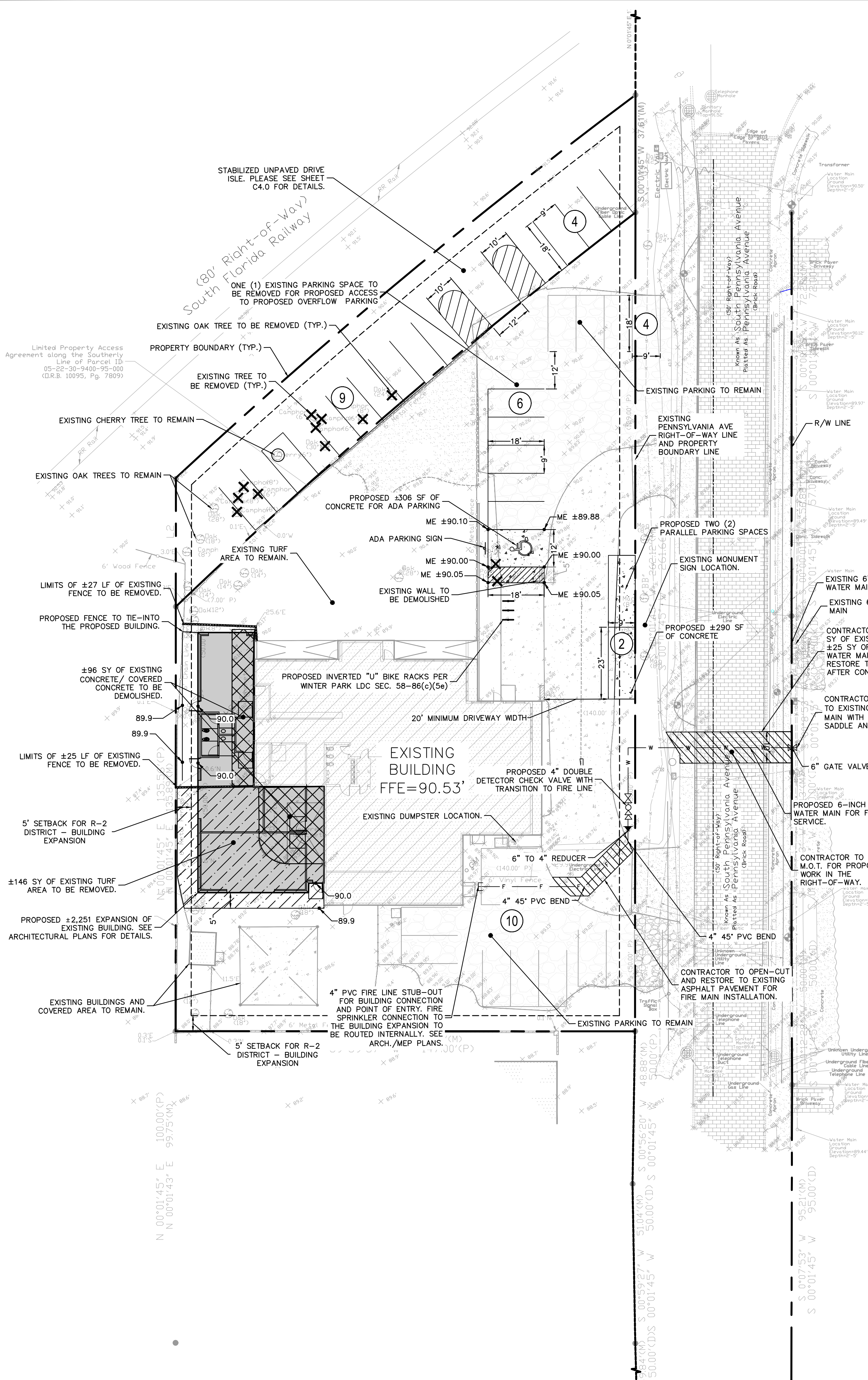


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SHEET NUMBER C2.1		WINTER PARK DAY NURSERY EXPANSION		FLORIDA		CITY OF WINTER PARK		STORMWATER POLLUTION PREVENTION PLAN DETAILS		KHA PROJECT 249930000 DATE 08/03/2026 SCALE AS SHOWN DESIGNED BY ATM DRAWN BY ATM CHECKED BY JLR				LICENSED PROFESSIONAL ENGINEER JEFFREY R. RIVERA PLA. STATE OF FLORIDA LICENSE NUMBER 12882 DATE: 06/15/2006		Kimley»Horn © 2026 KIMLEY-HORN AND ASSOCIATES, INC. 6876 MARWICK LANE, SUITE 350, ORLANDO, FL 32827 PHONE: 407-898-1511 WWW.KIMLEY-HORN.COM REGISTRY No. 35106																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																			
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Plotted By: TerMorrisson, Arthur Sheet Set: Winter Park Day Nursery Expansion L:\04\03\0 - July 31, 2026 11:45:35am K:\Users\civ\249930000-winter park day nursery\CADD\CONSTR\plansheets\C3.0 - CIVIL SITE PLAN.dwg This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



SITE DATA
TOTAL SITE AREA: 0.812 ACRES
EXISTING ZONING: R-2 (LOW DENSITY RESIDENTIAL)
FUTURE LAND USE: LOW DENSITY RESIDENTIAL
EXISTING USE: PARCEL 1: VACANT RESIDENTIAL
PARCEL 2: COMMERCIAL
PROPOSED USE: OFFICE CHILD CARE
PARCEL I.D.: PARCEL 1: 05-22-30-9400-95-000
PARCEL 2: 05-22-30-9400-95-011
PROPERTY ADDRESS: PARCEL 1: 739 S PENNSYLVANIA AVE, WINTER PARK, FL 32789-5049
PARCEL 2: 741 S PENNSYLVANIA AVE, WINTER PARK, FL 32789-5049

BUILDING SUMMARY
PROPOSED INTERIOR BUILDING AREA
EXISTING FLOOR AREA: 5,650 SF
PROPOSED FLOOR AREA: 2,249 SF
TOTAL FLOOR AREA: ±7,899 SF

PARKING
EXISTING PARKING: 21 SPACES
PROPOSED PARKING: 34 SPACES
REGULAR PARKING (9'x18') 34 SPACES
ADA PARKING: 1 SPACE
TOTAL PROPOSED PARKING: 35 SPACES

PHASING
SITE WORK WILL BE COMPLETED IN ONE (1) SINGLE PHASE.

LANDSCAPING:
ALL LANDSCAPING SHALL COMPLY WITH THE REQUIREMENTS OF CHAPTER 58, ARTICLE V OF THE CITY OF WINTER PARK LAND DEVELOPMENT CODE.

SITE LIGHTING:
ALL EXTERIOR SITE LIGHTING SHALL COMPLY WITH THE REQUIREMENTS OF CHAPTER 58, ARTICLE V OF THE CITY OF WINTER PARK LAND DEVELOPMENT CODE.

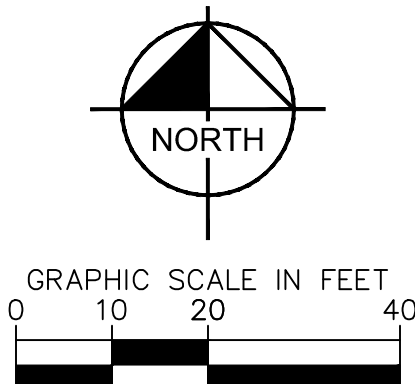
PROPOSED EXPANSION DOES NOT INCLUDE MODIFICATIONS TO THE EXISTING SITE LIGHTING

NOTES:

- SURVEY INFORMATION PROVIDED BY IRELAND & ASSOCIATES SURVEYING, INC DATED 07/09/2026 AND UTILITY LOCATES BY ECHO UTILITY ENGINEERING & SURVEY DATED 07/21/2026.
- FULL DEPTH ASPHALT REMOVAL INCLUDES BASE MATERIAL (LIMEROCK, SOIL, CEMENT, ETC.)
- CONTRACTOR IS TO VERIFY EXISTING SANITARY, STORM, WATER, ELECTRIC, PHONE, CABLE, AND NATURAL GAS SERVICES TO BUILDINGS SCHEDULED FOR DEMOLITION. SERVICES ARE TO BE ISOLATED FROM THE MAIN UTILITY SERVICE CONNECTIONS, AND CAPPED AND/OR REMOVED AS REQUIRED BY THE UTILITY PROVIDER. UTILITY SERVICES ARE TO BE ISOLATED IN A MANNER THAT WILL INSURE THAT ADJACENT PROPERTIES REMAIN CONNECTED WITHOUT EXPERIENCING AN INTERRUPTION OF SERVICE.
- CONTRACTOR TO COORDINATE WITH UTILITY COMPANY FOR DEMOLITION REQUIREMENTS OF ELECTRICAL SYSTEMS.
- ALL UNDERGROUND UTILITIES WITHIN PROJECT LIMITS SHALL BE REMOVED (WHETHER SHOWN OR NOT) CUT AND CAPPED AT PROPERTY LINE.
- ALL VEGETATION TO BE REMOVED UNLESS NOTED TO REMAIN.
- SANITARY LATERALS WILL BE PERMANENTLY ABANDONED BY CITY OF WINTER PARK. APPLICABLE FEES WILL BE ASSESSED.
- ALL SIDEWALK CLOSURES SHALL BE IN COMPLIANCE WITH FDOT INDEX 102-660.
- CONTRACTOR TO FOLLOW THE GUIDANCE AND RECOMMENDATIONS AS SPECIFIED WITHIN THE SUBSURFACE SOIL EXPLORATION GEOTECHNICAL ENGINEERING REPORT PERFORMED BY INTERTEK PSI UPDATED AUGUST 13, 2025.

UTILITY NOTES:

- CONTRACTOR TO VERIFY LOCATION OF EXISTING UTILITIES FOR CONSISTENCY WITH THE CONSTRUCTION PLANS. IF A CONSIDERABLE DISCREPANCY IS FOUND, CONTACT OWNER/ENGINEER PRIOR TO ANY PROPOSED CONSTRUCTION.
- ALL PRIVATE FIRE SERVICE MAINS LOCATED DOWNSTREAM OF THE POINT OF SERVICE SHALL BE INSTALLED BY A QUALIFIED AND LICENSED CONTRACTOR. CONSTRUCTION AND MATERIALS SHALL COMPLY WITH ALL APPLICABLE FIRE CODES. CONTRACTOR TO VERIFY REQUIREMENTS BEFORE START OF CONSTRUCTION.
- ALL ONSITE UTILITIES SHALL BE PRIVATELY OWNED AND MAINTAINED.
- MAINTAIN A MINIMUM OF 3'-FT OF COVER OVER ALL PROPOSED WATER AND WASTEWATER LINES.
- ALL UTILITIES SHALL BE IN ACCORDANCE WITH CITY OF WINTER PARK UTILITIES STANDARDS AND CONSTRUCTION SPECIFICATIONS.
- REFER TO PLUMBING & ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION REGARDING BUILDING UTILITIES AND REQUIRED CONDUITS/SLEEVES.
- CONTRACTOR TO COORDINATE TRANSFORMER LOCATIONS AND ELECTRIC SERVICES WITH POWER COMPANY AND OWNER. TRANSFORMERS SHOWN ARE FOR INFORMATIONAL PURPOSES ONLY. DESIGNED BY OTHERS.
- CONTRACTOR TO COORDINATE COMMUNICATION BOX LOCATIONS AND SERVICE LINES WITH SERVICE PROVIDER AND OWNER.
- CONTRACTOR TO CONFIRM WITH CITY OF WINTER PARK IF 8" WET TAP OF EXISTING 8" WATER MAIN IS ACCEPTABLE.

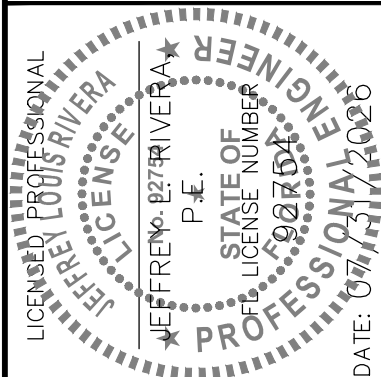


LEGEND

- PROPERTY BOUNDARY
- F — PROPOSED FIRE LINE
- W — PROPOSED WATER LINE
- W — EXISTING WATER LINE
- PROPOSED CONCRETE
- 14 PROPOSED PARKING COUNT
- X EXISTING TREES TO BE REMOVED

NO.	REVISIONS	DATE	BY

Kimley»Horn
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6876 MARWICK LANE, SUITE 350, ORLANDO, FL 32827
PHONE: 407-898-1511
WWW.KIMLEY-HORN.COM REGISTRY No. 35106



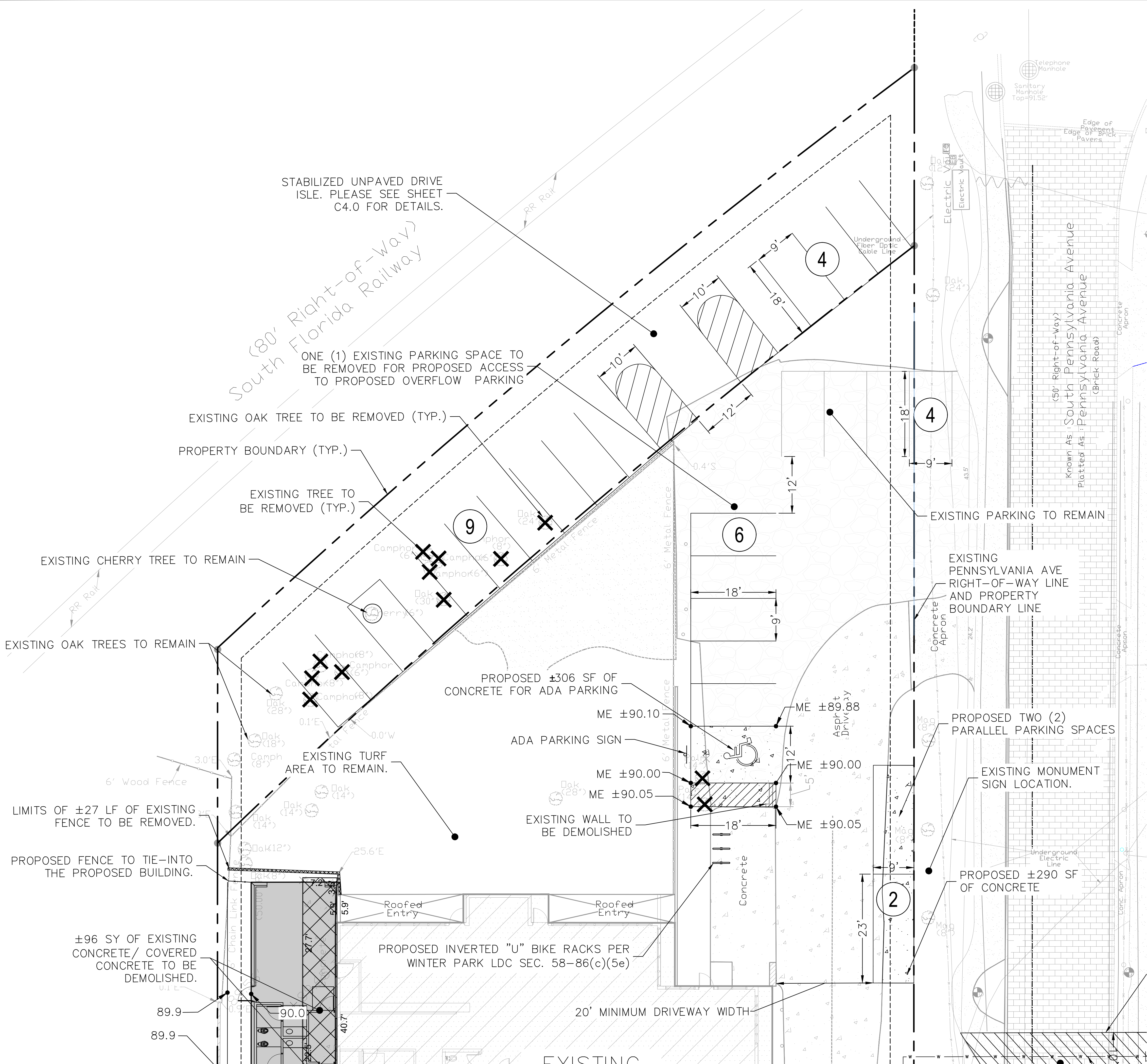
KHA PROJECT	DATE	SCALE	DESIGNED BY	ATM	DRAWN BY	ATM	CHECKED BY	JLR
249930000	08/03/2026	AS SHOWN						

SITE AND UTILITY PLAN

WINTER PARK DAY NURSERY EXPANSION
CITY OF WINTER PARK FLORIDA
SHEET NUMBER **C3.0**

Always call 811 two full business days before you dig to have underground utilities located and marked.
Sunshine811.com

Plotted By: terMorrisson, Artur Sheet Set: Winter Park Day Nursery Expansion Layout: C3.1 July 31, 2026 11:45:37am K:\V\K\civil\249930000-winter park day nursery\CADD\CONST\plan\sheet\c3.1 - CIVIL SITE PLAN.dwg
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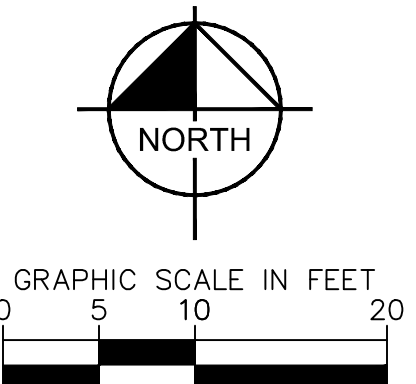
LEGEND

- PROPERTY BOUNDARY
- F — PROPOSED FIRE LINE
- W — PROPOSED WATER LINE
- W — EXISTING WATER LINE
- PROPOSED CONCRETE
- 14 PROPOSED PARKING COUNT
- X EXISTING TREES TO BE REMOVED

PARKING	
EXISTING PARKING:	21 SPACES
PROPOSED PARKING:	
REGULAR PARKING (9'X18')	34 SPACES
ADA PARKING:	1 SPACES
TOTAL PROPOSED PARKING:	35 SPACES

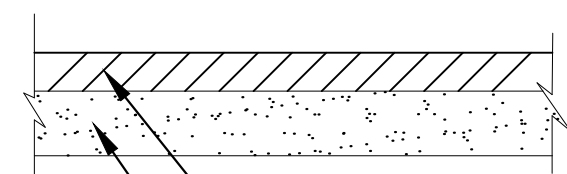
Always call 811 two full business days before you dig to have underground utilities located and marked.

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WINTER PARK DAY NURSERY EXPANSION		OVERFLOW PARKING LAYOUT	
SHEET NUMBER C3.1		CITY OF WINTER PARK FLORIDA	
KHA PROJECT 249930000		DATE 08/03/2026	
SCALE AS SHOWN		DESIGNED BY ATM	
DRAWN BY ATM		CHECKED BY JLR	
KIMLEY-HORN AND ASSOCIATES, INC. 6876 MARWICK LANE, SUITE 350, ORLANDO, FL 32827 PHONE: 407-898-1511 WWW.KIMLEY-HORN.COM		PROFESSIONAL ENGINEER JEFFREY RIVERA, P.E. STATE OF FLORIDA LICENSE NUMBER 12883 DATE: 08/03/2026	
Kimley»Horn		REVISIONS	
		No.	BY
		DATE	

Plotted By: TerMartirosyan, Artur Sheet Set: Winter Park Day Nursery Expansion Layout: C4.0 Date: 11/25/2026 11:45:48am K:\kko_civil\249930000-winter park day nursery\CADD\plansheets\C4.0 - CONSTRUCTION DETAILS.dwg
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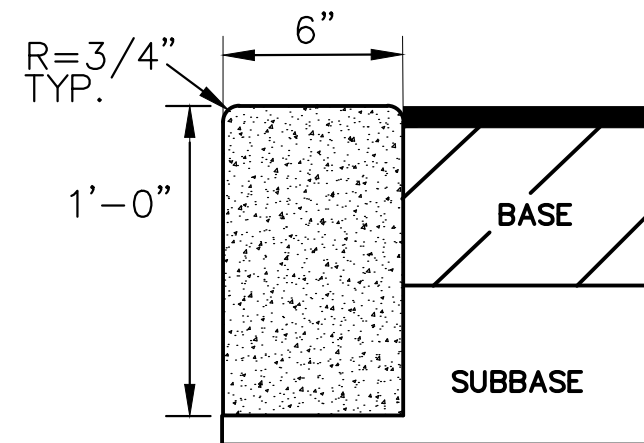


6" RECYCLED CONCRETE AGGREGATE ("CRUSH-CRETE") WITH A MINIMUM LIMEROCK-BARING RATIO (LBR) OF 150 AND SHOULD BE COMPACTED TO 100 PERCENT OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY (ASTM D 1557) VALUE.

12" STABILIZED SUBGRADE WITH A MINIMUM LBR OF 40 AND BE COMPACTED TO 98 PERCENT OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY (ASTM D 1557) VALUE.

PAVEMENT SECTION FOR STABILIZED
OVERFLOW PARKING AREA

NTS

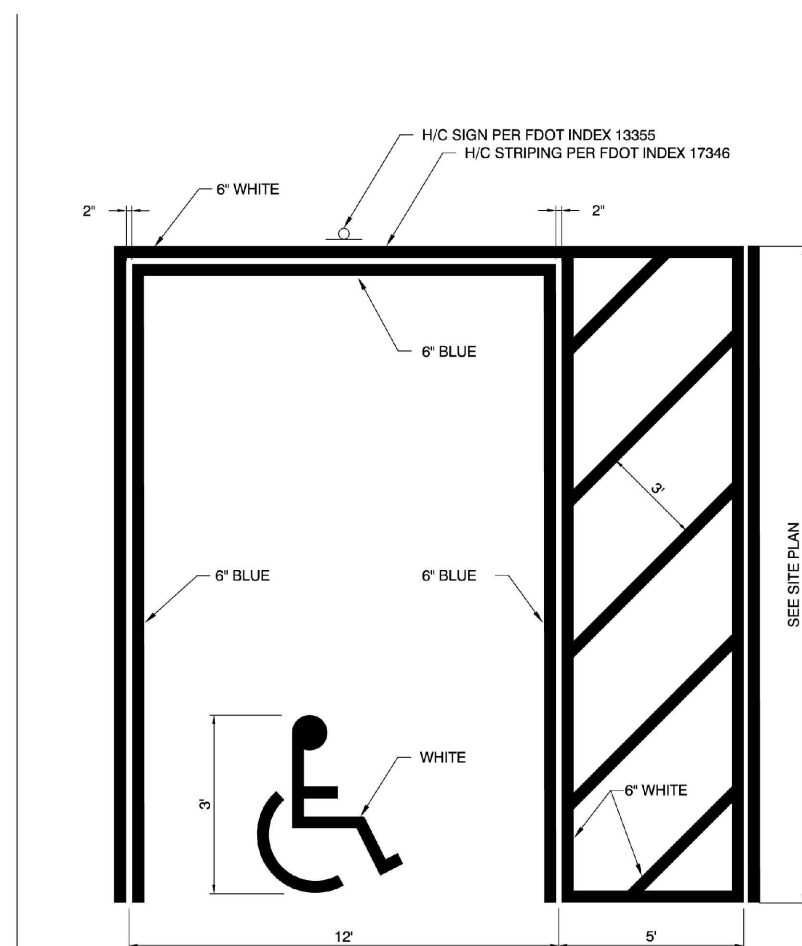


RIBBON CURB

NTS

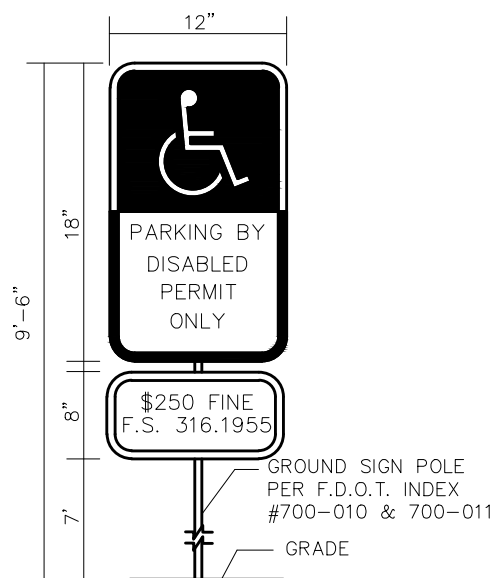
NOTES:

1. ALL CURBS TO BE CONSTRUCTED OF 28 DAY, 3000 P.S.I. CONCRETE
2. 1/2" PRE-MOLDED EXPANSION JOINT REQUIRED EVERY 500',
CONSTRUCTION JOINT REQUIRED EVERY 10' MAXIMUM (4" MINIMUM).
3. 6" SUBBASE TO BE COMPACTED AND TESTED TO 98% DENSITY BASED ON AASHTO T-180
MODIFIED PROCTOR TEST AND SHALL BE STABILIZED TO A MINIMUM L.B.R. 40.
4. IN NO INSTANCE SHALL EXTRUDED CURBS (DEFINED AS HEADER-TYPE CURBS
INSTALLED DIRECTLY ON TOP OF PAVEMENT) BE PERMITTED.



HANDICAP PARKING PAVEMENT MARKING

NTS

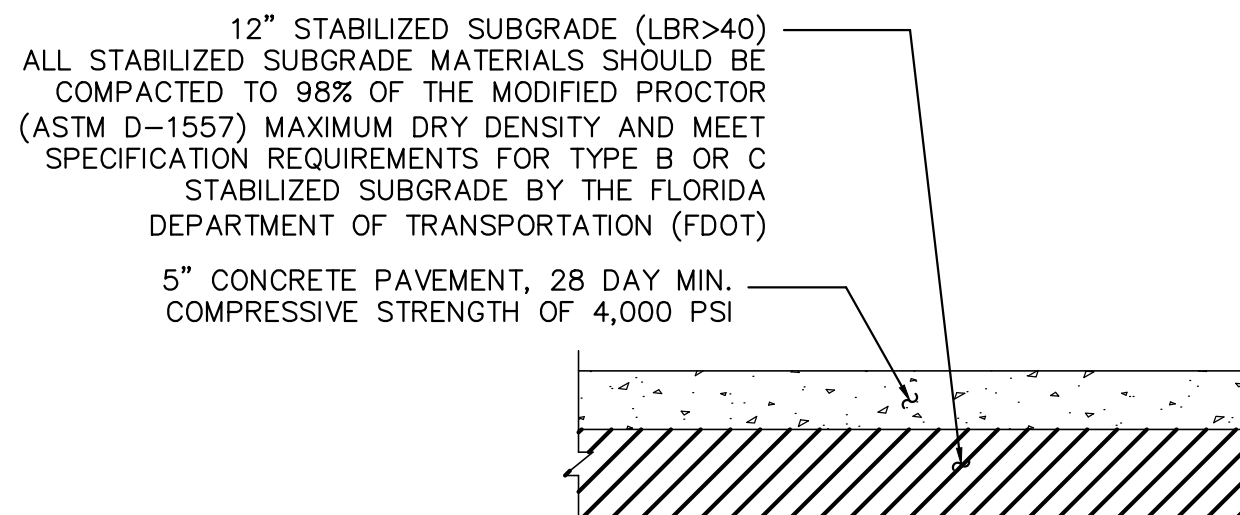


HANDICAP SIGN DETAIL

N.T.S.

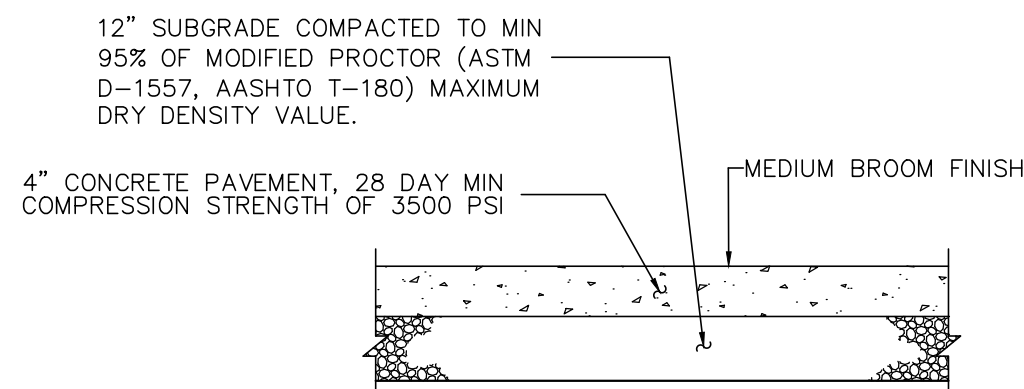
NOTES:

1. ALL LETTERS ARE 1" SERIES "C" PER MUTCD.
2. TOP PORTION OF SIGN SHALL HAVE REFLECTORIZED (ENGINEERING GRADE) BLUE BACKGROUND WITH WHITE REFLECTORIZED LEGEND A BORDER.
3. BOTTOM PORTION OF SIGN SHALL HAVE A REFLECTORIZED (ENGINEERING GRADE) WHITE BACKGROUND WITH BLACK OPAQUE LEGEND AND BORDER.
4. FINE NOTIFICATION SIGN SHALL HAVE A REFLECTORIZED (ENGINEERING GRADE) WHITE BACKGROUND WITH BLACK OPAQUE LEGEND AND BORDER.
5. ONE (1) SIGN REQUIRED FOR EACH PARKING SPACE.
6. INSTALLATION HEIGHT OF SIGN SHALL BE IN ACCORDANCE WITH SECTION 24-23 OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).



LIGHT DUTY CONCRETE PAVEMENT DETAIL

NTS



CONCRETE SIDEWALK DETAIL

N.T.S

Always call 811 two full business days before you dig to have underground utilities located and marked.

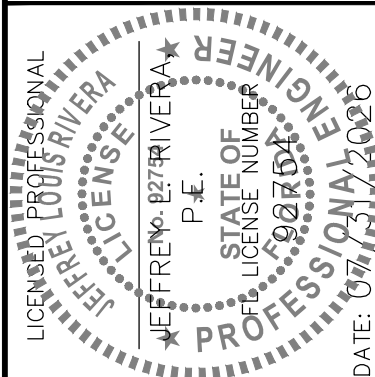
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[illegible]

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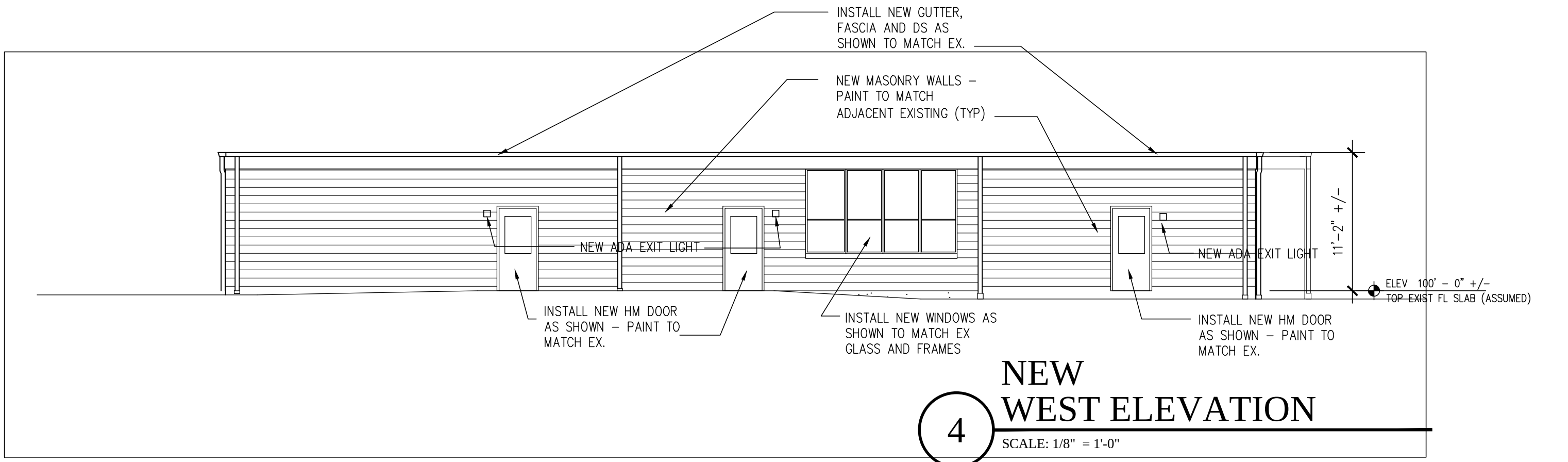
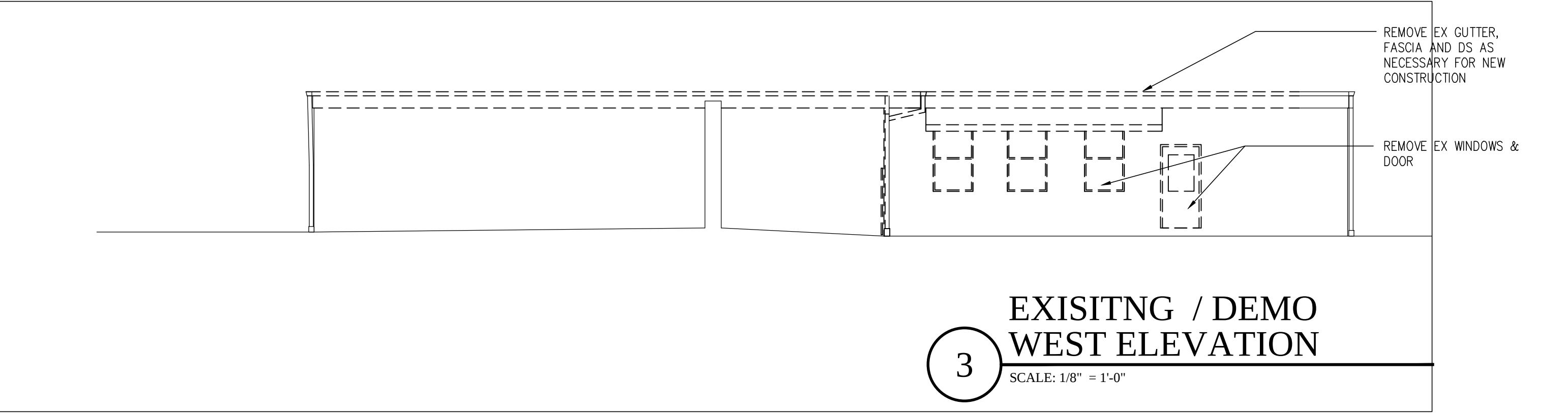
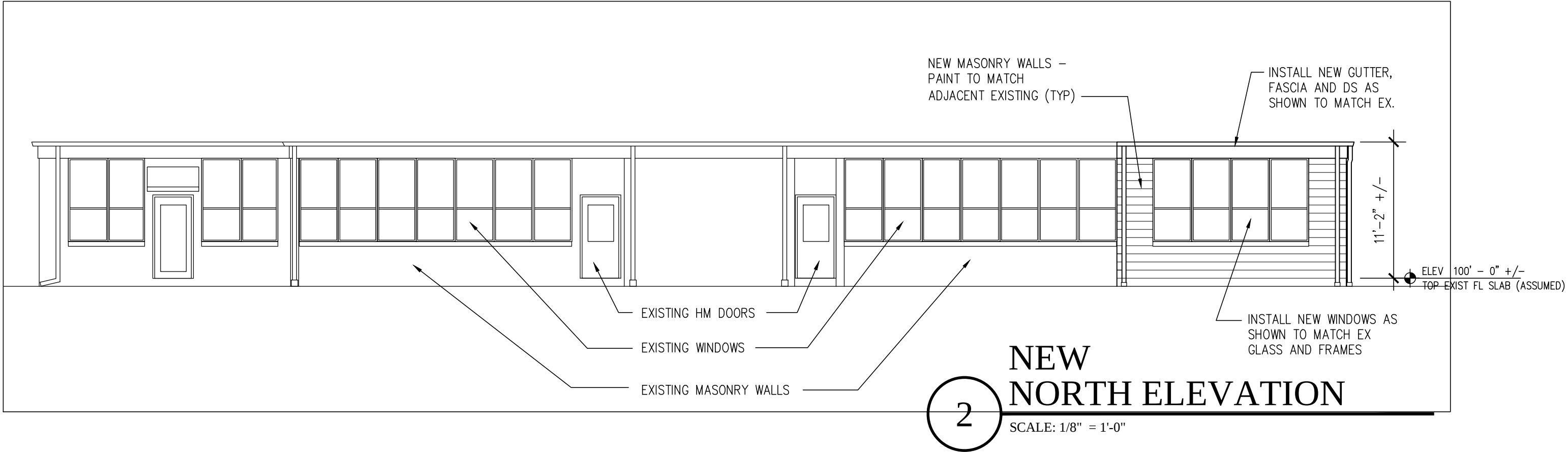
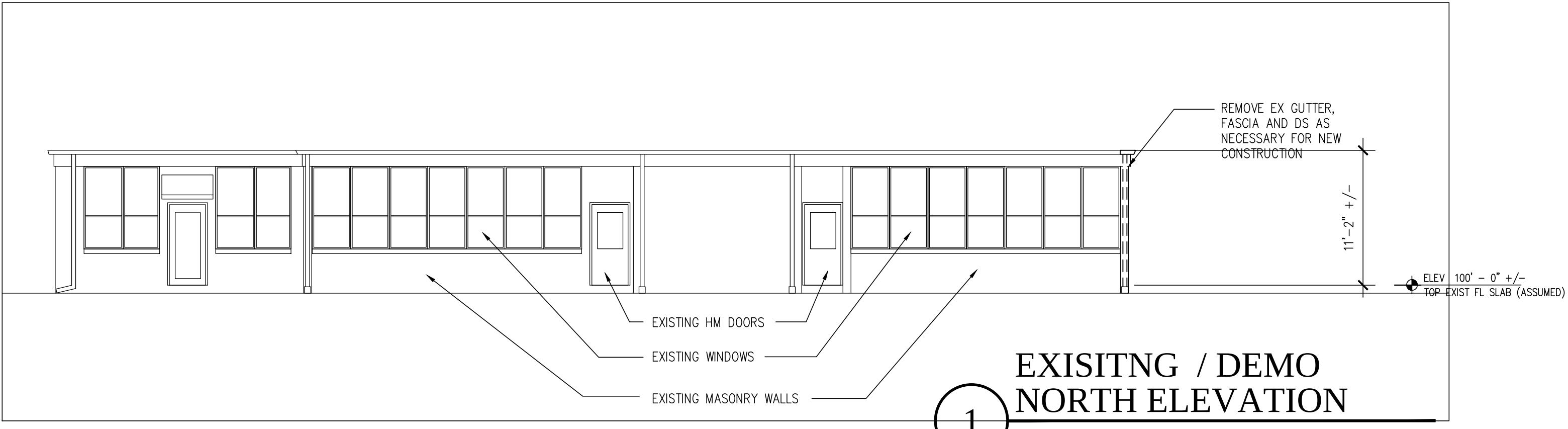
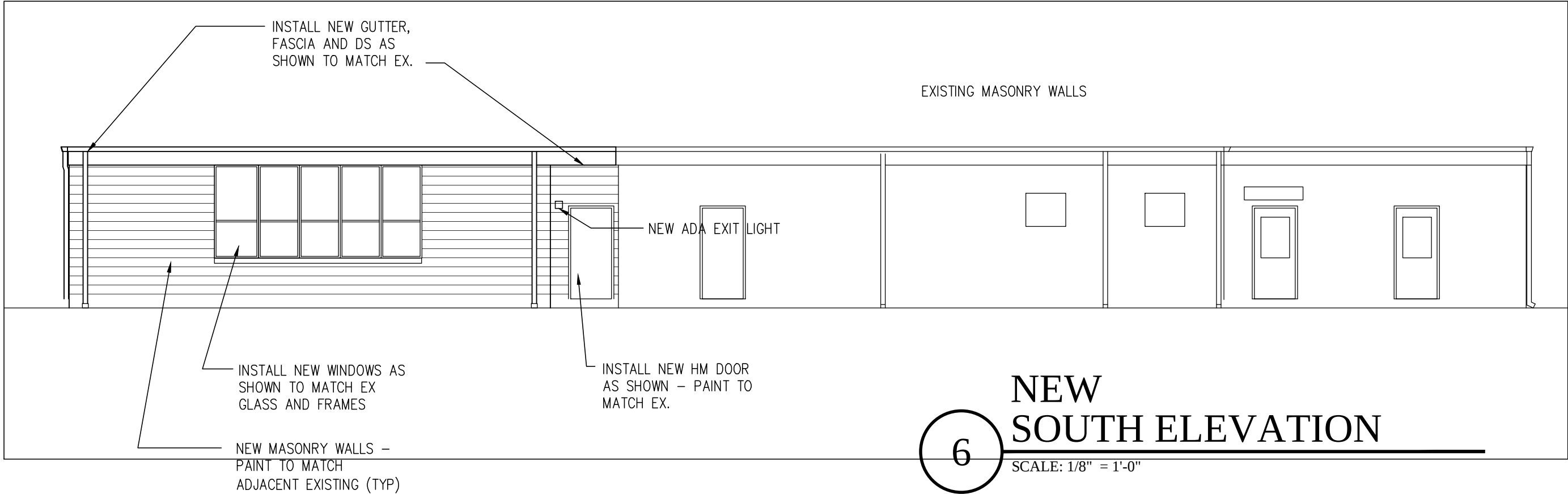
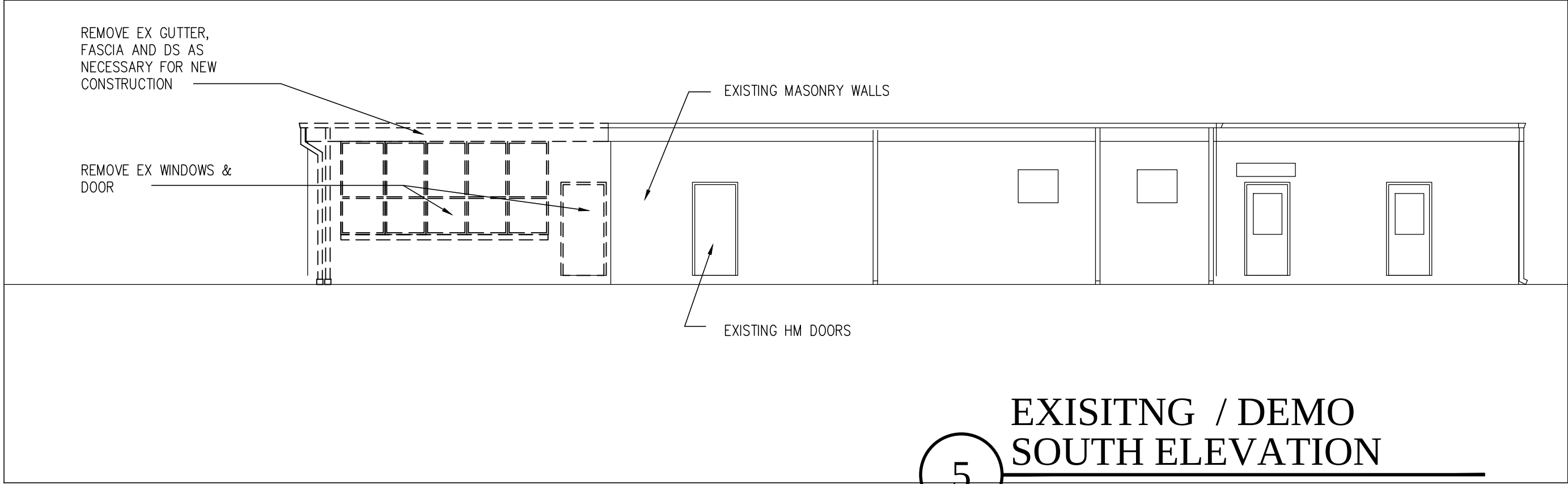
KHA PROJECT	DATE
249930000	08/03/2026
SCALE AS SHOWN	DESIGNED BY ATM
DRAWN BY ATM	CHECKED BY JLR

CONSTRUCTION DETAILS

WINTER PARK DAY NURSERY EXPANSION

CITY OF WINTER PARK
FLORIDA

SHEET NUMBER
C4.0

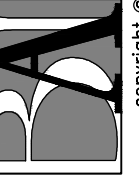


Rev	Date	Description	By

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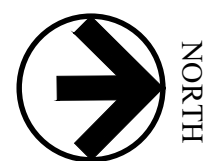
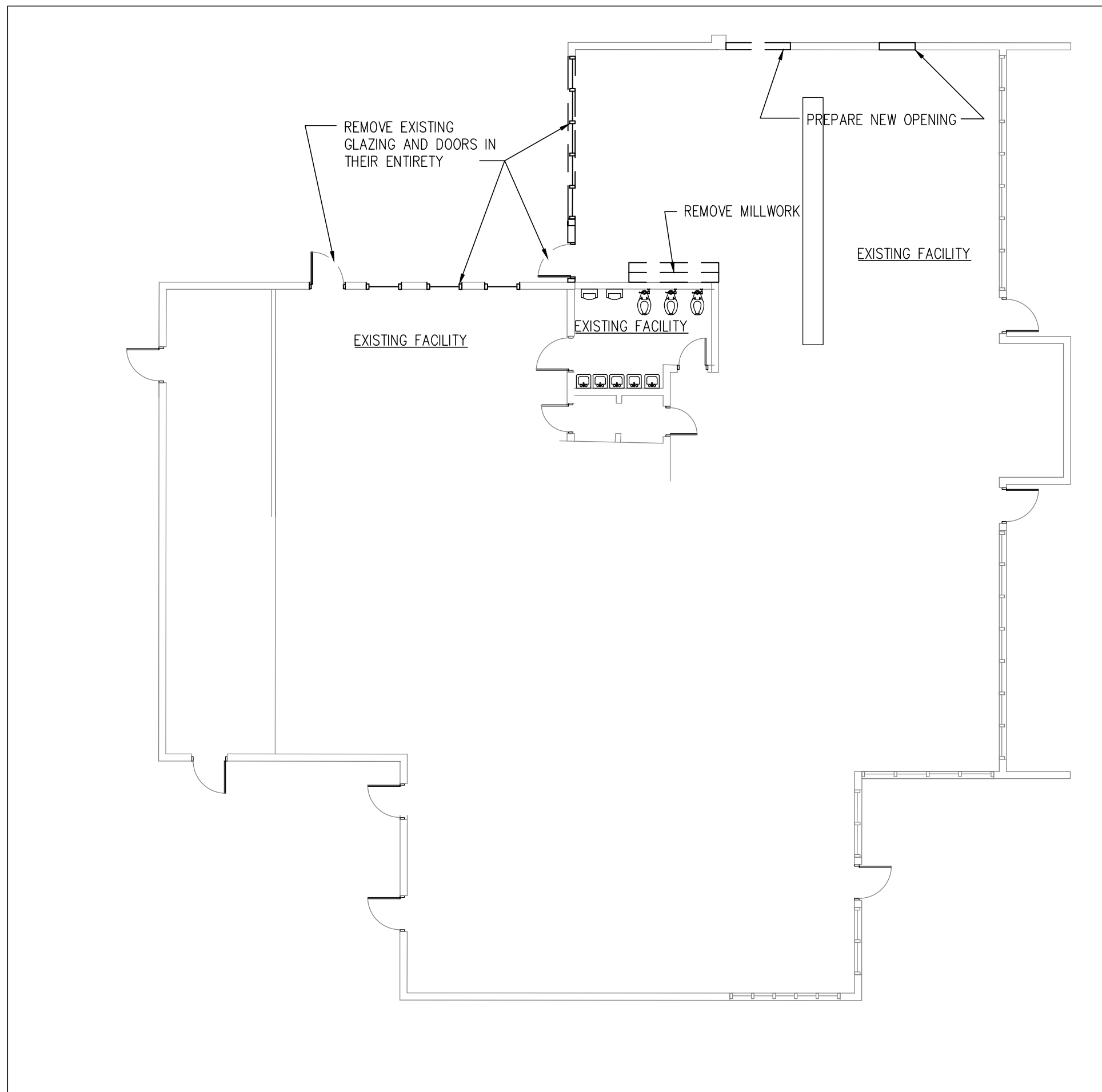
MEP ENGINEER

STRUCTURAL ENGINEER

ARCHITECT

BLANKENSHIP ARCHITECTS INCORPORATED
AA26001666 407.331.8868
541 LAKE CATHERINE DRIVE MAITLAND, FL 32751
Nelson Blankenship, AIA nelson@blankenshiparchitects.com

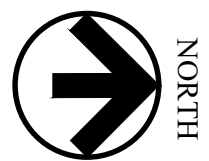
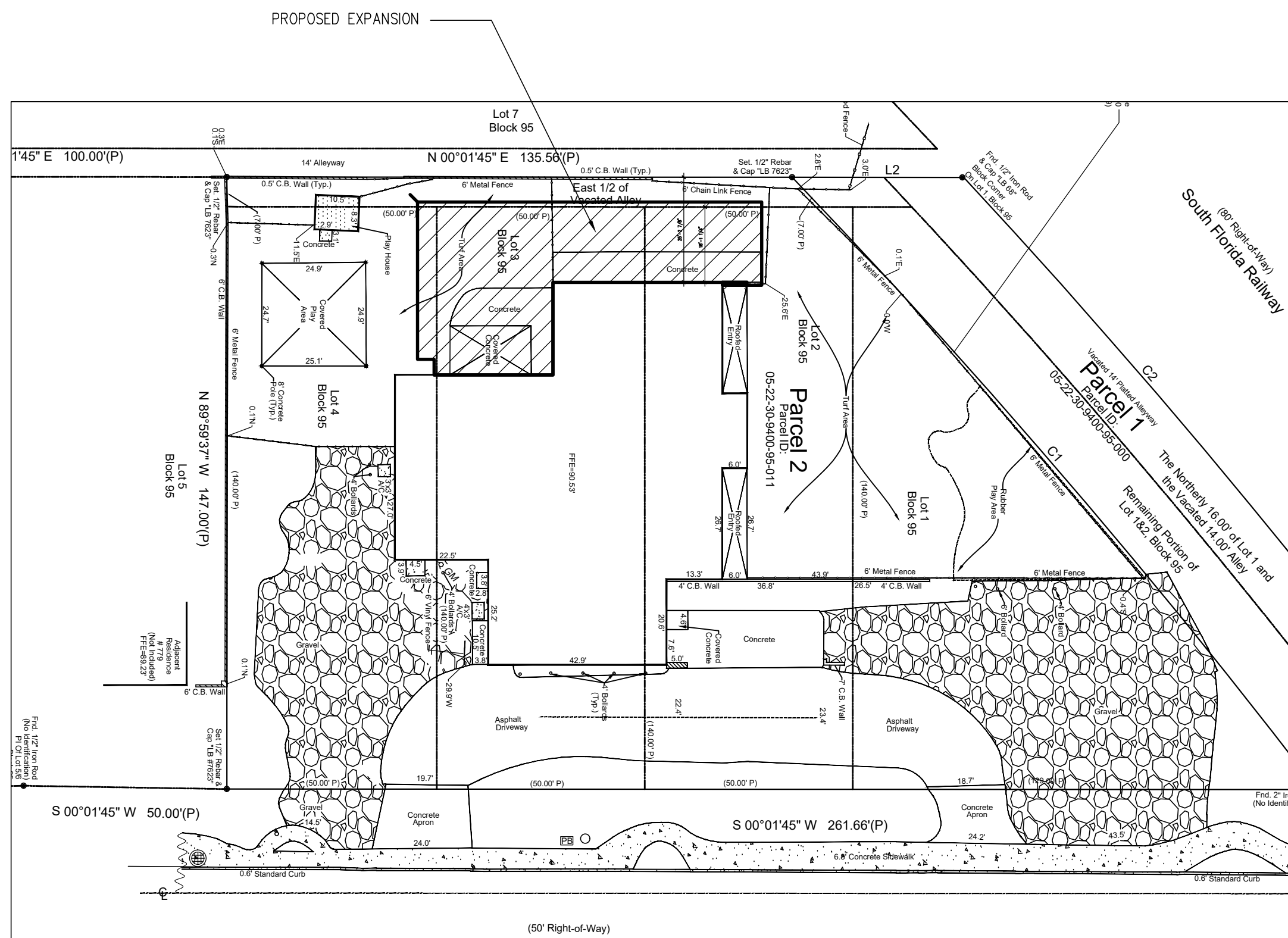
FACILITY RENOVATION WINTER PARK DAY NURSERY	741 S Pennsylvania Ave Winter Park, Florida 32789
EX / NEW ELEVATIONS	

DRAWN FJR	CHECKED NBB
PROJECT NUMBER 2604	
DRAWING NUMBER A201	
DATE 07-28-26	



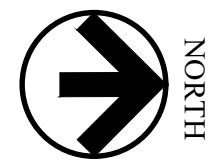
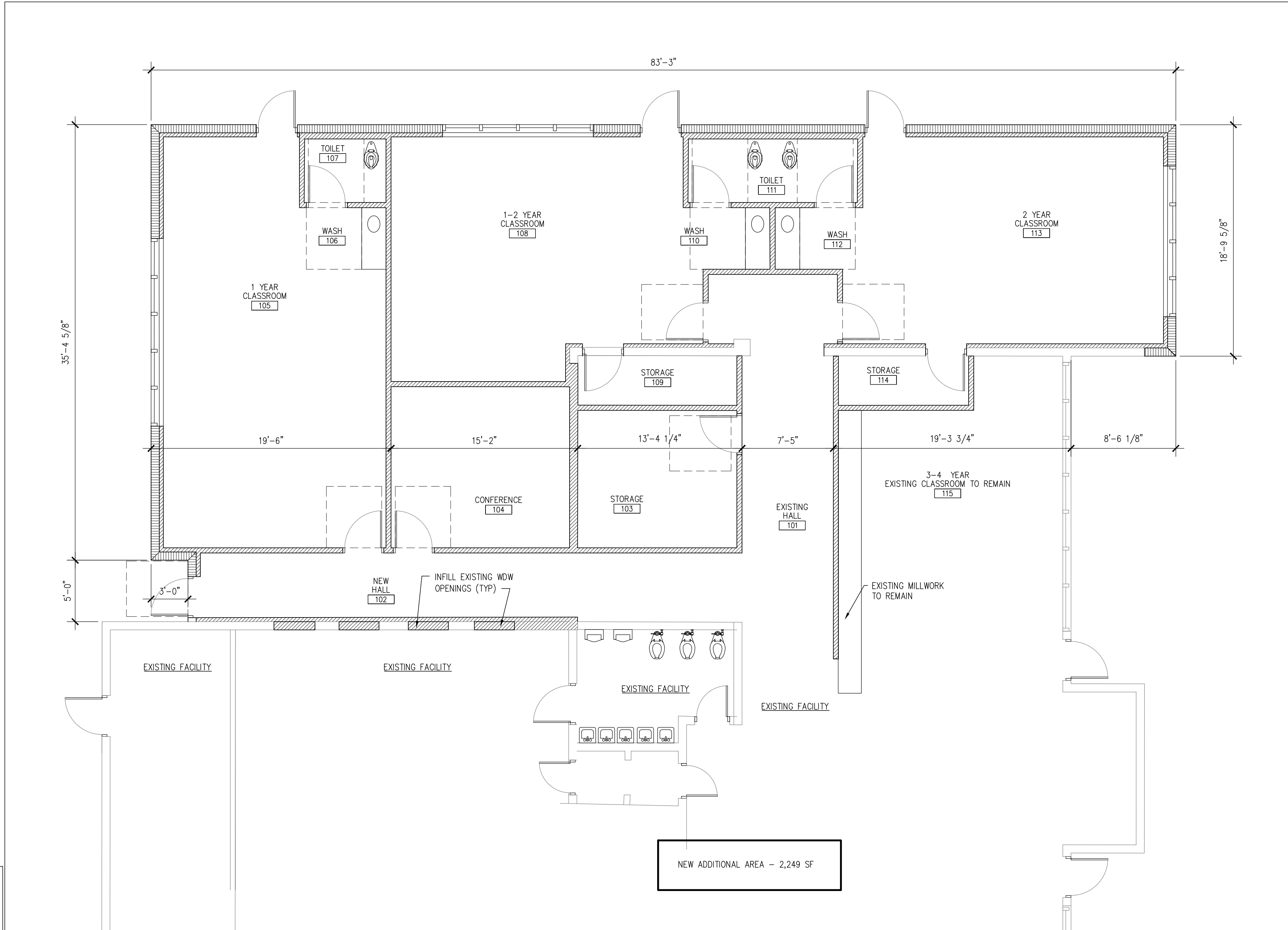
EXISTING DEMOLITION FLOOR PLAN

SCALE: 1/4" = 1'-0"



PROPOSED SITE PLAN

SCALE: NONE



NEW ADDITION FLOOR PLAN

SCALE: 1/4" = 1'-0"

Rev	Date	Description	By

MEP ENGINEER

STRUCTURAL ENGINEER

ARCHITECT



BLANKENSHIP ARCHITECTS INCORPORATED
407331.8868
541 LAKE CATHERINE DRIVE
MAITLAND, FL 32751
Nelson Blankenship, AIA

FACILITY RENOVATION
WINTER PARK DAY NURSERY
741 S Pennsylvania Ave
Winter Park, Florida 32789
EX & NEW FLOOR PLANS

DRAWN FJR	CHECKED NBB
PROJECT NUMBER 2604	
DRAWING NUMBER A101	
DATE 07-28-26	



Historic Preservation Board

agenda item 6.a

item type

Non-Action Items

meeting date

September 9, 2026

prepared by

Allison McGillis, Director of Planning and Zoning

approved by

Allison McGillis, Director of Planning and Zoning

subject

Discuss demolition of existing home within the College Quarter Historic District located at 726 Maryland Avenue.

motion | recommendation**background**

The property at 726 Maryland Avenue is identified as Florida Master Site File No. OR9350 and is a contributing property within the College Quarter Historic District. The City's 2013 Historic Resources Survey and the College Quarter Historic District inventory identify the house as having been built in 1938 and describe its architectural style as Craftsman/Eclectic. The inventory also calls out the property's "unique rounded siding," noting that it is evocative of a log cabin. Research completed as part of this review indicates that the property was developed as part of Trotter's Replat, which was created from former Huntington family grove lands in the 1920s. There is no evidence that the existing house is an early historic log cabin or that it predates the residential development of the neighborhood. Instead, the available documentation suggests that the 1938 residence was intentionally designed to have a rustic, log cabin like character.

The proposed demolition would result in the loss of a contributing historic resource. However, the available documentation does not indicate that the house has exceptional individual architectural or historical significance, or that it has a significant connection to a notable architect, person, or event. The proposed replacement is envisioned as a Florida Vernacular cottage with traditional residential features, including a prominent front porch, simple massing, pitched roof forms, wood siding, shutters, and a strong connection to the surrounding landscape. Based on the submitted concept, the new residence would maintain the established scale and residential character of the College Quarter Historic District. While the demolition would result in the loss of a contributing resource, staff finds that the proposed replacement has the potential to fit comfortably within the district and maintain its overall historic

character.

alternatives | other considerations

fiscal impact

attachments

1. Non-Action Item - 726_Maryland_HP_B_Presentation



COLLEGE QUARTER HISTORIC DISTRICT — WINTER PARK, FL

726 Maryland Avenue



EXISTING CONDITIONS

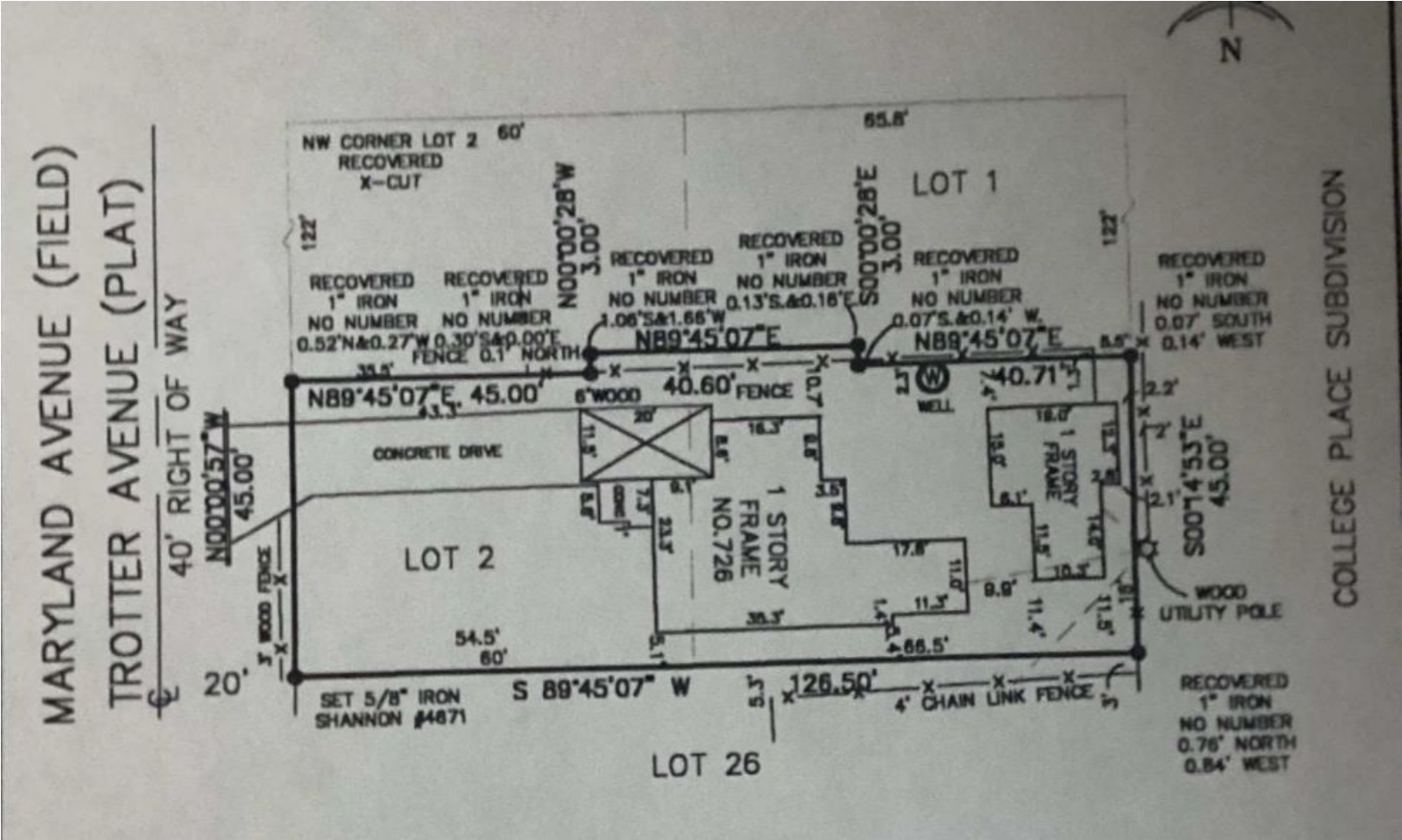
- Existing structure: 1-story wood-frame house, built mid-20th century, clad in log-profile wood siding
- Structural rot throughout the siding and at the foundation line
- Roof failure across the main structure, currently under a temporary tarp
- Active vine and vegetation growth into the wall assembly

The cost to remediate these conditions exceeds the value of the existing building. We're proposing full demolition of the house and rear outbuildings, replaced with a Florida Vernacular cottage suited to the block.



Roof failure, siding rot, and vine intrusion documented throughout

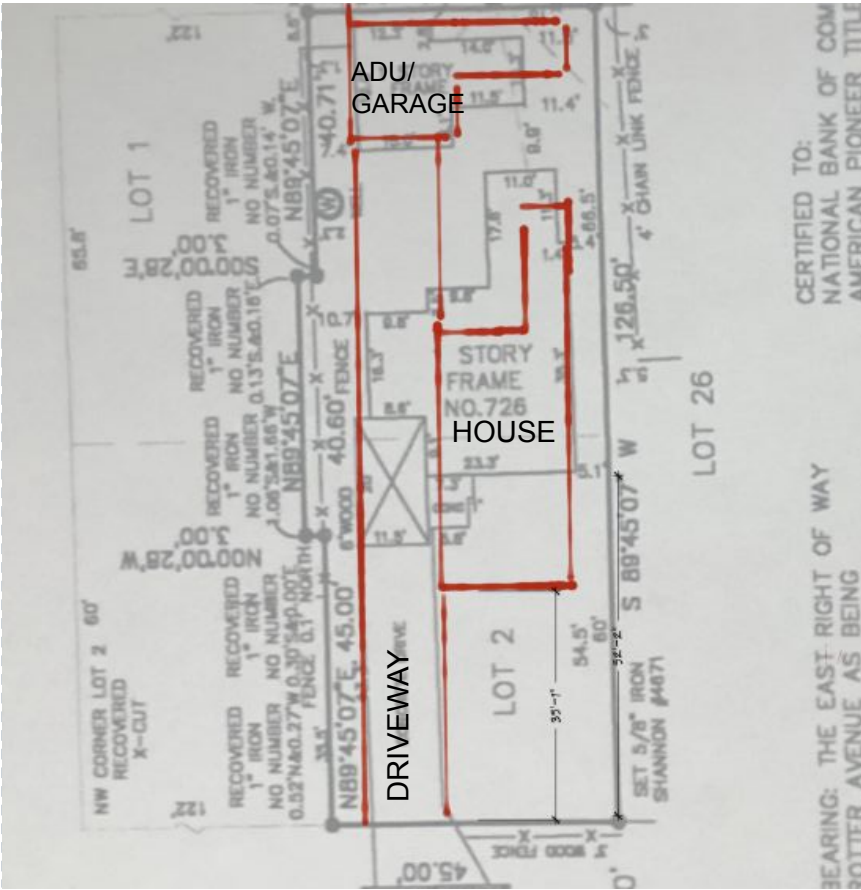
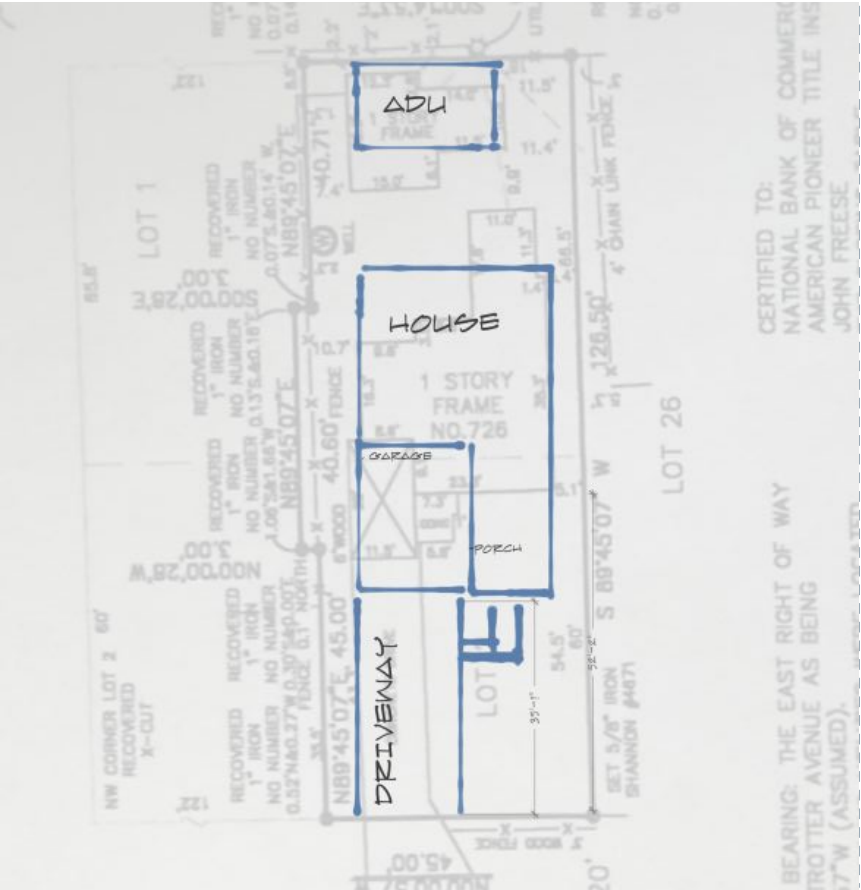
1970 boundary survey



Lot 2, College Place Subdivision (Trotter's Replat) · Plat Book J, Page 58, Orange County · 45' frontage on Maryland Avenue, approx. 122' deep along Trotter Avenue · Flood Zone C per FIRM Panel 120188 0005 B · Survey by Engineering & Environmental Design, Inc.

Proposed new layout

New single-family cottage in the Florida Vernacular tradition: raised massing on a low foundation, simple gable roof, deep front porch, and board-and-batten or lapped wood siding. Scaled to sit comfortably on the block and consistent with College Quarter's informal, cottage-scale character.



Inspiration

Reference images of Florida Vernacular cottages, illustrating the porch depth, roof pitch, siding, and massing we're aiming for.





Historic Preservation Board

agenda item 7.a

item type

Action Items

meeting date

September 9, 2026

prepared by

Allison McGillis, Director of Planning and Zoning

approved by

Allison McGillis, Director of Planning and Zoning

subject

Finalize a list of ideas for code updates and incentives to have a joint work session with the Commission on September 24, 2026.

motion | recommendation

Staff recommendation is for approval of the proposed list.

background**List of Ideas to Discuss with City Commission:**

- Add another designation on Orange County Property Appraiser after the zoning district information that says the home is on our potential designation list (potential historic property "PHP"). This will allow homeowners and potential buyers via MLS (foundational database where properties for sale are listed) to know in advance that their property is on the demolition delay list.
- Remove/reduce noticing requirements for historic designations:
 - No longer require notice in the paper, or
 - No longer require notice to neighbors, or
 - Keep the sign in the yard notifying the neighbors of the request and the meeting date/times
 - This also saves the city money on newspaper ads and postage/mailings since we do not charge for these application types
- Public information campaign and survey to residents on the "Potential Historic List" once the consultant has finalized the update to the 2013 list:
 - 1) Why have you not placed your home that is eligible for historic designation on the Winter Park Register of Historic Places?
 - 2) What could the HPB propose that would motivate you to place your home on the registry?
 - 3) List the current benefits/incentives
- Create list of insurance companies that provide policies to historic homes, and contractors that work on historic homes while expressly stating that inclusion does not constitute an endorsement, recommendation, or guarantee by the City.

- Change the historic district formation voting requirements from two-thirds (66.67%) vote to:
 - 51%, or
 - 50% plus 1, or
 - 60%, and
 - Remove the provision that a vote not returned is a “no” and that the percentages are based on the returned votes.
- Change demolition delay from a flat 90 days from demo application date to 90 days after the next scheduled HPB meeting and incorporate a mandatory alternatives analysis to prove that reasonable alternatives to demolition have been considered. The applicant would have to evaluate rehabilitation, adaptive reuse, incorporation into the new project, partial preservation, relocation, and redesign of the proposed development. The HPB would then review the analysis and have a discussion at a public meeting before the 90-day window started.
- Expedited permitting for historic properties, meaning permits for historically designated properties move to first in line for the reviewer instead of in the order it was received.

Direct Financial Incentives:

- Create a Transfer of Development Rights (TDR) program for historically designated properties that are homesteaded to sell up to 5-10% of allowable but unused FAR to other properties along commercial corridors (Lee Road, Orlando Ave, Fairbanks Ave, Aloma Ave) and limit the receiving property to obtain a max of 5-10% FAR bonus on top of the max FAR for the receiving property.
- Reduce permit fees by 1/3 for all permit applications on designated historic properties.
- Remove the 40 hours/week open to the public requirement for tax exemptions on improvements ([current regulations](#)).

Need Additional Direction (consensus to remove or keep):

- Expand lot split policies in the Comp Plan if existing home is placed on the WP Register (1290 N Park Ave example, but expand it to non-lakefront properties) as a way to ask for a variance that doesn't comply with the 300' comparison rules, but the city gains a designated historic resource (case-by-case basis). Mostly see this being implemented in Orwin Manor as a way to continue to preserve older homes in that neighborhood since there hasn't been enough interest to create a district.

Removed idea at last work session:

- Add a 5% FAR bonus in the Comp Plan (already in LDC) – removed and consensus was to remove it from the LDC.

alternatives | other considerations

fiscal impact

attachments

None