



Historic Preservation Board Regular Meeting

Agenda

February 11, 2026 @ 9:00 AM

City Hall Commission Chambers
401 S. Park Avenue

welcome

Agendas and all backup material supporting each agenda item are accessible via the city's website at cityofwinterpark.org/meetings/ and include virtual meeting instructions.

assistance & appeals

Persons with disabilities needing assistance to participate in any of these proceedings should contact the City Clerk's Office ([407-599-3277](tel:407-599-3277)) at least 48 hours in advance of the meeting.

"If a person decides to appeal any decision made by the Board with respect to any matter considered at this hearing, a record of the proceedings is needed to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based." (F.S. 286.0105).

please note

Times are projected and subject to change.

-
- 1. Call to Order**
 - 2. Consent Agenda**
 - a. Approve the minutes of the January 14, 2026, regular meeting. 1 minute
 - 3. Public Comments (for items not on the agenda): Three minutes allowed for each speaker**
 - 4. Public Hearings (Public participation and comment on these matters must be in person.)**
 - a. COR 26-02. Request by Karen and Armando Martorelli for approval to construct a new one-story rear addition, make modifications to the front elevation of the residence including a minor front setback variance of one foot eight inches, and undertake minor alterations to the rear detached structure at the property located at 1299 Harding Street, zoned R-1AA. 30 minutes
 - 5. Action Items**
 - 6. Non-Action Items**
 - 7. Staff Updates**
 - 8. Board Comments**
 - 9. Upcoming Agenda Items**
 - 10. Adjournment**



Historic Preservation Board

agenda item 2.a

item type

Consent Agenda

meeting date

February 11, 2026

prepared by

Mary Jean, Administrative Coordinator IV

approved by**subject**

Approve the minutes of the January 14, 2026, regular meeting.

motion | recommendation**background****alternatives | other considerations****fiscal impact****attachments**

1. Draft Historic Preservation Board Regular Meeting Minutes



Historic Preservation Board Regular Meeting Minutes

January 14, 2026 at 9:00 AM

City Hall Commission Chambers
401 S. Park Avenue

Present

Kelsey Wolfe, Lee Rambeau, Kim Burst Wood, Margie Bridges , Rhett Delaney, Cynde Norris,

Absent

John Skolfield

Staff Present

Director of Planning and Zoning Allison McGillis, Planner Corinna Lundgren,
Administrative Coordinator Mary Bush

1. Call to Order

Vice Chair Wolfe called the meeting to order at 9:00 a.m.

2. Consent Agenda

- a. Approve the minutes of the December 10, 2025, regular meeting. 1 minute

No one from the public wished to speak. The public hearing was closed.

Motion made by Kelsey Wolfe, seconded by Rhett Delaney, to approve the December 10, 2025 meeting minutes.

The motion carried unanimously by a 6-0 vote. (John Skolfield was absent from the meeting.)

3. Public Comments (for items not on the agenda): Three minutes allowed for each speaker

No one from the public wished to speak. The public hearing was closed.

4. Public Hearings (Public participation and comment on these matters must be in person.)

5. Action Items

- a. Determine next steps regarding construction issues at 814 Antonette Ave 20 minutes

Mr. Harbilas provided a summary of the item. He reviewed the original survey of the property and the applicant's proposed front elevations. He noted that the applicant had come before the Board in 2023, and with the intent of preserving the front facade of the home, had been approved for additions to the property, an added second floor, as well as a garage in the rear of the property. Mr. Harbilas indicated that after the applicant started some of the demolition part of the approved project, they discovered complications with the integrity of the front wall. He explained that the applicant wanted to discuss a solution that would keep the intended appearance of the home while maintaining better integrity of the wall.

The applicant, Jack Brennan of 814 Antonette Avenue, Winter Park, FL 32789, addressed the Board. Mr. Brennan indicated that construction for the project had started much later than originally planned. He added that he had spent a lot of time respecting the Board's previous approval and trying to determine the best way to implement it. He explained that he was ultimately able to come up with a plan to preserve the front facade as much as physically possible with the new construction to occur behind it. He then explained that once the facade was opened up, he found substantial structural damage, including water damage, wood rot, and low-quality craftsmanship. He noted that he was very concerned about the condition and the ability to waterproof the facade for proper drainage, and the likelihood of a successful rehabilitation of the facade. He indicated that his request was to totally remodel and reconstruct the facade, while keeping the design and appearance consistent with the existing look.

Discussion ensued about what the applicant would do to address any termite damage, what actions the applicant has taken toward recreating the style of the existing stucco, and whether the applicant's intent was to replicate the existing front facade. The applicant indicated that they would be replicating the decorative items of the home and replacing the windows. Discussion then continued about the applicant keeping the proportions, scale, and mass of the existing home, and the changes that had been made to the original plans since the approval in 2023.

The applicant's architect, David Pillsbury of 1977 Japonica Road, Winter Park, FL 32792, addressed the Board. Mr. Pillsbury noted that proportion studies is what he does before drawing up any plans. He also indicated that every effort and possibility of recreating the small placards and parapet embellishments of the existing home had been studied. He added that the windows would be the same mutton patterns and look just like the original windows.

The Board expressed appreciation for the steps that the applicant has taken to thoughtfully replicate the existing facade of the home.

6. Non-Action Items

7. Staff Updates

8. Board Comments

9. Upcoming Agenda Items

10. Adjournment

The meeting adjourned at 9:28 a.m.

Approved by the Board on

Mary Bush, Recording Secretary

ATTEST:



Historic Preservation Board

agenda item 4.a

item type

Public Hearings (Public participation and comment on these matters must be in person.)

meeting date

February 11, 2026

prepared by

Allison McGillis, Director of Planning and Zoning

approved by

Allison McGillis, Director of Planning and Zoning

subject

COR 26-02. Request by Karen and Armando Martorelli for approval to construct a new one-story rear addition, make modifications to the front elevation of the residence including a minor front setback variance of one foot eight inches, and undertake minor alterations to the rear detached structure at the property located at 1299 Harding Street, zoned R-1AA.

motion | recommendation

Staff recommendation is for approval.

background

The property located at 1299 Harding Street was added to Winter Park's Historic Register in June 2023, based on findings that the residence, constructed in 1951, reflects architectural influences associated with the Cape Cod and Tudor Revival styles, including steep roof forms, gables, and dormer windows. Since that time, the property has changed ownership, and the current owners, Armando and Karen Martorelli, are proposing a new addition and exterior renovation to the historic residence.

The proposed scope of work includes the removal and replacement of an existing one-story rear porch and dining area with a new one-story rear addition, construction of a new centered front entry, a minor bump-out along the front study wall, and exterior updates to both the main residence and detached garage. These exterior improvements include washed brick, shake siding, new windows, trim, and architectural detailing, as illustrated on the submitted elevations.

Over time, many homes of this style were changed in ways that blurred their original character, often through simpler window replacements, less defined entry features, or mismatched façade elements. The proposed updates are meant to undo those changes by bringing back symmetry, restoring traditional window patterns, reintroducing defined gables and dormers, and highlighting a strong, classically inspired front entry. Rather than adding a new style, these changes reinforce the design elements that were always part of the home. The result is a house that reads more clearly as a cohesive historic residence and better

reflects its original intent.

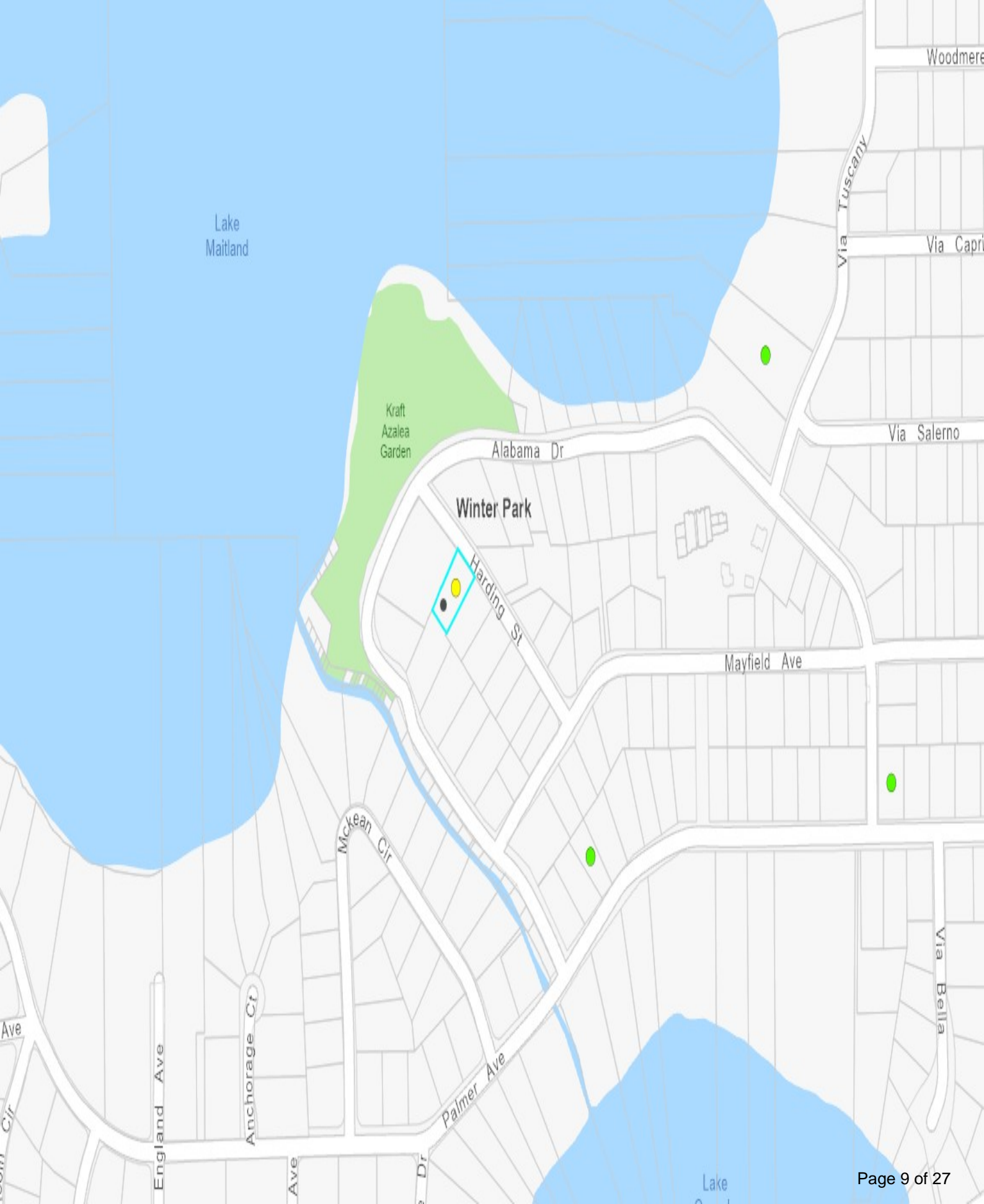
The proposal does not increase building height, does not modify the footprint of the detached garage, and meets the R-1AA zoning standards, except a minor front setback encroachment of approximately one-foot, eight inches is associated with the front study wall bump-out. Overall, the proposed improvements enhance the historic character of the property while maintaining compliance with applicable zoning and development standards.

alternatives | other considerations

fiscal impact

attachments

1. Location Map
2. ORIGINAL SURVEY
3. EXISTING PICTURES
4. 1299 Harding Steet Addition HPB Summary
5. 1299 HARDING ST PROPOSED PLANS
6. REAR GARAGE CONCEPT
7. 1299 Harding St - Winter Park Single Family zoning-setback-worksheet



Lake Maitland

Kraft Azalea Garden

Winter Park

Harding St

Alabama Dr

Mayfield Ave

McKean Cir

Palmer Ave

England Ave

Anchorage Ct

Via Tuscany

Via Capri

Via Salerno

Via Bella

Woodmere

BOUNDARY & TOPOGRAPHIC SURVEY

LEGAL DESCRIPTION:

LOT 27, AND THE WEST 20.8 FEET OF LOT 26, BLOCK D, J. KRONENBERGER SUBDIVISION, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK G, PAGES 56 AND 57, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, LESS THE SOUTHWESTERLY 5 FEET THEREOF.

FLOOD INFORMATION:

BY PERFORMING A SEARCH WITH THE LOCAL GOVERNING MUNICIPALITY OR WWW.FEMA.GOV, THE PROPERTY APPEARS TO BE LOCATED IN ZONE X, AE (WITH A BASE FLOOD ELEVATION OF 68'). THIS PROPERTY WAS FOUND IN CITY OF WINTER PARK, COMMUNITY NUMBER 120188, DATED 9/25/2009.

CERTIFIED TO:

ARMANDO MARTORELLI AND KAREN HARRINGTON MARTORELLI



L1 "BB" L3
 N 39°00'00" E 160.00'(D) S 41°45'40" W 160.00'(D)
 N 39°00'00" E 160.78'(M) S 42°01'52" W 160.69'(M)

L2 L4
 S 49°03'15" E 80.05'(M) N 48°58'00" W 72.34'(D)
 S 49°06'06" E 80.51'(D) N 49°07'33" W 72.01'(M)

L5
 S 49°03'15" E 455.00'(M)
 S 49°06'06" E 455.00'(D)

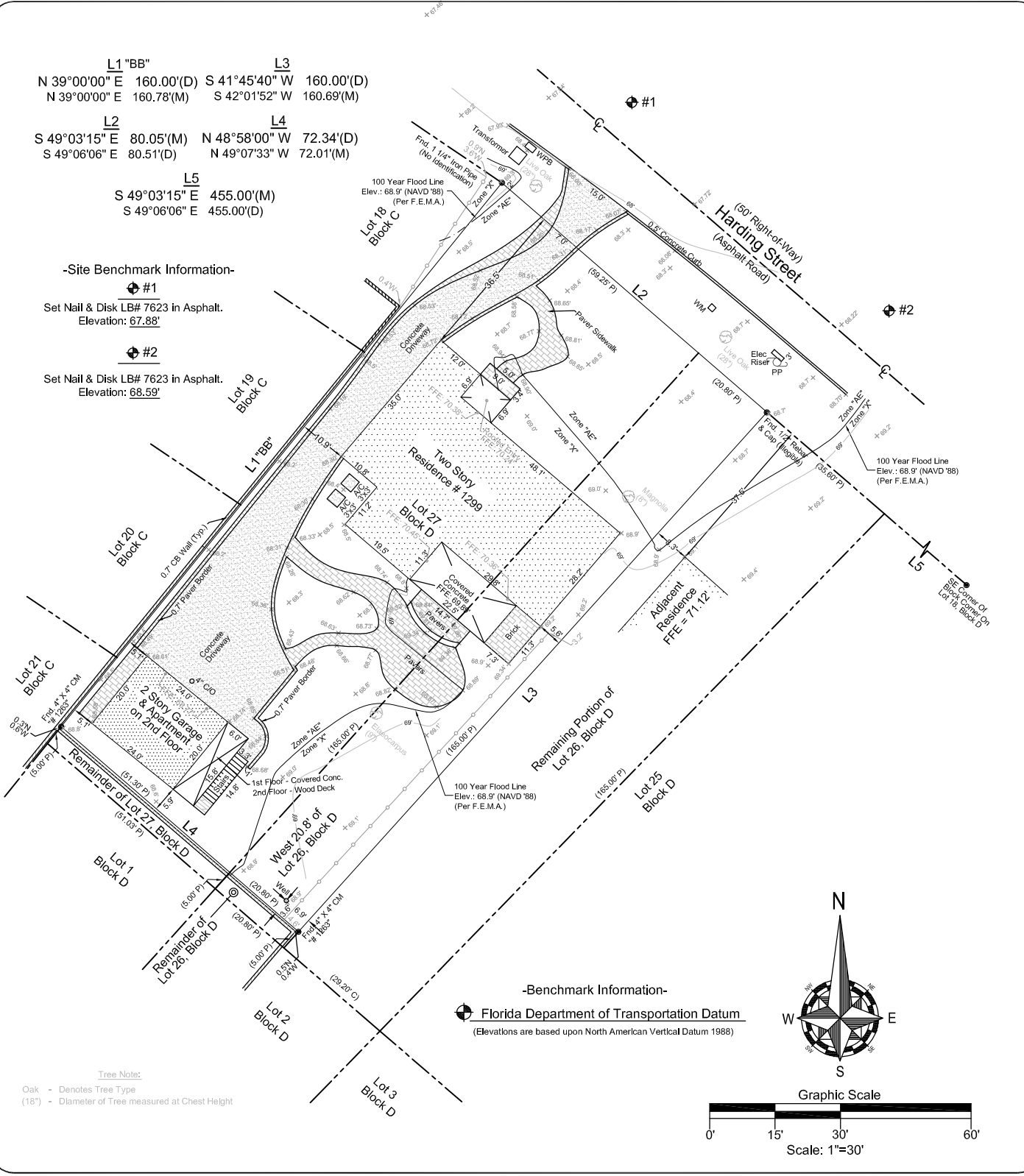
-Site Benchmark Information-



Set Nail & Disk LB# 7623 in Asphalt.
 Elevation: 67.88'



Set Nail & Disk LB# 7623 in Asphalt.
 Elevation: 68.59'



-Benchmark Information-

Florida Department of Transportation Datum
 (Elevations are based upon North American Vertical Datum 1988)



Tree Note:
 Oak - Denotes Tree Type
 (18" - Diameter of Tree measured at Chest Height)

Field Date: 11/25/2025	Date Completed: 12/04/25
Drawn By: .P.	File Number: IS-3471 TOPO
Legend	
C - Calculated	PC - Point of Curvature
CL - Centerline	Pg - Page
CB - Concrete Block	PI - Point of Intersection
CM - Concrete Monument	P.O.B. - Point of Beginning
Conc. - Concrete	P.O.L. - Point on Line
D - Description	PP - Power Pole
DE - Drainage Easement	PRM - Permanent Reference Monument
Easmt. - Easement	PT - Point of Tangency
F.E.M.A. - Federal Emergency Management Agency	R - Radius
FFE - Finished Floor Elevation	Rad. - Radial
Fnd. - Found	R&C - Rebar & Cap
IP - Iron Pipe	Rec. - Recovered
L - Length (Arc)	Rfd. - Roofed
M - Measured	Set - Set 1/2" Rebar & Cap "LB 7623"
N&D - Nail & Disk	Rebar - Rebar
N.R. - Non-Radial	Typ - Typical
ORB - Official Records Book	UE - Utility Easement
P - Plat	WM - Water Meter
P.B. - Plat Book	Δ - Delta (Central Angle)
□ - Wood Fence	○ - Chain Link Fence

-NOTES-

- >Survey is Based upon the Legal Description Supplied by Client.
- >Abutting Properties Deeds have NOT been Researched for Gaps, Overlaps and/or Hiatus.
- >Subject to any Easements and/or Restrictions of Record.
- >Bearing basis shown hereon, is Assumed and Based upon the Line Denoted with a "88".
- >Building Ties are NOT to be used to reconstruct Property Lines.
- >Fence Ownership is NOT determined.
- >Roof Overhangs, Underground Utilities and/or Footers have NOT been located UNLESS otherwise noted.
- >Septic Tanks and/or Drainfield locations are approximate and MUST be verified by appropriate Utility Location Companies.
- >Use of This Survey for Purposes other than Intended, Without Written Verification, Will be at the User's Sole Risk and Without Liability to the Surveyor. Nothing Hereon shall be Construed to give ANY Rights or Benefits to Anyone Other than those Certified.

-POINTS OF INTEREST-

NONE VISIBLE

I hereby Certify that this Boundary Survey of the above Described Property is True and Correct to the Best of my Knowledge and Belief as recently Surveyed under my Direction on the Date Shown. Based on Information furnished to Me as Noted and Conforms to the Standards of Practice for Land Surveying in the State of Florida in accordance with Chapter SJ-17.052 Florida Administrative Codes, Pursuant to Section 472.027 Florida Statutes.

PATRICK IRELAND 6637 LB: 7623
 PATRICK IRELAND SURVEYOR
 STATE OF FLORIDA
 PATRICK K. Ireland

Ireland & Associates Surveying, Inc.
 800 Currency Circle | Suite 1020
 Lake Mary, Florida 32746
 www.irelandsurveying.com
 Office-407.678.3366 Fax-407.320.8165



1299
HARDING STREET



1299
HARDING STREET



1299





To: Historic Preservation Board

PROJECT LOCATION:

1299 HARDING STREET WINTER PARK, FL. 32789
PROJECT OWNERS: ARMANDO AND KAREN MARTORELLI

PROJECT DESCRIPTION:

This is a major addition / renovation to update the overall elevation style and enhance the beauty and function of the existing residence with these proposed improvements.
The proposed addition removes and replaces the entire 1-story existing porch / dining area. This is replaced with the new 1-story structure and will match the existing brg. Heights/ roof lines and style. We propose to create a new centered front entry and enhance and improve the overall elevation style with new materials, windows and architectural accent features, bump-outs, articulation and details.

SUMMARY OF IMPROVEMENTS:

New one-story addition to the rear of the existing structure.
New front entry addition
New bump out on existing front elevation / study wall at front
Update the entire home with a new elevation style, for the main house and detached garage structure, using washed brick, shake siding, new windows, new trim, to create an updated traditional / classic style to improve the overall look, beauty, and function of the home.
The exact materials have not been determined; however ,examples are shown on the elevations sheet in our application.

CODE REQUIREMENTS:

All of our proposed improvements meet current codes as noted below and on the planned provided.
All ISR and FAR requirements have been met as noted on plans and ISR area calculation sheets.
No change to the right-side setback, or detached garage,
No change to the existing overall height
Minor change to the front setback of 1'-8" due to the updated elevation style
(bump-out at the study wall)

No variances are required using the existing left side setback as noted per code for non- conforming building additions.

Sec. 58-70.

(g)Nonconforming building additions. One-story residential building additions may be constructed less than the required side setback on lots built in line with the predominant side wall setback of an existing dwelling subject to the following conditions:

- (1) The existing dwelling has a nonconforming side setback of five feet or greater. **CONDITION MET***
- (2) The length of the proposed addition does not exceed 24 feet. **CONDITION MET***
- (3) The proposed addition is one story and no taller than the existing first-floor portion of the structure **CONDITION MET***

All ISR and FAR requirements have been met as noted on plans and ISR area calculation sheets.

Thank you for your review of our proposed improvements, and glad to answer and discuss any questions you may have.

Sincerely,

Karen and Armando Martorelli

THE MARTORELLI RESIDENCE

1299 HARDING STREET WINTER PARK, FL. 32789

REVISIONS :

THE MARTORELLI RESIDENCE
1299 HARDING STREET
WINTER PARK, FL. 32789

DANIEL SOUTER, P.E.
FLORIDA LICENSE # 12881
P.O. BOX 54774
WINTER PARK, FLORIDA 32789

alba
ENGINEERING
ON APPROVAL

ARACE DESIGNS, LLC
3963 TERRA OAKS COURT
LONGWOOD, FL. 32779
(407) 774-2468
A I American Institute
of Building Design

ARACE DESIGNS
www.aracedesigns.com

JOB NUMBER
DATE
12/15/25
DRAWN
D.A.A.
SHEET
AO

ARCH
SITE PLAN

SEAL
DANIEL SOUTER, P.E.

L1 "BB" L3
N 39°00'00" E 160.00'(D) 41°45'40" W 160.00'(D)
N 39°00'00" E 160.78'(M) S 42°01'52" W 160.69'(M)

L2 L4
S 49°03'15" E 80.05'(M) N 48°58'00" W 72.34'(D)
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L5
S 49°03'15" E 455.00'(M)
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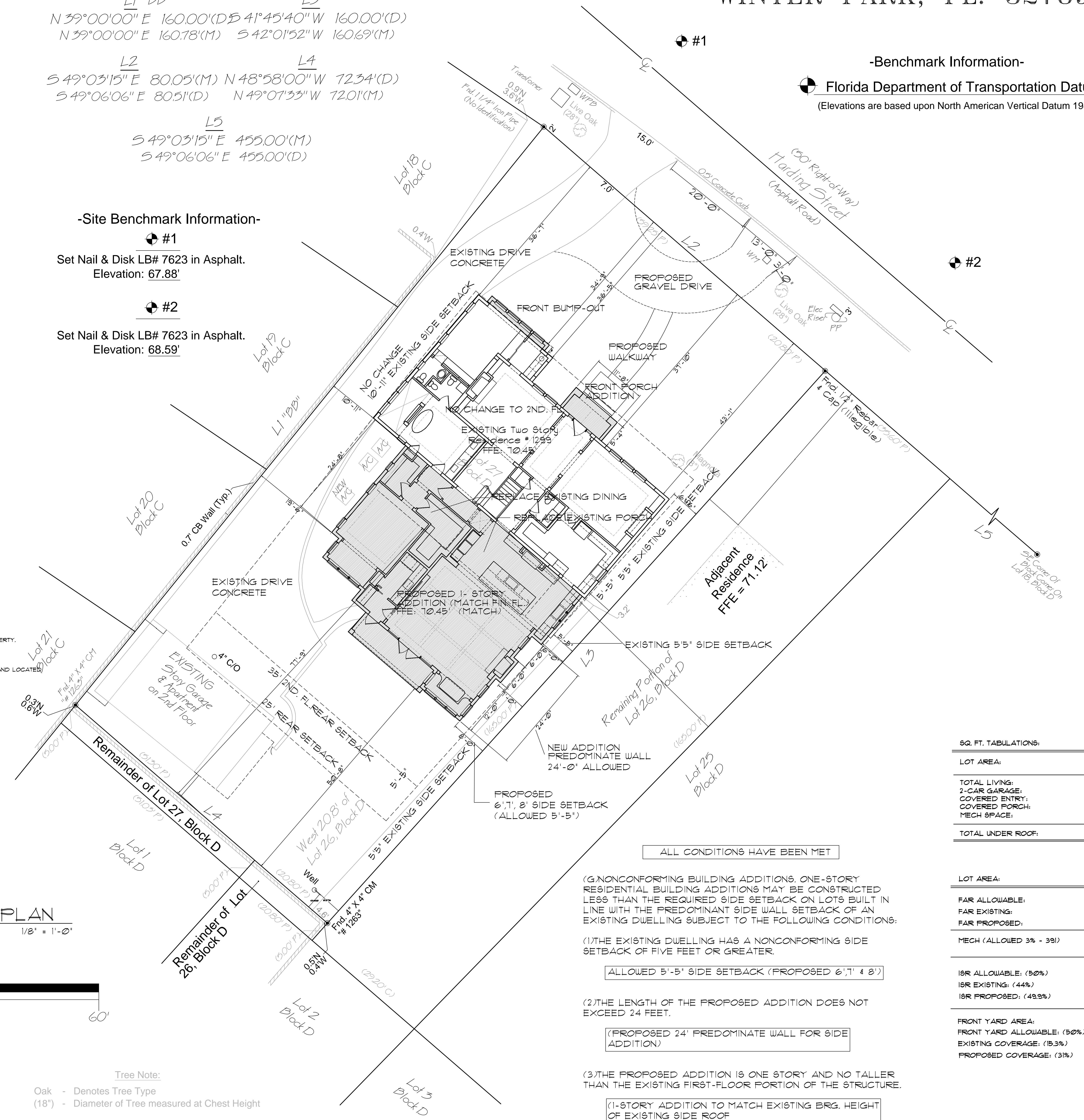
-Site Benchmark Information-
#1
Set Nail & Disk LB# 7623 in Asphalt.
Elevation: 67.88'

#2
Set Nail & Disk LB# 7623 in Asphalt.
Elevation: 68.59'

-Benchmark Information-
#1
#2
Florida Department of Transportation Datum
(Elevations are based upon North American Vertical Datum 1988)

GENERAL NOTES AND REQUIREMENTS

1. All work shall comply with the current Florida Building Code and all other applicable rules and regulations.
 2. Arace Designs, LLC, shall not have control or charge of and shall not be responsible for construction means, methods, techniques, sequences or procedures, or for safety precautions or programs in connection with the work, for the acts or omissions of the Contractor, Sub-Contractors or any other persons performing any of the work, or for the failure of any of them to carry out the work in accordance with the contract documents.
 3. Arace Designs, LLC, shall not be responsible for any and all of the existing conditions. The Owner is made aware of this fact and these construction documents are designed in accordance to this fact. Arace Designs, LLC, shall not be responsible for any and all conditions that may arise due to the quality and conditions of the existing structure.
 4. The General Contractor and all Sub-Contractors shall verify all conditions, details and dimensions before proceeding with the work and shall be responsible for coordination of the same. Arace Designs, LLC, shall be notified of any discrepancies.
 5. Job superintendent shall verify all dimensions in field prior to commencing work. (Dimensions supersede scale on drawings.)
 6. The General Contractor and/or the Window/Door Manufacturer shall field verify all field sizes of all window and door rough openings. (PRIOR TO ORDERING ANY WINDOWS)
 7. Sub-Contractors shall provide the General Contractor with such plans and information as may be required for the issuance of Acceptance Certificates or permits.
 8. The General Contractor shall be responsible for obtaining all applicable permits and providing the Owner with all applicable certificates, operating manuals, warranties, etc.
 9. Mechanical and Electrical Contractors shall be responsible for submitting drawings and obtaining their respective permits.
 10. All work in question including materials, finishes and colors shall be coordinated & approved with appointed project manager and/or Owner, prior to construction.
 11. All wood coming into contact with masonry or unprotected from weather shall be pressure treated.
 12. Provide non-slip surfaces at all areas continually exposed to moisture or surface water.
 13. The General Contractor and all Sub-Contractors shall verify and remove any and all damaged material, prior and during the course of construction. The Owner will be notified and approve such removal. Arace Designs, LLC, shall not be responsible for any such determination.
 14. Arace Designs, LLC, shall not be responsible for any unforeseen conditions, that arise during the course of construction. The Owner is made aware of this and these construction documents represent this fact.
 15. ARACE DESIGNS, LLC, ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY. THE OWNER AND CONTRACTOR ARE TOTALLY RESPONSIBLE FOR PLACING THE BUILDING ON THE PROPERTY. POOL DESIGN AND LOCATION, IF SHOWN, ARE ONLY SUGGESTED. LANDSCAPING DESIGN AND DRIVEWAY DESIGN BY OTHERS. ARACE DESIGNS, LLC, ASSUMES NO RESPONSIBILITY FOR SEPTIC DESIGN AND LOCATION. SEPTIC, IF SHOWN ON PLAN, IS PER BUILDER OR OWNER REQUIREMENTS. SEPTIC SYSTEMS ARE TO BE DESIGNED AND LOCATED PER DEPARTMENT OF HEALTH REQUIREMENTS OR AS PER GOVERNING CODES.
- THIS IS NOT A SURVEY. ARACE DESIGNS, LLC, ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY. THE OWNER AND CONTRACTOR ARE TOTALLY RESPONSIBLE FOR PLACING THE BUILDING ON THE PROPERTY. POOL DESIGN AND LOCATION, IF SHOWN, ARE ONLY SUGGESTED. LANDSCAPING DESIGN AND DRIVEWAY DESIGN BY OTHERS. ARACE DESIGNS, LLC, ASSUMES NO RESPONSIBILITY FOR SEPTIC DESIGN AND LOCATION. SEPTIC, IF SHOWN ON PLAN, IS PER BUILDER OR OWNER REQUIREMENTS. SEPTIC SYSTEMS ARE TO BE DESIGNED AND LOCATED PER DEPARTMENT OF HEALTH REQUIREMENTS OR AS PER GOVERNING CODES.



SQ. FT. TABULATIONS:	SQ. FT.	
LOT AREA:	13,054	
TOTAL LIVING:	4,515	NOT IN FAR
2-CAR GARAGE:	480	NOT IN FAR
COVERED ENTRY:	62	NOT IN FAR
COVERED PORCH:	112	NOT IN FAR
MECH SPACE:	218	NOT IN FAR
TOTAL UNDER ROOF:	5,441	

LOT AREA:	13,054	
FAR ALLOWABLE:	5,000	
FAR EXISTING:	3,810	
FAR PROPOSED:	4,995	+1,085
MECH (ALLOWED 3% - 391)	218	
ISR ALLOWABLE: (50%)	6,521	
ISR EXISTING: (44%)	5,144	
ISR PROPOSED: (49.9%)	6,501	+1,517
FRONT YARD AREA:	3,010	
FRONT YARD ALLOWABLE: (50%)	1,505	
EXISTING COVERAGE: (15.3%)	470	
PROPOSED COVERAGE: (31%)	952	+482

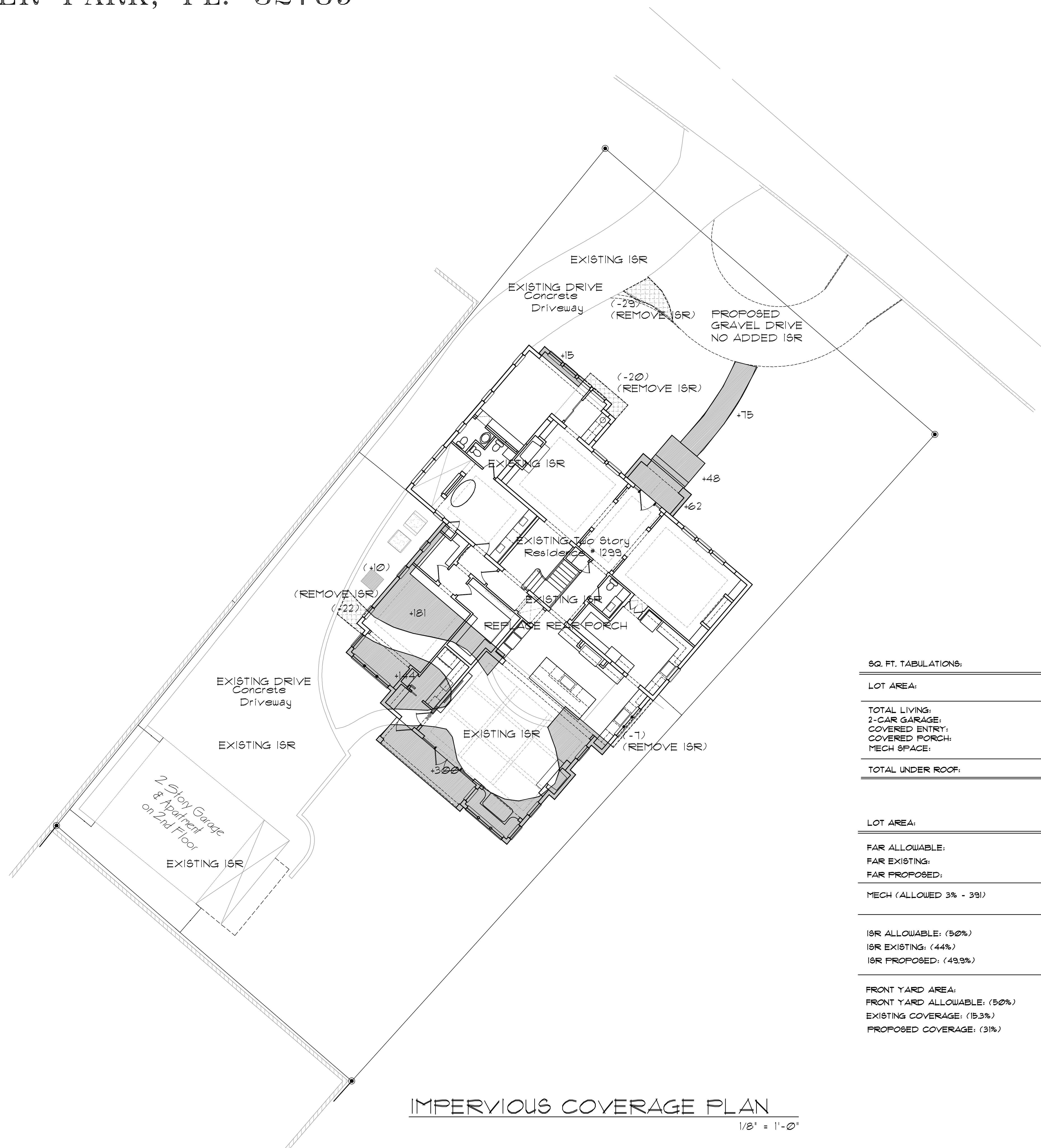
- ALL CONDITIONS HAVE BEEN MET
- (1) THE EXISTING DWELLING HAS A NONCONFORMING SIDE SETBACK OF FIVE FEET OR GREATER.
- ALLOWED 5'-5" SIDE SETBACK (PROPOSED 6'-7" 8")
- (2) THE LENGTH OF THE PROPOSED ADDITION DOES NOT EXCEED 24 FEET.
- (PROPOSED 24' PREDOMINATE WALL FOR SIDE ADDITION)
- (3) THE PROPOSED ADDITION IS ONE STORY AND NO TALLER THAN THE EXISTING FIRST-FLOOR PORTION OF THE STRUCTURE.
- (1-STORY ADDITION TO MATCH EXISTING BRG. HEIGHT OF EXISTING SIDE ROOF)

Tree Note:
Oak - Denotes Tree Type
(18") - Diameter of Tree measured at Chest Height

WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR DIMENSIONS AND CONDITIONS OF THE JOB AND SHALL NOTIFY IN WRITING ARACE DESIGNS, LLC, OF ANY VARIATION FROM THE DIMENSIONS, CONDITIONS AND SPECIFICATIONS APPEARING ON THESE PLANS.

THE MARTORELLI RESIDENCE

1299 HARDING STREET
WINTER PARK, FL. 32789



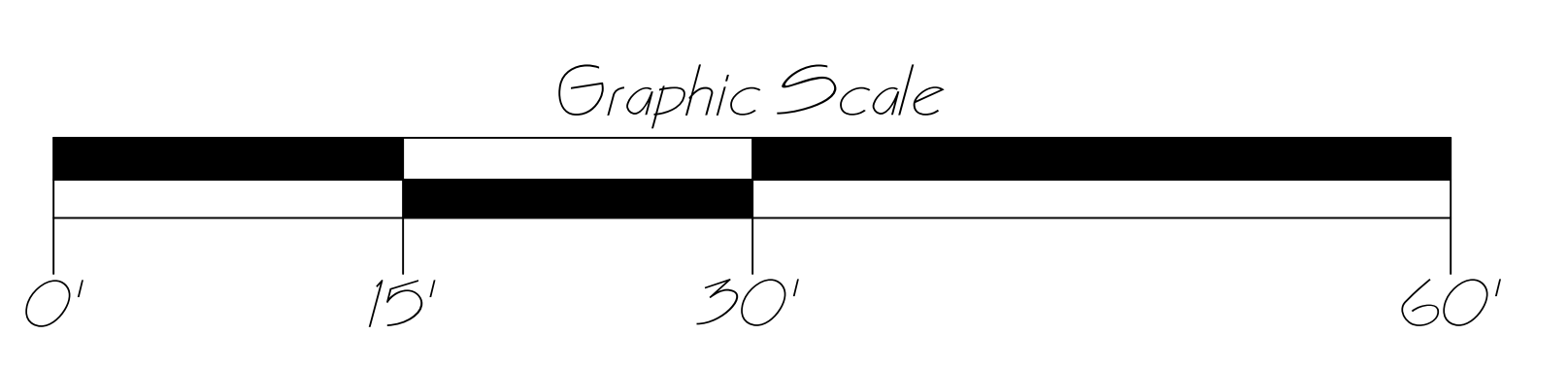
SQ. FT. TABULATIONS:	SQ. FT.	
LOT AREA:	13,254	
TOTAL LIVING:	4,515	
2-CAR GARAGE:	480	NOT IN FAR
COVERED ENTRY:	62	NOT IN FAR
COVERED PORCH:	112	NOT IN FAR
MECH SPACE:	278	NOT IN FAR
TOTAL UNDER ROOF:	5,441	

LOT AREA:	13,254	
FAR ALLOWABLE:	5,000	
FAR EXISTING:	3,810	
FAR PROPOSED:	4,935	+1,125
MECH (ALLOWED 3% - 391)	278	

ISR ALLOWABLE: (50%)	6,521	
ISR EXISTING: (44%)	5,744	
ISR PROPOSED: (49.9%)	6,501	+757
FRONT YARD AREA:	3,010	
FRONT YARD ALLOWABLE: (50%)	1,505	
EXISTING COVERAGE: (15.3%)	470	
PROPOSED COVERAGE: (31%)	952	+482

+835 = +15 +101 +144 +10 +300 +62 +48 +75
(-18) = -22 -20 -29 -7

IMPERVIOUS COVERAGE PLAN
1/8" = 1'-0"



REVISIONS :

THE MARTORELLI RESIDENCE
1299 HARDING STREET
WINTER PARK, FL. 32789

DANIEL SOUTER, P.E.
FL. REG. NO. 12881
P.O. BOX 54774
WINTER PARK, FL. 32789
PHONE (407) 742-4668
alba
ENGINEERING
OF FLORIDA

ARACE DESIGNS, LLC
3963 TERRA OAKS COURT
LONGWOOD, FL. 32779
(407) 774-2468
A I American Institute
of Building Design
BD

ARACE DESIGNS
www.aracedesigns.com

JOB NUMBER
DATE
12/15/25
DRAWN
D.A.A.
SHEET
A0-A

IMPERVIOUS COVERAGE PLAN

SEAL
DANIEL SOUTER, P.E.

WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR DIMENSIONS AND CONDITIONS OF THE JOB AND SHALL NOTIFY IN WRITING ARACE DESIGNS, LLC, OF ANY VARIATION FROM THE DIMENSIONS, CONDITIONS AND SPECIFICATIONS APPEARING ON THESE PLANS.

SQ. FT. TABULATIONS:	SQ. FT.
LOT AREA:	13,054
TOTAL LIVING:	4,515
2-CAR GARAGE:	480
COVERED ENTRY:	62
COVERED PORCH:	112
MECH SPACE:	218
TOTAL UNDER ROOF:	5,441

NOT IN FAR
NOT IN FAR
NOT IN FAR

LOT AREA:	SQ. FT.
FAR ALLOWABLE:	5,000
FAR EXISTING:	3,810
FAR PROPOSED:	4,995
MECH (ALLOWED 3% - 391)	218

+1,185

ISR ALLOWABLE: (50%)	6,521
ISR EXISTING: (44%)	5,144
ISR PROPOSED: (49.9%)	6,501

+151

FRONT YARD AREA:	3,070
FRONT YARD ALLOWABLE: (50%)	1,535
EXISTING COVERAGE: (15.3%)	470
PROPOSED COVERAGE: (31%)	952

+482

SQ. FT. TABULATIONS:	SQ. FT.
LOT AREA:	13,054
EXISTING AREA:	
1ST. FLOOR LIVING:	1,913
2ND. FLOOR LIVING:	1,111
BONUS OVER GARAGE:	240
TOTAL LIVING:	3,330
2-CAR GARAGE:	480
COVERED ENTRY:	63
COVERED PORCH:	253
TOTAL UNDER ROOF:	4,126

NEW / REVISED AREA:	SQ. FT.
NEW 1ST. FLOOR LIVING:	+1,672
NEW COVERED ENTRY:	+62
NEW COVERED PORCH:	+112
NEW MECH SPACE:	+218
TOTAL NEW AREA:	+2,124

REPLACED DINING:	-209
REPLACED 2ND. FLOOR:	-218
REPLACED FRONT ENTRY:	-63
REMOVE REAR PORCH:	-253
TOTAL REPLACED AREA:	-803
TOTAL NEW AREA:	+2,124
TOTAL ADDITIONAL AREA:	+1,321

COMBINED TOTAL AREAS:	SQ. FT.
1ST. FLOOR LIVING:	3,436
2ND. FLOOR LIVING:	839
BONUS OVER GARAGE:	240
TOTAL LIVING:	4,515
2-CAR GARAGE:	480
COVERED ENTRY:	62
COVERED PORCH:	112
MECH SPACE:	218
TOTAL UNDER ROOF:	5,441

+1,463

-218

NO CHANGE

+1,185

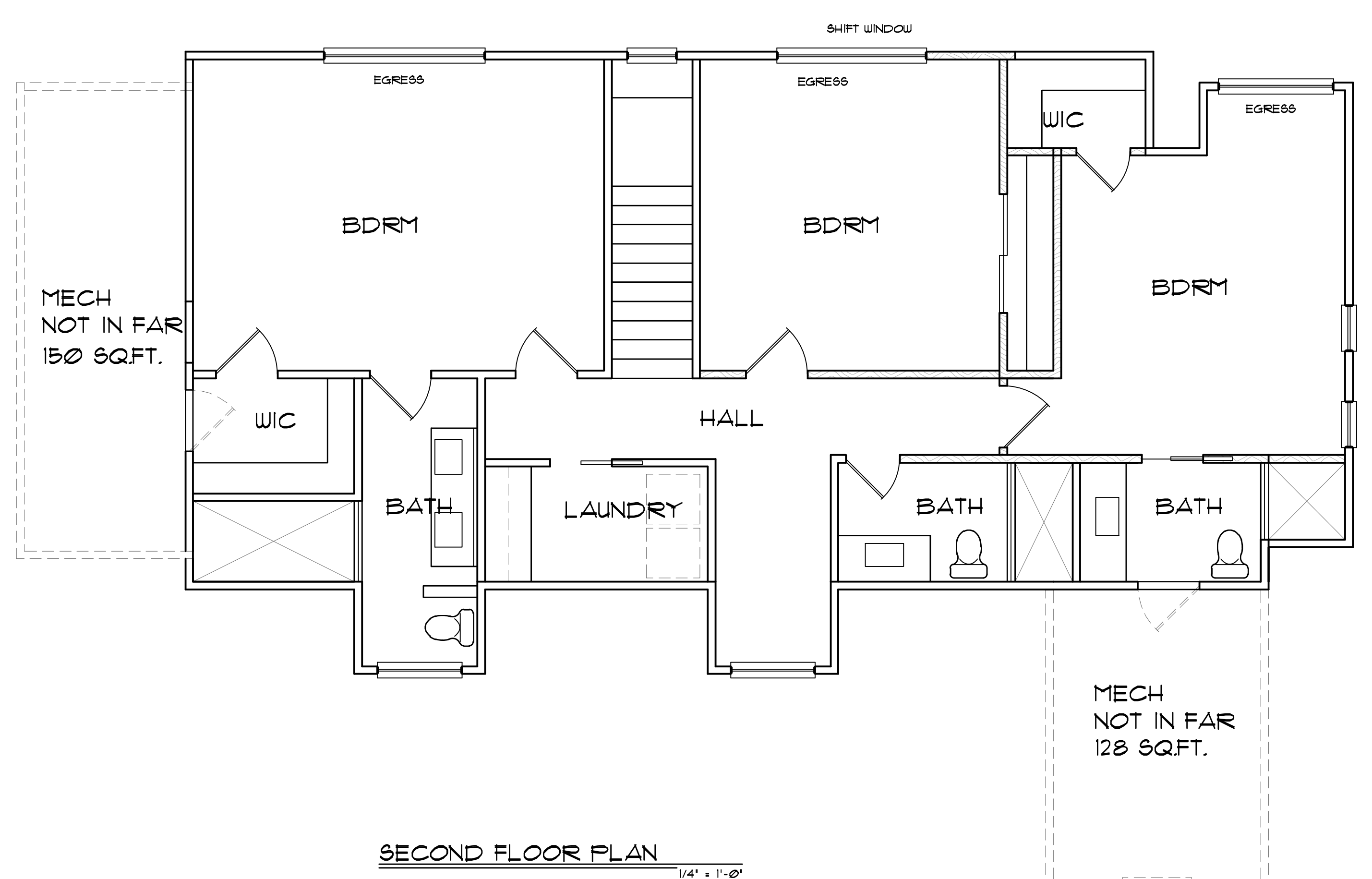
NO CHANGE

-1 NOT IN FAR

(-141) NOT IN FAR

+218 NOT IN FAR

+1,321

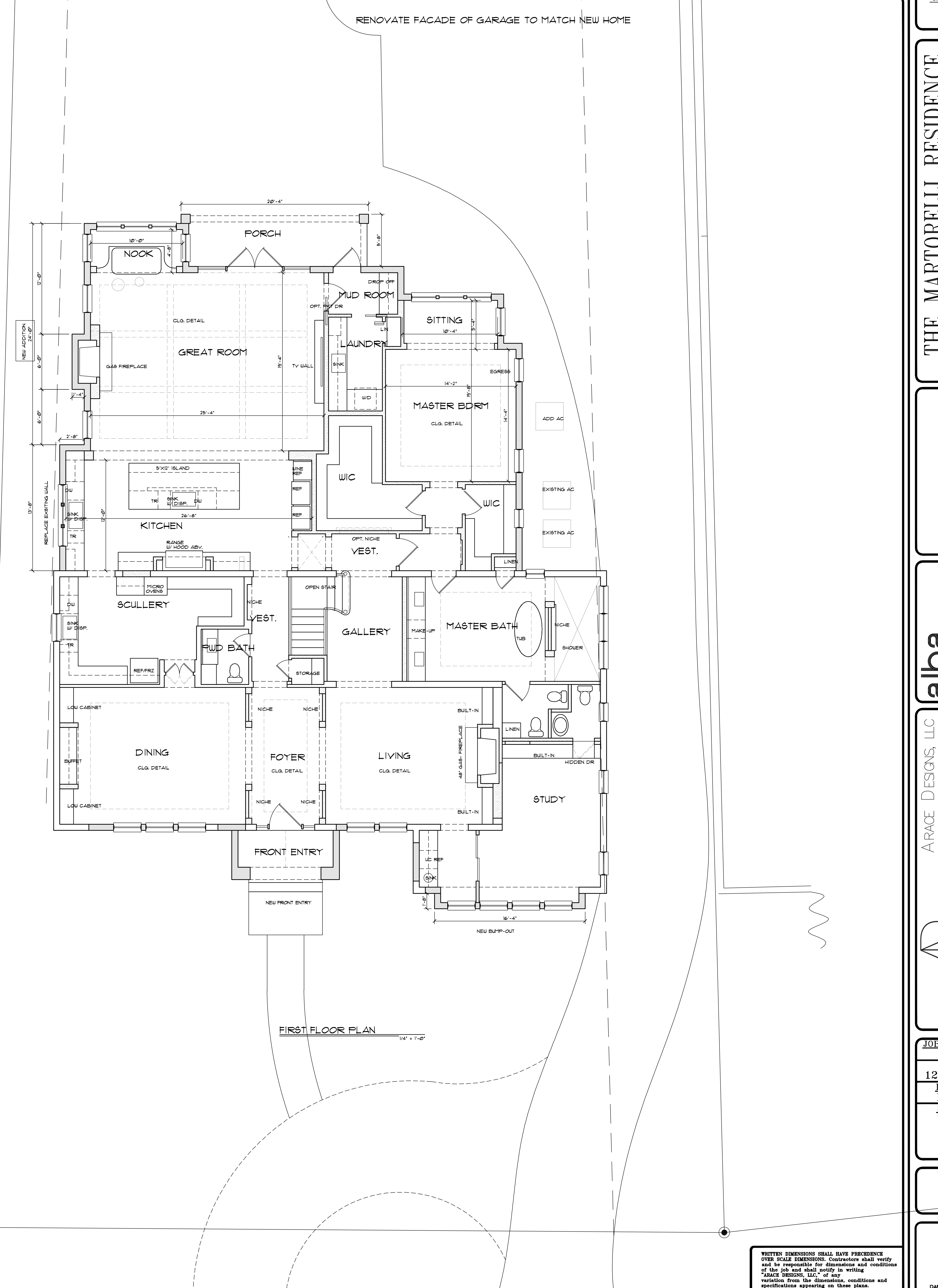


CONTRACTOR TO VERIFY ENTIRE DEMOLITION & EXISTING CONDITIONS AND EXISTING DIMENSIONS, PRIOR TO CONSTRUCTION.

CONTRACTOR TO VERIFY ALL INTERIOR & EXTERIOR SPECIFICATIONS & DETAILS WITH OWNER, PRIOR TO CONSTRUCTION.

VERIFY INTERIOR FINISH LEVELS WITH OWNER.

VERIFY A/C & ELECTRICAL METER / PANEL LOCATIONS AND ALL UTILITIES.



WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR DIMENSIONS AND CONDITIONS OF THE JOB AND SHALL NOTIFY IN WRITING ARACE DESIGNS, LLC, OF ANY VARIATION FROM THE DIMENSIONS, CONDITIONS AND SPECIFICATIONS APPEARING ON THESE PLANS.

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SHEET
A1

FLOOR PLANS

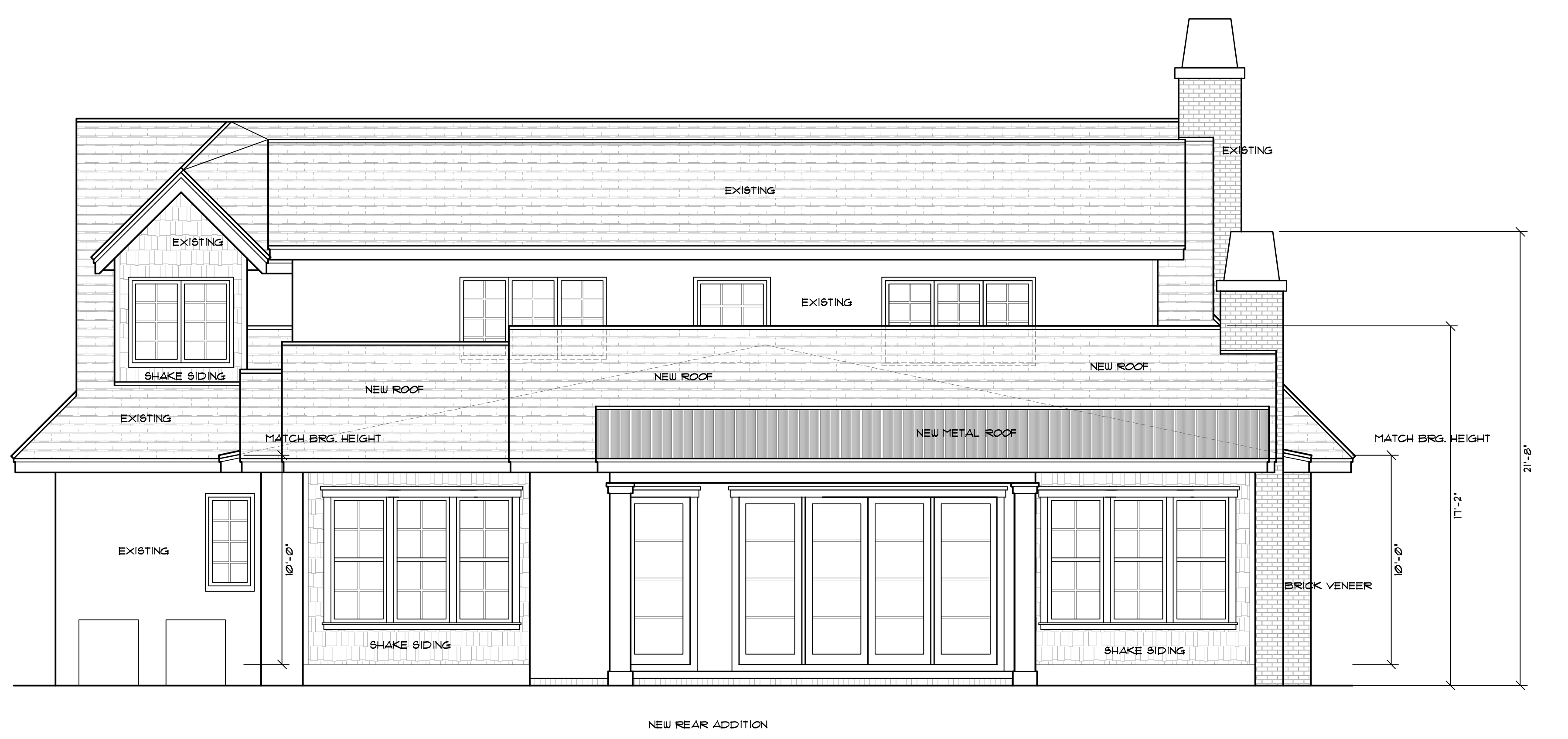
SEAL
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Page 19 of 27

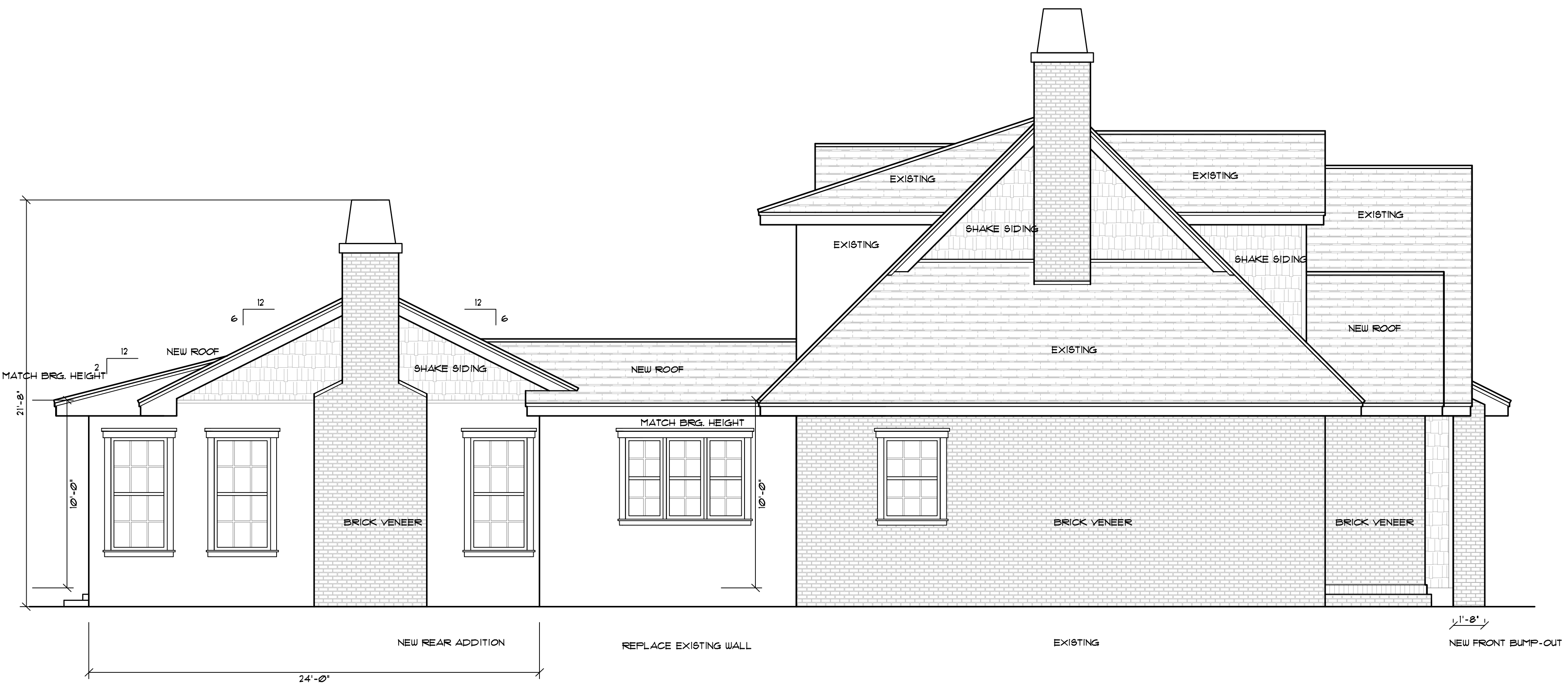
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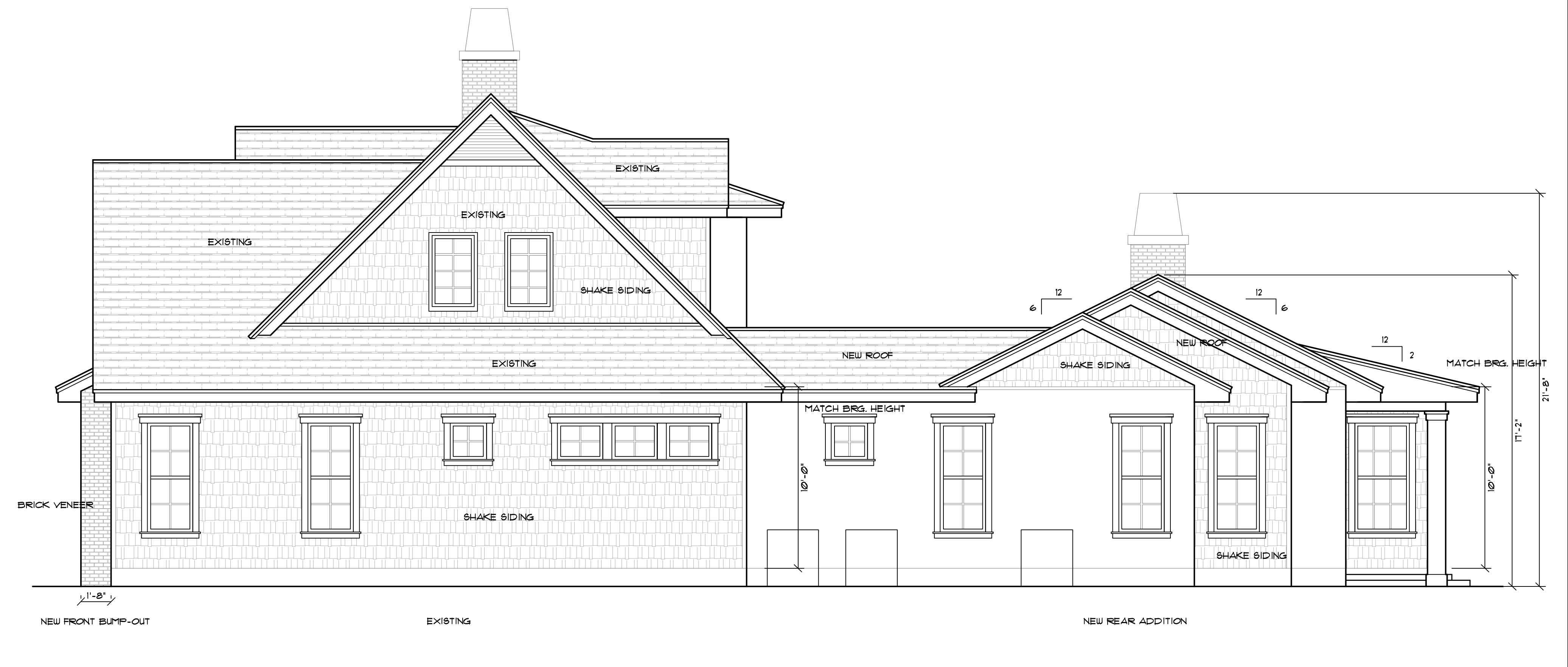
FRONT ELEVATION 1/4" = 1'-0"



REAR ELEVATION 1/4" = 1'-0"



LEFT ELEVATION 1/4" = 1'-0"



RIGHT ELEVATION 1/4" = 1'-0"



WASHED BRICK EXAMPLES



SHAKE SIDING EXAMPLE



FINAL COLOR / SELECTIONS MAY VARY SLIGHTLY UPON EXACT MATERIALS SELECTED

NOTE:
CONTRACTOR TO VERIFY ALL:
MOLDINGS, FASCIA, ORNAMENTS
AND DECORATIVE DETAILS,
W/ OWNER PRIOR TO CONSTRUCTION.

AT ROOF: (TYPICAL)
ASPHALT DIMENSIONAL SHINGLE OVER
WATERPROOF MEMBRANE OVER
SHEATHING, (SEE GEN. STRUCT. NOTES)
FIRE-ENGINEERED ROOF TRUSSES @ 24" O.C.
AND/ CONVENTIONAL FRAMING (SEE ENGINEERING)

METAL ROOF ACCENTS AS NOTED

AT BLOCK WALL: (AS PER ELEVATION)
TEXTURED FINISH OR
SHAKE SIDING (AS NOTED)
WASHED BRICK VENEER (AS NOTED)

AT FRAME WALL: (AS PER ELEVATION)
1/8" STUCCO OVER 15# FELT OVER
GALV. METAL LATH OVER HOUSE WRAP OVER
SHEATHING (SEE GEN. STRUCT. NOTES)
SHAKE SIDING (AS NOTED)

AT FASCIA: (TYPICAL)
METAL DRIP EDGE OVER
1'x2" FT. OVER
2'x8" FASCIA

2'x8" SUB FASCIA

AT SILLS: (TYPICAL)
COMPOSITE HARDIE / AZEK (PER SPECS)

AT SOFFIT: (TYPICAL)
T&G SOFFIT (PER SPECS)

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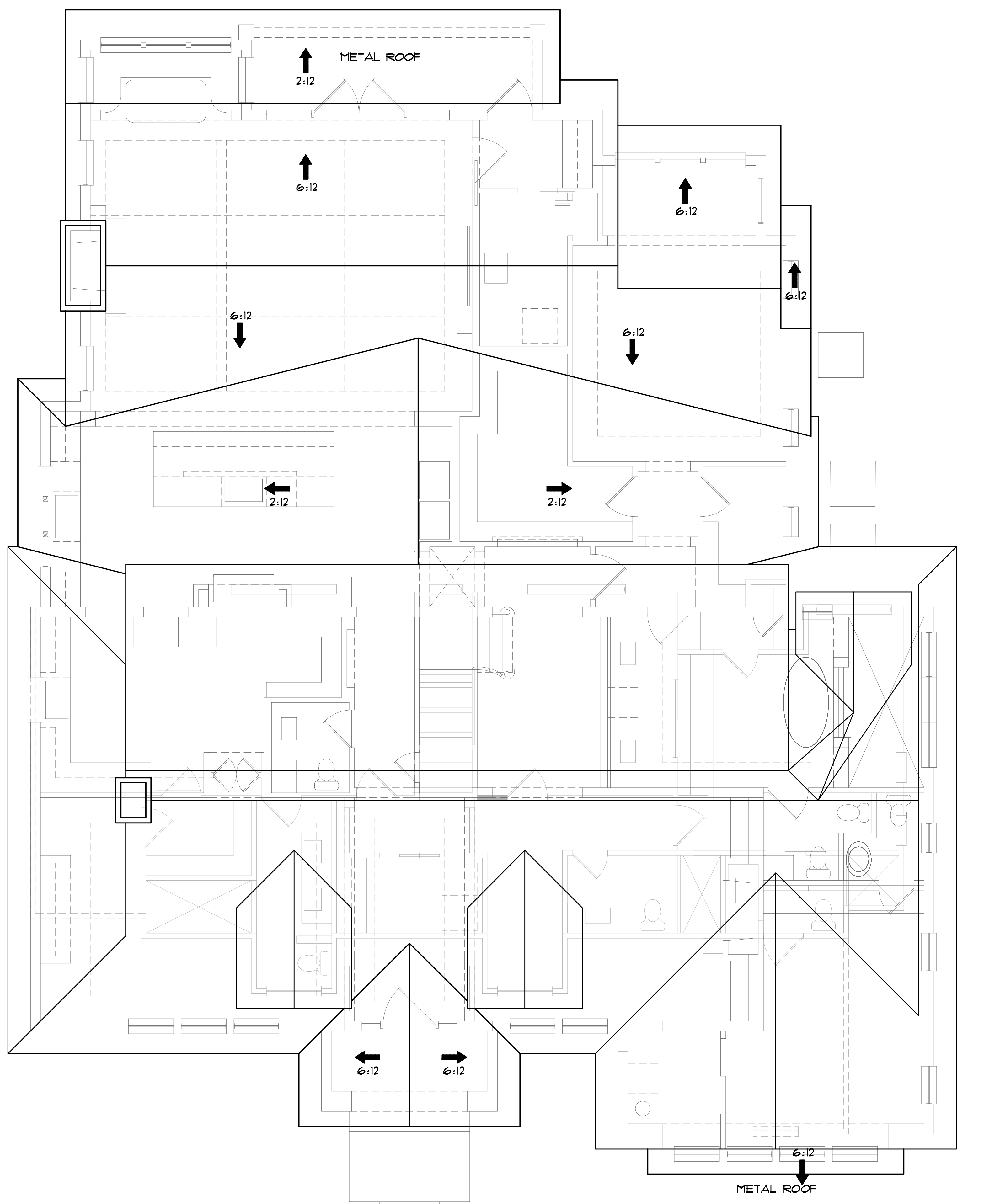
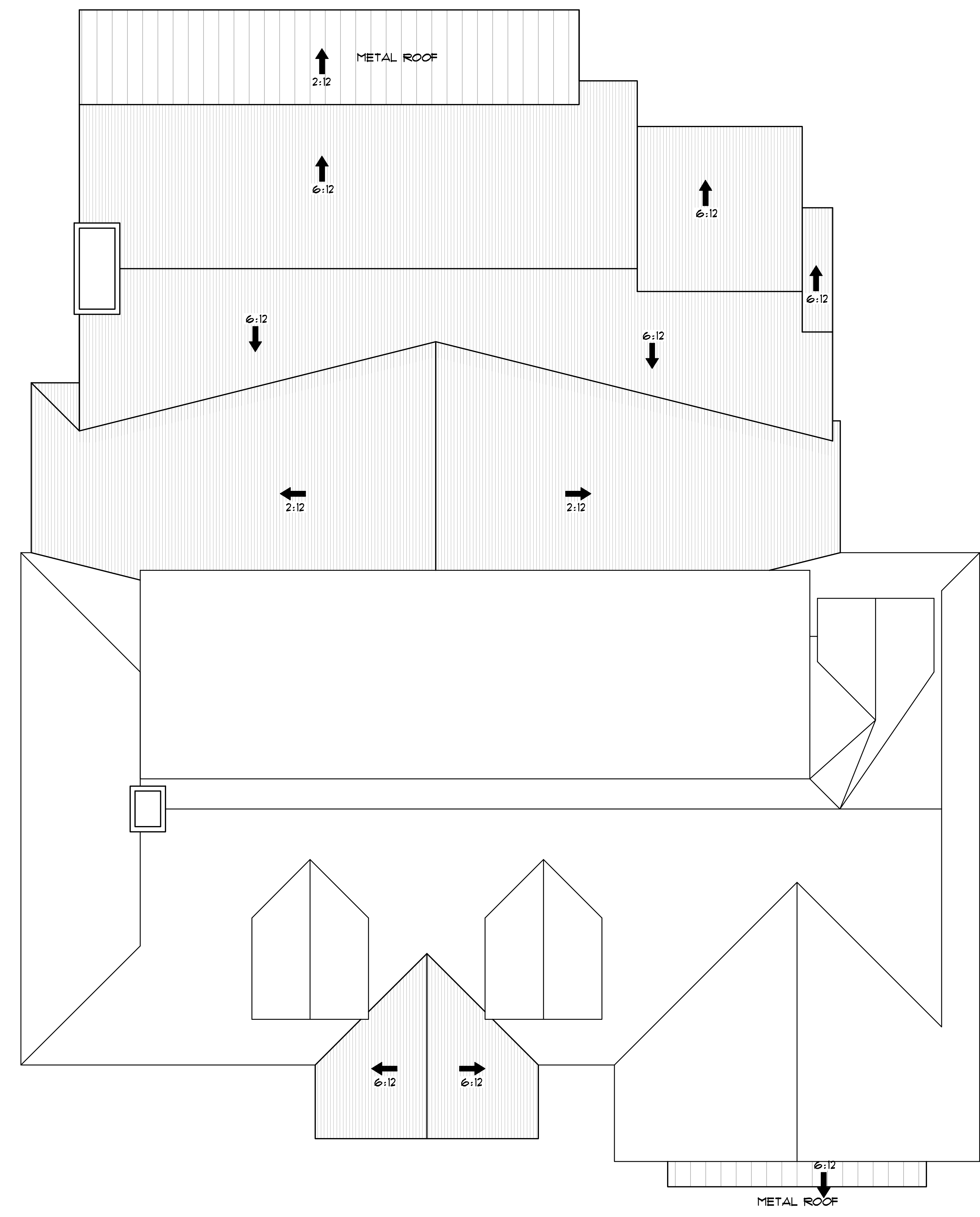
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A2

EXTERIOR
ELEVATIONS

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NOTES:

1. CONTRACTOR TO VERIFY LOCATIONS OF BEARING WALLS & BEARING POINTS W/ TRUSS MANUFACTURER PRIOR TO CONSTRUCTION
2. CONTRACTOR TO VERIFY ALL TRUSSES BEFORE ORDERING
3. TRUSS COMPANY TO PROVIDE INDIVIDUAL TRUSS ENGINEERING

FLASHING SHALL BE INSTALLED AT ALL WALL AND ROOF INTERSECTIONS, AT ALL CHANGE IN ROOF SLOPE OR DIRECTION AND AROUND ALL ROOF OPENINGS. (FBC-R303)

ROOF PLAN

FOR FRAMING, SEE ROOF & FLOOR TRUSS LAYOUTS

ENGINEERED WOOD TRUSSES @ 24" O.C.
CONVENTIONAL FRAMING AS PER ENGINEERING

TYPICAL ROOF PITCH: 6:12 (+2:12 WHERE NOTED)

TYPICAL OVERHANG: 1'-8" O.H. 1'-0" @ GABLE ENDS
FIELD VERIFY / MATCH EXISTING OVERHANGS

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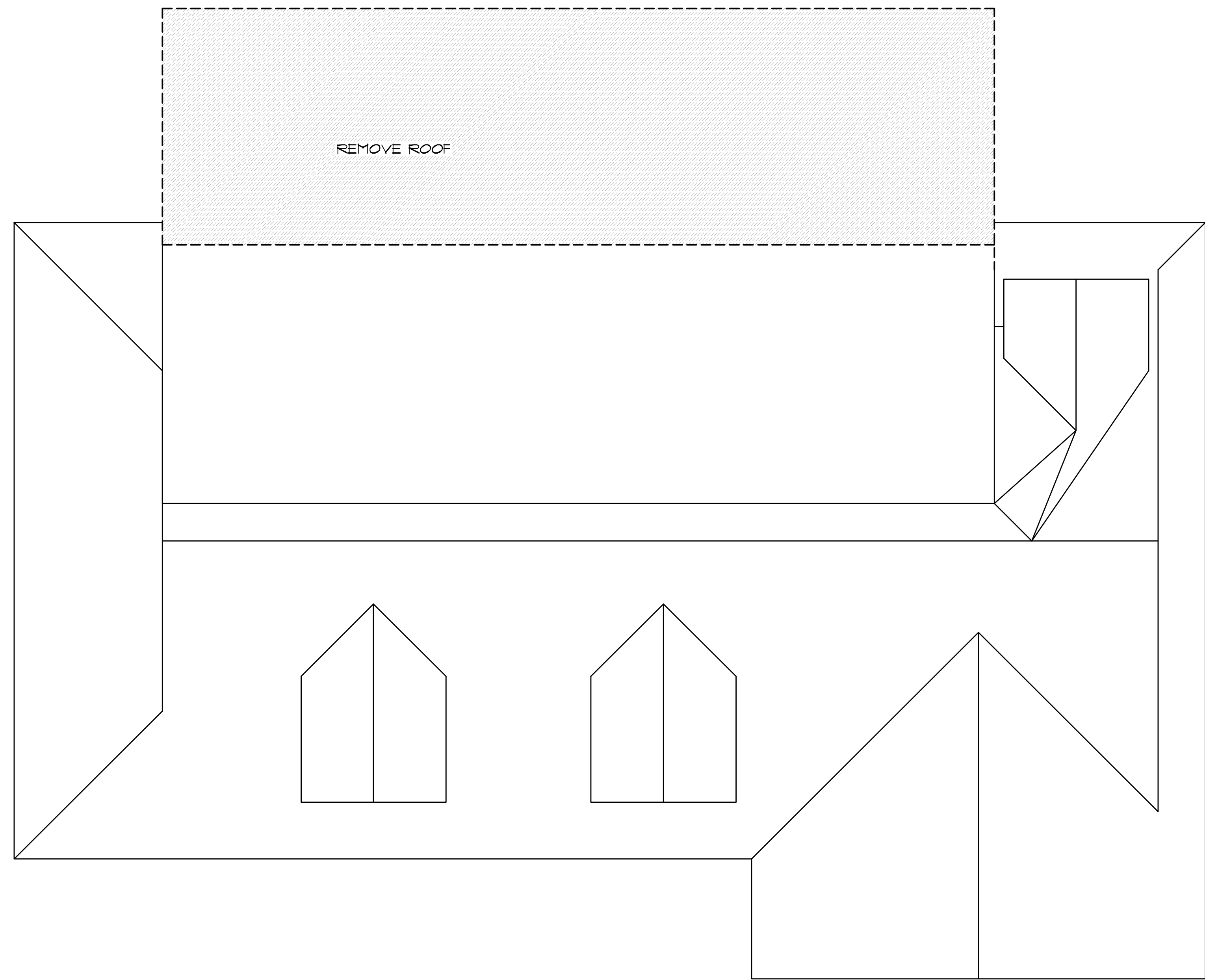
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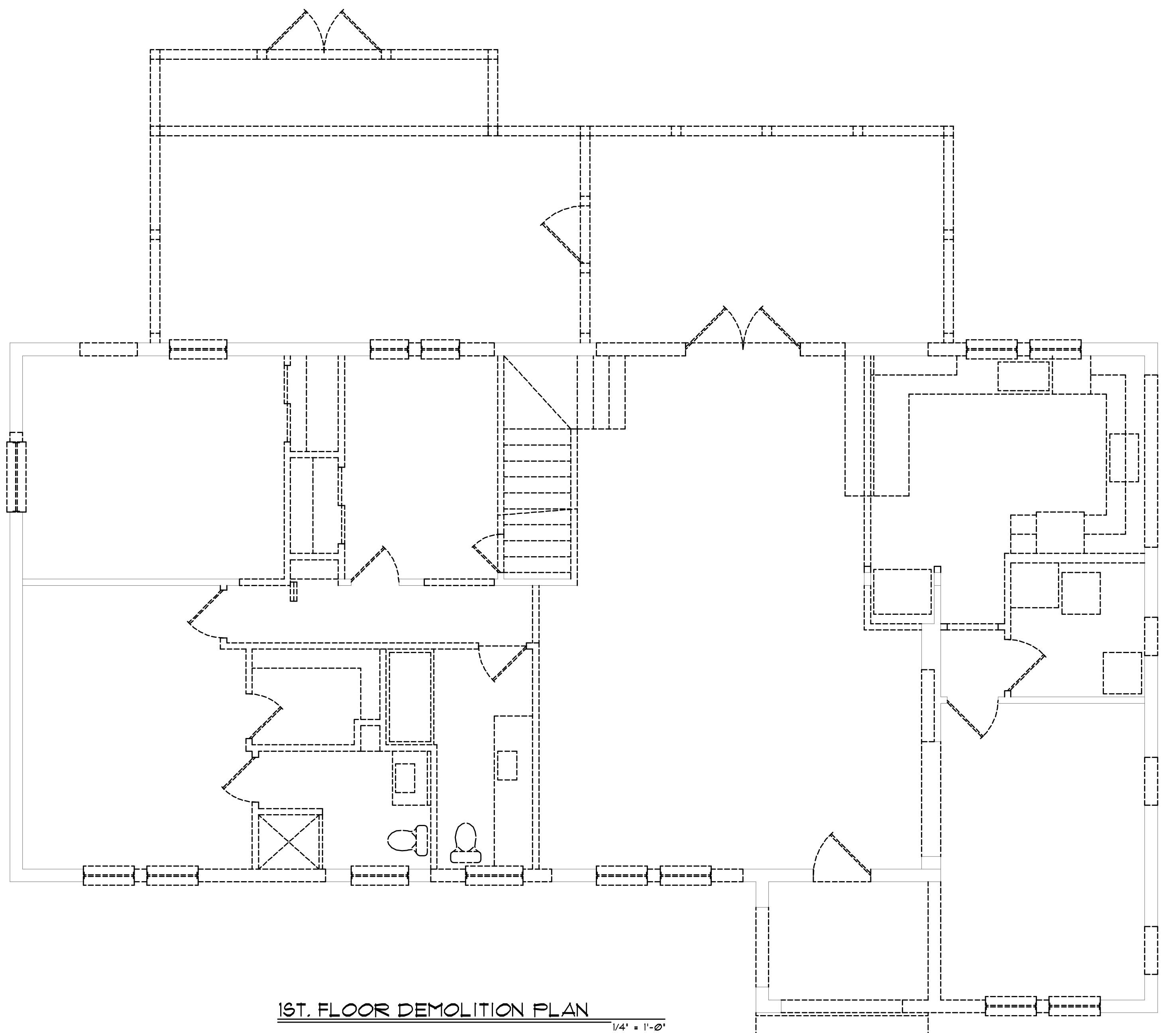
ROOF PLAN

SEAL
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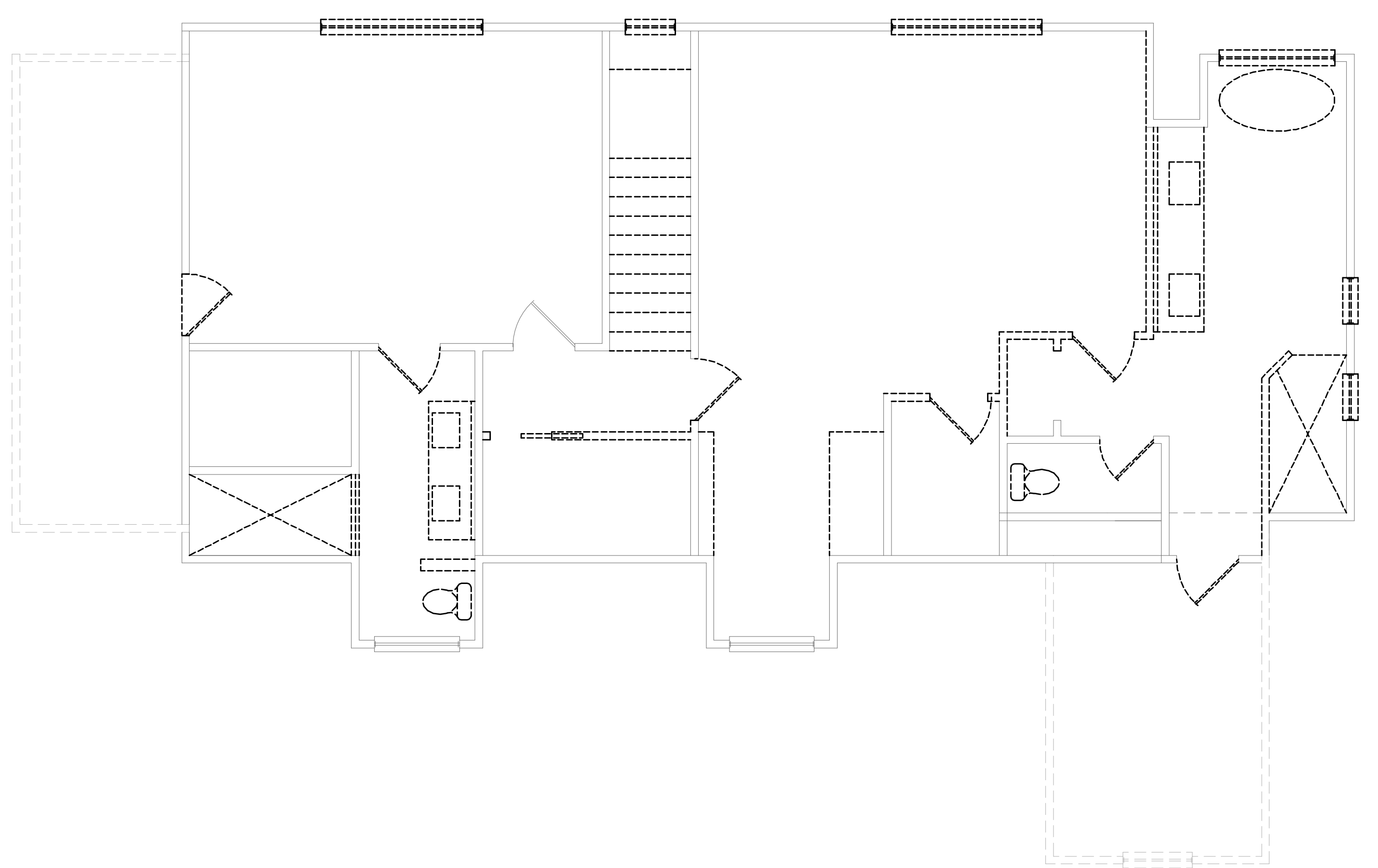
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EXISTING ROOF PLAN 1/4" = 1'-0"



1ST FLOOR DEMOLITION PLAN 1/4" = 1'-0"



2ND FLOOR DEMOLITION PLAN 1/4" = 1'-0"

GENERAL NOTES AND REQUIREMENTS

1. All work shall comply with the current Florida Building Code and all other applicable rules and regulations.
2. Arace Designs, LLC, shall not have control or charge of and shall not be responsible for construction means, methods, techniques, sequences or procedures, or for safety precautions or programs in connection with the work, for the acts or omissions of the Contractor, Sub-Contractors or any other persons performing any of the work, or for the failure of any of them to carry out the work in accordance with the contract documents.
3. Arace Designs, LLC, shall not be responsible for any and all of the existing conditions. The Owner is made aware of this fact and these construction documents are designed in accordance to this fact. Arace Designs, LLC, shall not be responsible for any and all conditions that may arise due to the quality and conditions of the existing structure.
4. The General Contractor and all Sub-Contractors shall verify all conditions, details and dimensions before proceeding with the work and shall be responsible for coordination of the same. Arace Designs, LLC, shall be notified of any discrepancies.
5. Job superintendent shall verify all dimensions in field prior to commencing work. (Dimensions supersede scale on drawings.)
6. The General Contractor and/or the Window/Door Manufacturer shall field verify all field sizes of all window and door rough openings. (PRIOR TO ORDERING ANY WINDOWS)
7. Sub-Contractors shall provide the General Contractor with such plans and information as may be required for the issuance of Acceptance Certificates or permits.
8. The General Contractor shall be responsible for obtaining all applicable permits and providing the Owner with all applicable certificates, operating manuals, warranties, etc.
9. Mechanical and Electrical Contractors shall be responsible for submitting drawings and obtaining their respective permits.
10. All work in question including materials, finishes and colors shall be coordinated & approved with appointed project manager and/or Owner, prior to construction.
11. All wood coming into contact with masonry or unprotected from weather shall be pressure treated.
12. Provide non-slip surfaces at all areas continually exposed to moisture or surface water.
13. The General Contractor and all Sub-Contractors shall verify and remove any and all damaged material, prior and during the course of construction. The Owner will be notified and approve such removal. Arace Designs, LLC, shall not be responsible for any such determination.
14. Arace Designs, LLC, shall not be responsible for any unforeseen conditions, that arise during the course of construction. The Owner is made aware of this and these construction documents represent this fact.

CONTRACTOR TO FIELD VERIFY ENTIRE DEMO / EXISTING DIMENSIONS & CONDITIONS. ANY DISCREPANCIES TO BE FIELD VERIFIED WITH ENGINEER/ DESIGNER / OWNER PRIOR TO DEMOLITION (FIELD CONDITIONS DETERMINE CRITICAL BEARING WALLS / CONDITIONS)

CONTRACTOR TO VERIFY ENTIRE DEMOLITION & EXISTING CONDITIONS AND EXISTING DIMENSIONS, PRIOR TO CONSTRUCTION

CONTRACTOR TO VERIFY ALL INTERIOR & EXTERIOR SPECIFICATIONS & DETAILS WITH OWNER, PRIOR TO CONSTRUCTION. VERIFY INTERIOR FINISH LEVELS WITH OWNER

VERIFY A/C & ELECTRICAL LOCATIONS, AND UPGRADE REQUIREMENTS

PRIOR TO DEMO, IF THERE ARE ANY DISCREPANCIES OR FIELD CONDITIONS DIFFER FROM PLANS CONTRACTOR TO NOTIFY ENGINEER OF ANY STRUCTURAL CHANGES TO RECEIVE WRITTEN CLARIFICATION, PRIOR TO CONSTRUCTION

WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. Contractors shall verify and be responsible for dimensions and conditions of the job and shall notify in writing ARACE DESIGNS, LLC, of any variation from the dimensions, conditions and specifications appearing on these plans.

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DEMOLITION PLAN

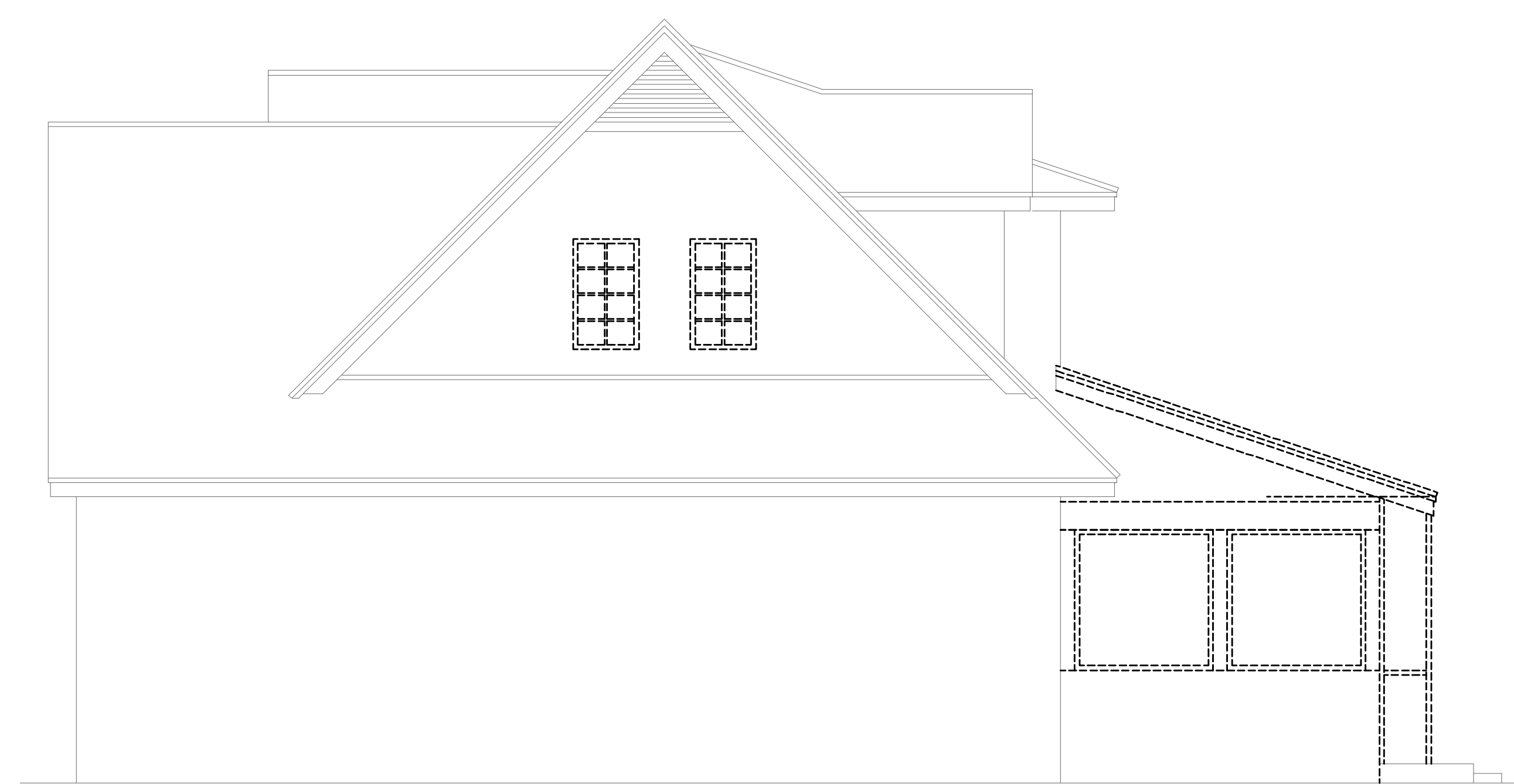
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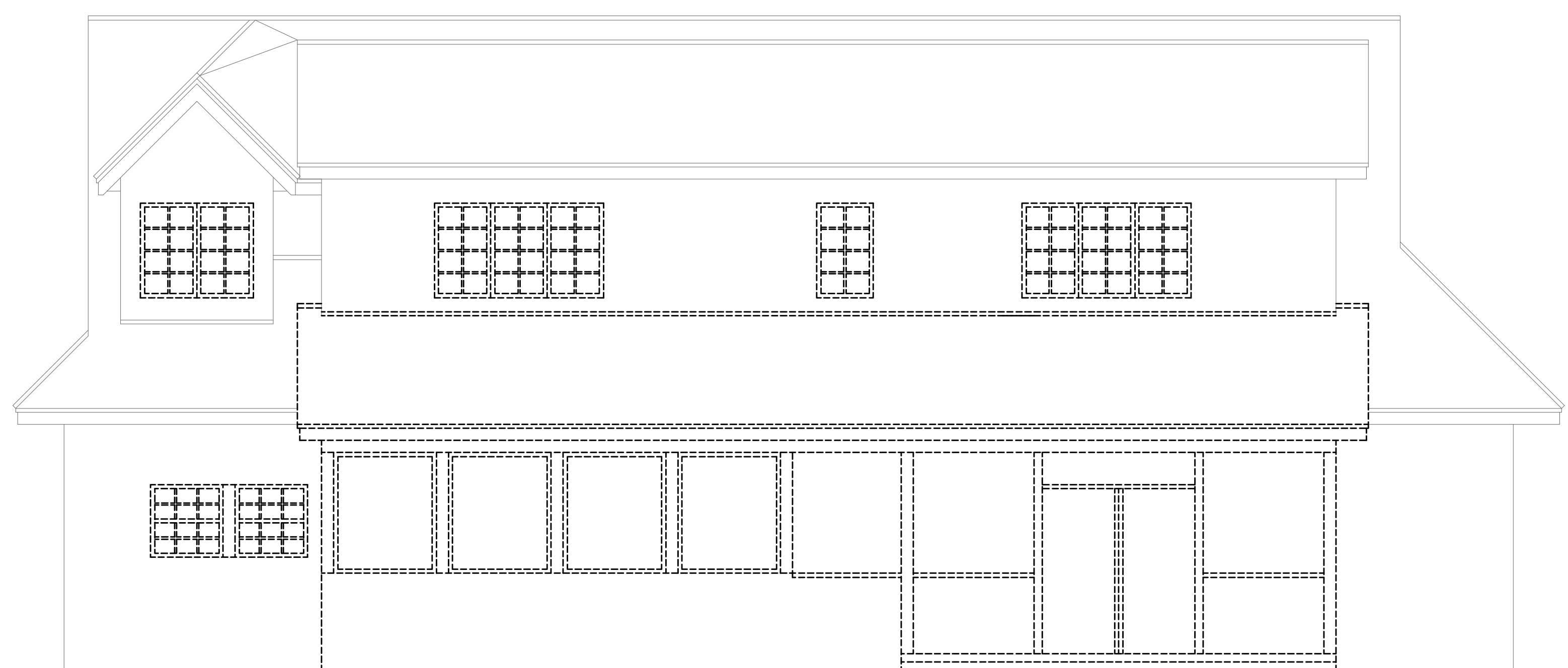
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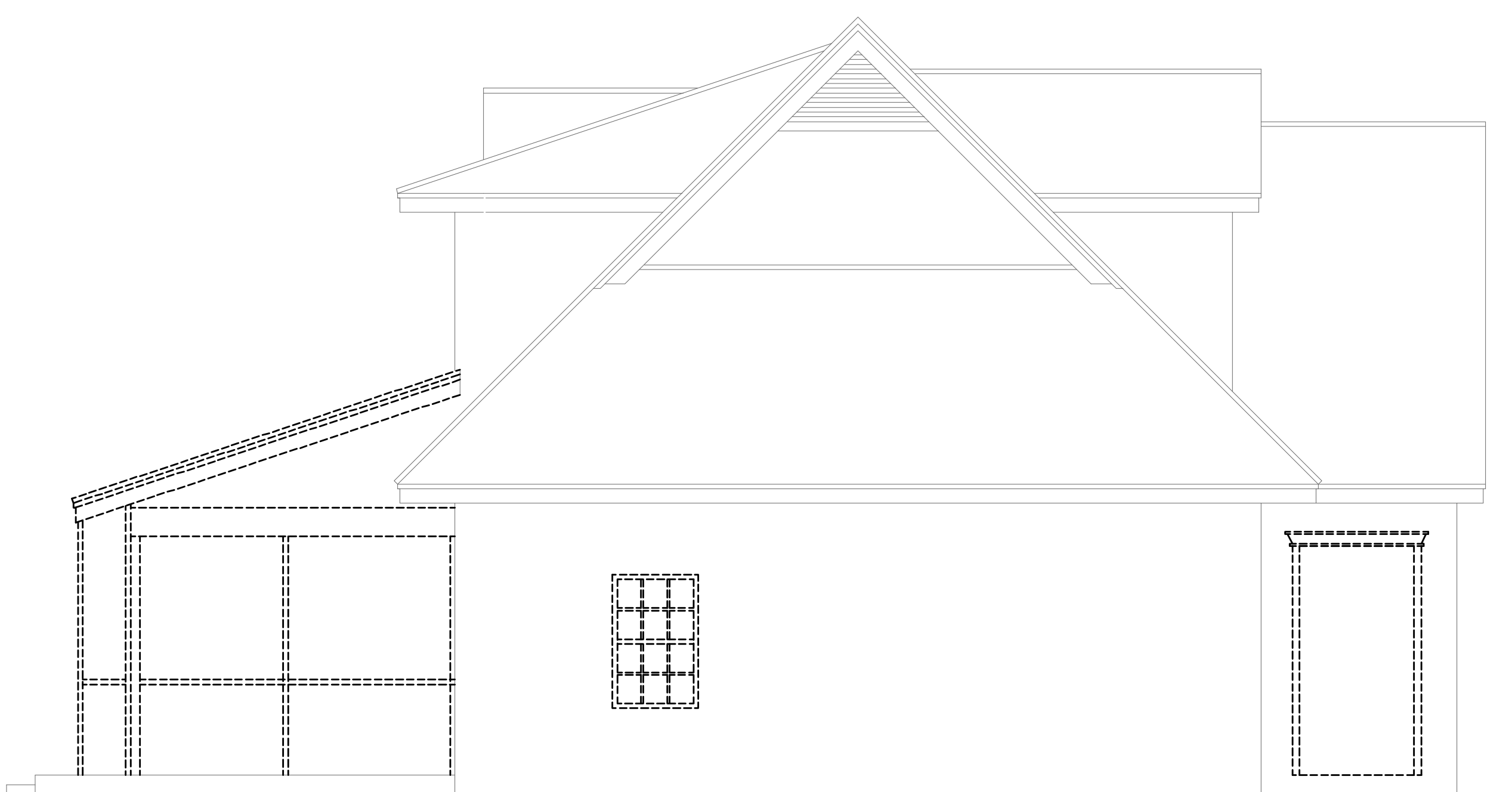
FRONT ELEVATION
EXISTING 1/4" = 1'-0"



RIGHT ELEVATION
EXISTING 1/4" = 1'-0"



REAR ELEVATION
EXISTING 1/4" = 1'-0"



LEFT ELEVATION
EXISTING 1/4" = 1'-0"

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VERIFY INTERIOR FINISH LEVELS WITH OWNER
VERIFY A/C & ELECTRICAL LOCATIONS, AND UPGRADE REQUIREMENTS

PRIOR TO DEMO, IF THERE ARE ANY DISCREPANCIES
OR FIELD CONDITIONS DIFFER FROM PLANS
CONTRACTOR TO NOTIFY ENGINEER OF ANY STRUCTURAL CHANGES
TO RECEIVE WRITTEN CLARIFICATION, PRIOR TO CONSTRUCTION

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EXISTING
ELEVATIONS

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ADD SHAKE SIDING
TO MATCH HOUSE

ADD METAL ROOF OVERHANG 4' WITH BRACKETS
POST DETAIL TO COMPLIMENT STYLE



SETBACK / COVERAGE WORKSHEET

For Single Family Zoning Districts (R-1A, R-1AA & R-1AAA)¹

Address:

Lot width²:

Submitted by:

Lot area³:

	Maximum % Allowed ⁴	Existing Area ⁹	Maximum Allowed Area	Additional Proposed Area ⁹	New Total Area
IMPERVIOUS LOT COVERAGE	INCLUDE: building footprint, driveways, sidewalks, patios, swimming pools, A/C pads, artificial turf, etc.				
	50%				

FLOOR AREA RATIO (F.A.R.)	INCLUDE: First and second floors, garages/carports, attic areas with permanent access, stair areas on both floors, areas on second floors which are open to the first floor ⁵ , and accessory buildings. EXCLUDE: pool screen enclosure areas and certain open front, side and rear porches ⁶ .				
	Lots 12,500 sq. ft. or less: 40%				
	Lots over 12,500 sq. ft.: 35% or 5,000 sq.ft., whichever is greater				

Attic Area(s)⁷	3% FAR⁸				
----------------------------------	---------------------------	--	--	--	--

FRONT YARD LANDSCAPE COVERAGE	INCLUDE: Count all landscaped green areas EXCLUDE: hard surfaces and all driveway surfaces (pervious & impervious).				
FRONT LOT AREA	50%				

NOTES:

1. Windsong & Waterbridge may use these standards, except lot types A, B, & C in Windsong.
2. Lot width is measured at the front building line across the lot. The building line is located at the required front setback for vacant lots or the front building wall, closest to the street for existing homes.
3. Submerged lands or land located across the street shall not be included.
4. Percentage based on the lot area.
5. Vaulted and cathedral ceiling areas count twice if the height from the floor to the ceiling is 17.5 feet or greater.
6. The area of open front porches and entries may be excluded from the gross floor area subject to a maximum excluded area of 400 square feet. The area within open or screened rear and/or side porches, lanais, porte cocheres or other covered areas may be excluded from the gross floor area up to 500 square feet in total for all areas.
7. Attics are defined as the space enclosed within the roof structure of a building accessed by a pulldown ladder. Spaces or rooms on the same floor as living areas, which are more than five (5) feet in height, are not included in the definition of attic, and therefore count towards FAR. Attic areas are not to be habitable areas but shall serve only as storage areas or for mechanical equipment. Attics shall not contain plumbing fixtures or finished room areas. Attics shall have minimal lighting and air-circulation fans.
8. Any living area directly within the roof slope(s) not accessed by a pulldown ladder, that is over five (5) feet in height, is permitted up to an additional three percent (3%) of the maximum floor area ratio allowed for the lot. These areas include bonus rooms, air-conditioned storage areas, etc. In addition, dormers or windows above the second-story may only face the public right-of-way. Homes with a mansard, gambrel, or flat roof types may not utilize this exception. This area shall also comply with the Building Code.
9. **These columns only apply to existing homes.**

SETBACKS

	Minimum Allowable Dimensions		Existing		Proposed	
FRONT	20% of the lot depth or existing setback ¹ , whichever is greater ²					
SIDES ³			Left	Right	Left	Right
	1st Floor	30% of lot width ^{4,5}				
	2nd Floor	40% of lot width ^{4,5}				
REAR ^{3,6}	1st Floor	25 ft.	77'-9"		50'-8"	
	2nd Floor	35 ft				
	Lakefront	see note 7				
CORNER LOT (street-side yard)	Lot width of 70 ft. or less	15 ft.				
	Lot width over 70 ft.	20 ft.				
BUILDING HEIGHT ^{8,9,10}	Lots 12,500 sq. ft. or less	32 ft.				
	Lots over 12,500 sq. ft.	35 ft.				

Notes:

1. The existing front setback shall be calculated using the front setback of the existing home or the most recently demolished home, that conformed with the then applicable front setback requirement when constructed.
2. Lot depth is the average distance measured perpendicular to the front lot line and the rear lot line.
3. Any building wall that exceeds 12 ft. in height measured from existing grade to top of the wall plate must meet the setbacks for the second floor.
4. Lot width is measured at the building line across the front of the existing or proposed home.
5. Side setbacks shall be equally divided on each side of the lot, unless otherwise specified in the code.
6. Rear setbacks for properties abutting non-residential zoned, R-3/R-4, or a permanent stormwater retention area over 25 ft. in width may be 10 ft. Lots that are 75 ft. deep or less may utilize a first floor rear setback of 10 ft. and a second floor rear setback of 20 ft. Lots which are 115 ft. deep or less may utilize a first floor setback of 15ft and a second floor setback of 25 ft.
7. **Requires Planning & Zoning Board approval.** Lakefront setback is based on the average setback establish by the adjacent residences or 50 ft., whichever is greater, measured from ordinary high water line.
8. Building height is the vertical distance measured from the average elevation of the existing lot grade measured directly adjacent to the front of the building or proposed building.
9. Roofs with a pitch of 2:12 or less shall be a maximum of 28 ft.
10. Properties or lots exceeding 50,000 square feet in size with at least 100-ft. width at the building line may be permitted building heights up to 40 ft. if all side setbacks are increased to 35 ft.