



Planning & Zoning Board Regular Meeting

Agenda

November 4, 2025 @ 5:00 PM

City Hall Commission Chambers
401 S. Park Avenue

welcome

Agendas and all backup material supporting each agenda item are accessible via the city's website at cityofwinterpark.org/meetings/ and include virtual meeting instructions.

assistance & appeals

Persons with disabilities needing assistance to participate in any of these proceedings should contact the City Clerk's Office ([407-599-3277](tel:407-599-3277)) at least 48 hours in advance of the meeting.

"If a person decides to appeal any decision made by the Board with respect to any matter considered at this hearing, a record of the proceedings is needed to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based." (F.S. 286.0105).

please note

Times are projected and subject to change.

1. Call to Order

2. Consent Agenda

- a. Minutes of October 7, 2025. 1 minute

3. Public Comments (for items not on the agenda): Three minutes allowed for each speaker

4. Public Hearings (Public participation and comment on these matters must be in person.)

- a. SPR #25-13. Request of Shravan Kandula and Savina Aneja for: Approval to construct a new, two-story, 6,440 square-foot, single-family home located at 2020 Venetian Way on Lake Maitland, zoned R-1AAA. 5 minutes
- b. SUB #25-03. Request of Mollie and Andrew Samaan for: Approval to divide the property at 1210 Alberta Drive, zoned R-1AA, into two separate lots. 15 minutes
- c. ZTA #25-05. Request of The City of Winter Park for: An Ordinance to create a new Section 58-98 to establish regulations and procedures for certified recovery residences requesting reasonable accommodation as required by Chapter 2025-182, Laws of Florida. 5 minutes
- d. ZTA #25-04. Request of The City of Winter Park for: An Ordinance to amend Chapter 58, "Land Development Code"; Revising Article III, "Zoning," Section 58-64, "Nonconforming Lots, Nonconforming Uses, And Nonconforming Structures," to update regulations relating to structural renovation and valuation thresholds; and Amending Article V, "Environmental Protection Regulations," Division 1, "Stormwater Management," to revise performance standards for new development and redevelopment, establish a stormwater utility fee in lieu option for small sites, and update technical and design standards. 15 minutes

5. Action Items

6. Non-Action Items

7. Staff Updates

8. Board Comments

9. Upcoming Agenda Items

10. Adjournment



Planning & Zoning Board

agenda item 2.a

item type

Consent Agenda

meeting date

November 4, 2025

prepared by

Mary Bush, Administrative Coordinator IV

approved by**subject**

Minutes of October 7, 2025.

motion | recommendation**background****alternatives | other considerations****fiscal impact****attachments**

1. Draft Planning & Zoning Board Regular Meeting Minutes



Planning & Zoning Board Regular Meeting Minutes

October 7, 2025 at 5:00 PM

City Hall Commission Chambers
401 S. Park Avenue

Present

Alex Stringfellow, David Bornstein, Jason Johnson, Charles Steinberg, Michael Dick, Vashon Sarkisian

Absent

Bill Segal

Staff Present

City Attorney Dan Langley, Director of Planning and Zoning Allison McGillis, Asst. Director of Planning and Zoning/Zoning Official John Harbilas, Planner II Nicholas Lewis, Planner I Corrinna Lundgren

1. Call to Order

Chairman Johnson called the meeting to order at 5:00 p.m.

2. Consent Agenda

- a. Approve the minutes of September 2, 2025.

No one from the public wished to speak. The public hearing was closed.

Motion made by David Bornstein, seconded by Michael Dick, for approval of the September 2, 2025, meeting minutes with an amendment to adjust the language used regarding recommendation of a motor court approach to reflect that it was not a recommendation but merely a suggestion.

The motion carried unanimously by a 6-0 vote. (Bill Segal was absent from the meeting.)

3. Public Comments (for items not on the agenda): Three minutes allowed for each speaker

No one from the public wished to speak. The public hearing was closed.

4. Public Hearings (Public participation and comment on these matters must be in person.)

- a. SPR #25-12. Request of James Hobson with S&W Kitchens for

approval to construct a second-story addition, totaling 1,174 square feet, to the existing single-family home, located at 1727 Lake Berry Drive, zoned PURD. **The applicant has requested to table this item until next month, November 7, 2025.**

Mr. Lewis informed the Board that the applicant had requested to table the item to the next regular meeting on November 7, 2025.

- b. SPR #25-11. Request of Kamran and Mina Khosravani for approval to construct a new, two-story, 10-407 square-foot, single-family home located at 3 Isle of Sicily on Lake Maitland, zoned R-1AAA.

Mr. Lewis provided a summary of the request. He noted that staff had received letters of approval from both adjacent neighbors to the property. He then discussed the existing and proposed setbacks for the property. He indicated that the applicant was seeking first-floor side setbacks of 10 feet on the south side and 12.4 feet on the north side in lieu of the required first-floor side setback of 28 feet. Additionally, the applicants requested a 26-foot front setback in lieu of the required 44-foot front setback for an inward-facing garage. He also indicated that the applicants were foregoing the option for a swimming pool to put the house basically back where it currently exists. Mr. Lewis then reviewed the lakefront review criteria and noted that the city's retention requirements were being met, the applicants were proposing to remove one existing oak tree and one existing myrtle tree in the middle of the property and within the building pad, and that the traditional viewshed of both adjacent neighbors and the view from the lake would not be significantly impacted.

Staff recommendation was for approval with the following condition:

- That the 16-inch caliper oak and 10-inch caliper myrtle trees requested for removal be fully mitigated through the City's Urban Forestry Tree Removal Permit program.

Discussion ensued about whether the 16-inch oak in the front of the property is a laurel or live oak, clarification of any impact to the viewshed of the adjacent neighbors,

The applicant, Randall Slocum of Slocum Platts Architects, 670 N. Orlando Avenue Ste. 1001, Maitland, FL 32751, was present to answer any questions from the Board.

No one from the public wished to speak. The public hearing was closed.

A few members of the Board shared their thoughts on the request.

Motion made by Michael Dick, seconded by Alex Stringfellow, for approval to

construct a new, two-story, 10-407 square-foot, single-family home located at 3 Isle of Sicily on Lake Maitland, zoned R-1AAA, with the following condition:

- **That the 16-inch caliper oak and 10-inch caliper myrtle trees requested for removal be fully mitigated through the City's Urban Forestry Tree Removal Permit program.**

The motion carried unanimously by a 6-0 vote. (Bill Segal was absent from the meeting.)

- c. CU #25-03. Request of Houseman Architecture for: Conditional use approval to demolish the existing, 5,421-square foot, two-story building located at the front of the Winter Park Racquet Club property located at 2011/2111 Via Tuscany in order to construct a new one-story, 6,300-square foot building. **Tabled from the September 2, 2025, meeting.**

Mrs. McGillis provided a summary of the request, noting that it had been initially heard but tabled at the September 2, 2025 meeting to allow the applicant to address concerns with parking, building façade, and landscaping. She indicated that since the September meeting the applicant had revised the design to a one-story building just under 22 feet further back from the Via Tuscany frontage. She also indicated that the applicant removed the parking up front and replaced it with a driveway that has an entrance point on Via Tuscany and exits onto Tom Gurney Drive and added one handicap space in the grass parking lot of the project. She then noted that the applicant had updated their landscaping plan to match their site plan, added additional landscaping at the front of the entrance, and removed the hedge that was along the front. Mrs. McGillis then presented the applicant's proposed architecture as well as architecture that had been submitted by a neighbor to the property. She explained that the applicant had combined the two into their revised submittal.

Staff recommendation was for approval with the following conditions:

- The curb-cut on Via Tuscany be an entrance-only access point.
- WPRC shall not increase its membership as part of this request.
- Hours of operation of the new building be limited to 7:00 a.m. to 8:00 p.m. daily, including deliveries.
- No new lighting be provided in the grass parking lot and any lights within the new parking lot shall be provided using low-scale bollard fixtures rather than traditional pole-mounted lights.
- All non-required lights for safety purposes be shut off by 10:00 p.m. daily.
- As part of the tree removal permit for the 25 and 27-inch oaks, double the required compensation shall be required, at four six-inch canopy trees, subject

to Urban Forestry approval and shall be planted at least 15-feet from the southern property line wall/fence.

Discussion ensued regarding the width of the driveway in front of the existing house, the width of the road in front of the proposed building, parking on the driveway, how the city would be able to enforce the proposed conditions of approval, and the length of the driveway.

The applicant's representative, Rob Carter who is a past president of the Winter Park Racquet Club, addressed the Board. Mr. Carter provided a quick background of the application and noted that the concerns that had been previously brought up by the Board and the public had been taken very seriously and so the applicant had revised the plans accordingly. He then reviewed the revisions in detail. He then noted that the club was not a commercial facility and that it was a private, member-only club of which a significant number of members live in the neighborhood. He then went on to discuss the traffic, parking, and membership concerns noting that the membership was capped.

The applicant's architect, Mike Houseman of Houseman Architecture at 1201 South Orlando Drive, Winter Park, Florida, 32789 addressed the Board. Mr. Houseman discussed the changes made to the architectural plan. He spoke about the Spanish Mediterranean details, particularly the windows, tile roof, and potted plants. He also spoke about the landscape details which include ground lighting.

Discussion ensued about parking expectations, the applicant's rationale for increasing the driveway width from 12 feet to 20 feet, and the amount of proposed pavers.

The Board heard public comment from the following residents:

In favor:

Clay Coward of 1960 Via Contessa, Winter Park, FL 32789; Rob Tazioli of 2235 Via Tuscany, Winter Park, FL 32789; John Hall of 739 Antonette Avenue, Winter Park, FL 32789; Brandon Hueber of 2433 Via Tuscany, Winter Park, FL 32789; and Amber Davis of 2050 Versailles Avenue, Winter Park, FL 32789.

Opposed:

Scott Greenberg of 2050 Via Tuscany, Winter Park, FL 32789; Marci Greenberg of 2050 Via Tuscany, Winter Park, FL 32789; Susanne Walker of 1120 Tom Gurney Drive, Winter Park, FL 32789; Wendi Peterson of 2150 Via Tuscany, Winter Park, FL 32789; Chris Peterson 2150 Via Tuscany, Winter Park, FL 32789; Carolyn Branner of 711 Bonita Drive, Winter Park, FL 32789; Hilary Turner of 1214 Via Estrella, Winter Park, FL 32789; Nancy Freeman of 1055 Tuscany Place, Winter Park, FL 32789; Barry Render of

2630 Via Tuscany, Winter Park, FL 32789; Mark Medei of 2036 Via Tuscany, Winter Park, FL 32789; and Anthony Astarita of 790 Pinetree Road, Winter Park, FL 32789.

No one else from the public wished to speak. The public hearing was closed.

Mr. Carter addressed the Board. He spoke about the effort that the applicant had put into resolving the concerns of the Board and the public throughout the application process and urged the Board to make their decision based solely on the city's code of standards for compatibility in design.

The Board discussed their thoughts about the request. Discussion ensued about permits for the lighting on the tennis and pickleball courts, whether conditions had been applied to the use of the existing house, narrowing the front driveway, maintaining and screening the storage facility on the property, lighting restrictions, having the photometric study extend the length of Via Tuscany, and whether renovating the existing house would have triggered a conditional use requirement.

Motion made by Alex Stringfellow, seconded by David Bornstein, for conditional use approval to demolish the existing, 5,421-square foot, two-story building located at the front of the Winter Park Racquet Club property located at 2011/2111 Via Tuscany in order to construct a new one-story, 6,300-square foot building, with the following conditions:

- **The curb-cut on Via Tuscany shall be an entrance-only access point.**
- **WPRC shall not increase its membership as part of this request.**
- **Hours of operation of the new building be limited to 7:00 a.m. to 8:00 p.m. daily, including deliveries.**
- **No new lighting be provided in the grass parking lot behind the new building.**
- **All non-required lights for safety purposes be shut off by 10:00 p.m. daily.**
- **As part of the tree removal permit for the 25 and 27-inch oaks, double the required compensation shall be required, at four six-inch canopy trees, subject to Urban Forestry approval and shall be planted at least 15-feet from the southern property line wall/fence.**
- **Narrow the proposed driveway to 12 feet in width at the entrance on Via Tuscany and the exit onto Tom Gurney Drive for a depth of 20 feet, then the width of the middle portion of the driveway may be a maximum of 14 feet.**
- **Conduct a comprehensive photometric analysis of the entire WPRC campus to confirm that all lighting is fully shielded at the property boundaries and implement any necessary measures to eliminate light spillover onto adjacent properties.**

- **Shut off all pickleball lights by 8:00 p.m. daily.**

Motion carried by a 5-1 vote. (In Favor: Vashon Sarkisian, Alex Stringfellow, David Bornstein, Michael Dick, and Charles Steinberg. Opposed: Jason Johnson. Bill Segal was absent from the meeting.)

- d. CU # 25-02. Request of Kimley Horn and Associates, Inc. for: Conditional use approval to construct a 27,000 square foot, two-story building, located at the combined property of 1419 & 1421 Trovillion Ave, and 1420, 1424, & 1428 Gay Road, for use as a medical office.

Mr. Harbilas provided a summary of the request. He indicated that in 2019, a conditional use, along with subsequent FLU and rezoning change, was approved on the property for a 25,000 square foot office building. He added that the approved plan included a single driveway entry off Gay Road, as well as a 6-foot masonry perimeter wall and lush landscape buffer area specifically along the west and south boundaries. He noted that since then the property boundary had been extended a little bit to the east by an additional parcel, 1420 Gay Road, and that most of the parking would be located on the back side of the property. He then indicated that there are two competing easements that exist on the property line; a utility easement that belongs to the city and a Duke Energy easement for overhead power lines. He explained that the competing easements would not allow for a 6-foot masonry perimeter wall, so the agreed-upon solution was a fence along with the lush landscape buffer. Mr. Harbilas then reviewed the applicant's proposed elevations and noted that the applicant was also seeking a variance for a wall sign to be placed on the frontage, which does not face a right-of-way or parking lot. He added that a variance for the required landscape island every 10 parking spaces was also being requested due to the location of an existing power pole on the property. He then went over the conditions of approval for the request. The conditions addressed illumination of the building and ground signage, new sidewalks on the right-of-ways, traffic-calming on Executive Drive and Gay Road, the size of the proposed vegetation hedge material, and additional tree plantings.

Staff recommendation was for approval with the following conditions:

- All building and ground signage shall not be internally illuminated.
- Applicant to replace the existing sidewalk along Gay Road with a new eight (8) foot sidewalk and add a sidewalk along the Trovillion Avenue frontage.
- Applicant to coordinate with Public Works related to installation of traffic-calming improvements along Executive Dr. and Gay Rd.
- Perimeter vegetation hedge material to be 15 gal in size upon installation.
- Maples proposed along Gay Rd frontage to be replaced with Red Cedar of similar size. 6. Three canopy trees and four understory trees to be planted along east

building façade.

Discussion ensued regarding when the current applicant acquired title to the property compared to when the two easements were recorded, whether the stormwater would be underground, the connectivity of the pedestrian connection, the applicant's additional request for east-facing signage, what would be located behind the fence and vegetation buffer, the lack of on street parking bordering the property, whether Gay Road would be the only point of ingress and egress, whether signs had been allowed on the side of other buildings in the city, whether it benefits the city to have the property's access point restricted to Gay Road, having an access point on the south side of the property, and the reasoning for the condition of additional sidewalk along Trovillion Avenue.

The applicant's representative, Aaron Bottenhorn, Assistant Vice President of Orlando Health, at 1414 Kuhl Avenue, Orlando, Florida, 32806 addressed the Board. Mr. Bottenhorn noted that they did not yet own the property but were under contract to buy it. He then spoke about the history of the Jewett Orthopedic Clinic, the design elements of the proposed building, the services provided by the clinic, the access point of the property, the proposed parking and sidewalks, the buffers and screening for the property, the proposed signage, the building heights on adjacent properties, and the proposed stormwater retention. Mr. Bottenhorn noted that the proposed clinic will have significantly more parking per square footage than the existing clinic on Orange Avenue has. He went on to review the proposed elevations. Discussion then ensued with the Board regarding the proposed signage and hours of operation.

The applicant's representative, James Taylor, a Traffic Engineer with Kimley-Horn at 189 South Orange Avenue, Orlando, FL 32806 addressed the Board. Mr. Taylor responded to Board questions regarding the traffic impact at the intersection of Gay Road and U.S. 17-92.

The Board heard public comment from the following residents:

Did not confirm their favor or opposition to the request:

Anne-Marie Burns of 560 Killarney Bay Court, Winter Park, FL 32789; and Paula White of 595 Lakefront Boulevard, Winter Park, FL 32789.

Opposed:

Bradley Morris of 1500 Gay Road, Winter Park, Florida, 32789.

No one else from the public wished to speak. The public hearing was closed.

Mr. Bottenhorn addressed the Board in response to the comments made by the public. He noted that one of the conditions that was discussed with the city was the traffic-calming that would be installed on Executive Drive and also on Country Club Drive to prevent people from cutting through the neighborhoods.

Discussion ensued regarding possible changes to the traffic study done by Kimely-Horn if Gay Road was closed, the impact of peak traffic times for the commercial properties versus the residential properties in the area, staff schedules in relation to increased traffic times, and the sidewalk between Gay Road and Trovillion Avenue.

The Board then shared their thoughts about the request. They expressed overall approval for removing the additional sidewalk requirement along Trovillion Avenue and the north-south sidewalk on the west side of the property.

Motion made by Alex Stringfellow, seconded by David Bornstein, for conditional use approval to construct a 27,000 square foot, two-story building, located at the combined property of 1419 & 1421 Trovillion Ave, and 1420, 1424, & 1428 Gay Road, for use as a medical office, with the following conditions:

- **All building and ground signage shall not be internally illuminated, and any other signage illumination be restricted to occur only during business hours.**
- **Applicant to replace the existing sidewalk along Gay Road with a new eight (8) foot sidewalk.**
- **The Applicant shall coordinate with the Public Works Department to provide traffic calming improvements on Executive Drive and Gay Road during the building permit phase, such improvements will be required to be completed prior to the CO for the building, and will count towards MMTIF credits.**
- **Perimeter vegetation hedge material to be 15 gal in size upon installation.**
- **Maples proposed along Gay Rd frontage to be replaced with Red Cedar of similar size.**
- **Three canopy trees and four understory trees to be planted along east building façade.**
- **Perimeter fence material be vinyl or metal panel, six feet in height.**

The motion carried unanimously by a 6-0 vote. (Bill Segal was absent from the meeting.)

5. Action Items

6. Non-Action Items

7. Staff Updates

8. Board Comments

9. Upcoming Agenda Items

10. Adjournment

The meeting adjourned at 8:20 p.m.

ATTEST:

/s/ Mary Bush, Board Secretary



item type

Public Hearings (Public participation and comment on these matters must be in person.)

meeting date

November 4, 2025

prepared by

Nicholas Lewis, Planner II

approved by

Allison McGillis, Director of Planning and Zoning

subject

SPR #25-13. Request of Shravan Kandula and Savina Aneja for: Approval to construct a new, two-story, 6,440 square-foot, single-family home located at 2020 Venetian Way on Lake Maitland, zoned R-1AAA.

motion | recommendation

Staff recommendation is for approval, subject to the following condition(s):

- 1) That the trees requested for removal be fully mitigated through the City's Urban Forestry Tree Removal Permit Program.

background

The applicants and homeowners, Shravan Kandula and Savina Aneja, are requesting approval to construct a new, two-story, 6,440 square-foot home located at 2020 Venetian Way on Lake Maitland. The property is zoned R-1AAA, and the unsubmerged portion of the property is 24,253 square feet in size. The proposed impervious lot coverage of 9,449 square feet is 39% of the total lot, which is under the maximum 50% as the code allows. The maximum Floor Area Ratio for properties over 12,500 square feet is 35% of the lot area, or 5,000 square feet, whichever is greater. The applicants' proposal is 6,440 square feet, which is under the maximum 8,488 square feet, meeting this requirement.

Lakefront Lot Review Criteria:

Tree Preservation

The purpose and intent of the lakefront lots section of the code states that existing trees shall be preserved to the degree reasonably possible. There are 22 trees on the property, including 11 cypress trees in the front yard, 11 cypress trees in the rear yard, and one large magnolia in the rear yard. Of the 22 trees, the applicants are requesting the removal of the three closest cypress trees to the proposed pool deck. Urban Forestry's assessment concluded that removal of the three trees would be warranted. The two trees on the north side of the pool deck are

strangled by their current location between the existing structure and planter walls. The tree on the south side of the pool deck is a double-trunk cypress that is splitting down the middle. All three will be significantly impacted by the demolition.

View from the Lake

The code direction is to minimize the height and extent of stem walls or retaining walls facing the lake. Generally, the policy does not permit walls/swimming pool decks facing the lake in excess of three feet in height. This plan complies with that provision. The lot is relatively flat, and no such component is being proposed.

Traditional Views of Neighbors

The code direction is to minimize the degradation of traditional views across properties by new houses, additions, second-story additions, etc., alongside property lines toward the lake that may block traditional views of the neighbors.

The required lakefront setback is made up of the average of the two waterfront structures neighboring the subject property. In this instance, the average of the two neighbors is 75 feet. The applicants are proposing a 78-foot setback, and, due to the curvature of the lake's edge, it is behind both neighboring structures.

Stormwater Retention

The code requires the retention of stormwater. The amount of impervious surface on the lot determines the needed depth/size of the retention. In this case, the applicants are proposing multiple large dwale areas along the side yards to meet this requirement. Additionally, the large number of cypress trees on the lot provides a lot of excess, natural retention on the subject property.

Summary

Overall, the plans meet the intent of the lakefront review criteria.

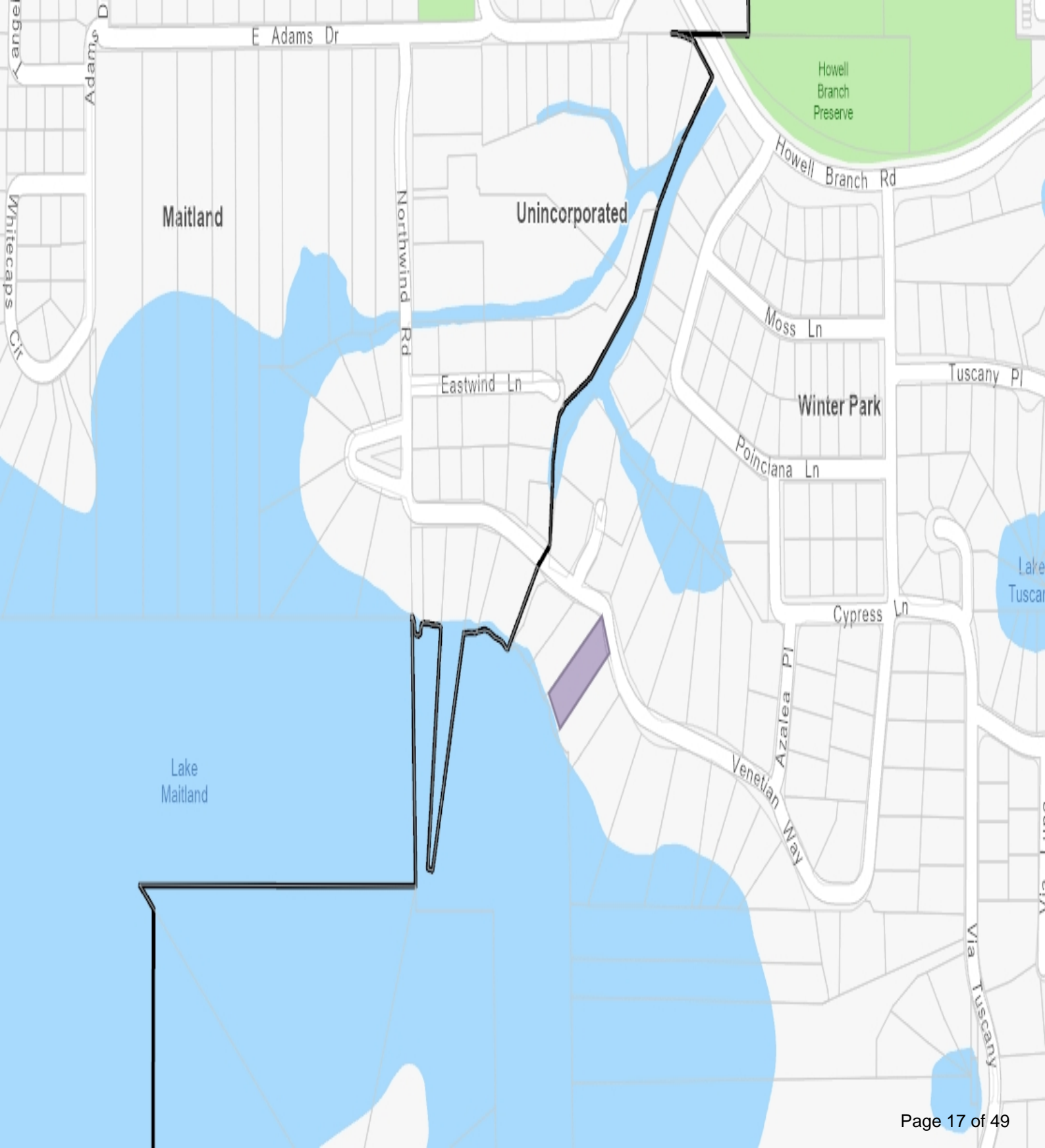
alternatives | other considerations

fiscal impact

attachments

1. 2020 Venetian Way - Area Map
2. 2020 Venetian Way - Aerial Map
3. 2020 Venetian Way - Survey

4. 2020 Venetian Way - Site Plan
5. 2020 Venetian Way - Plan Set



E Adams Dr

Howell Branch Preserve

Maitland

Unincorporated

Howell Branch Rd

Moss Ln

Eastwind Ln

Winter Park

Tuscany Pl

Poinciana Ln

Cypress Ln

Lake Maitland

Venetian Way

Azalea Pl

Via Tuscany



Unnamed Lake

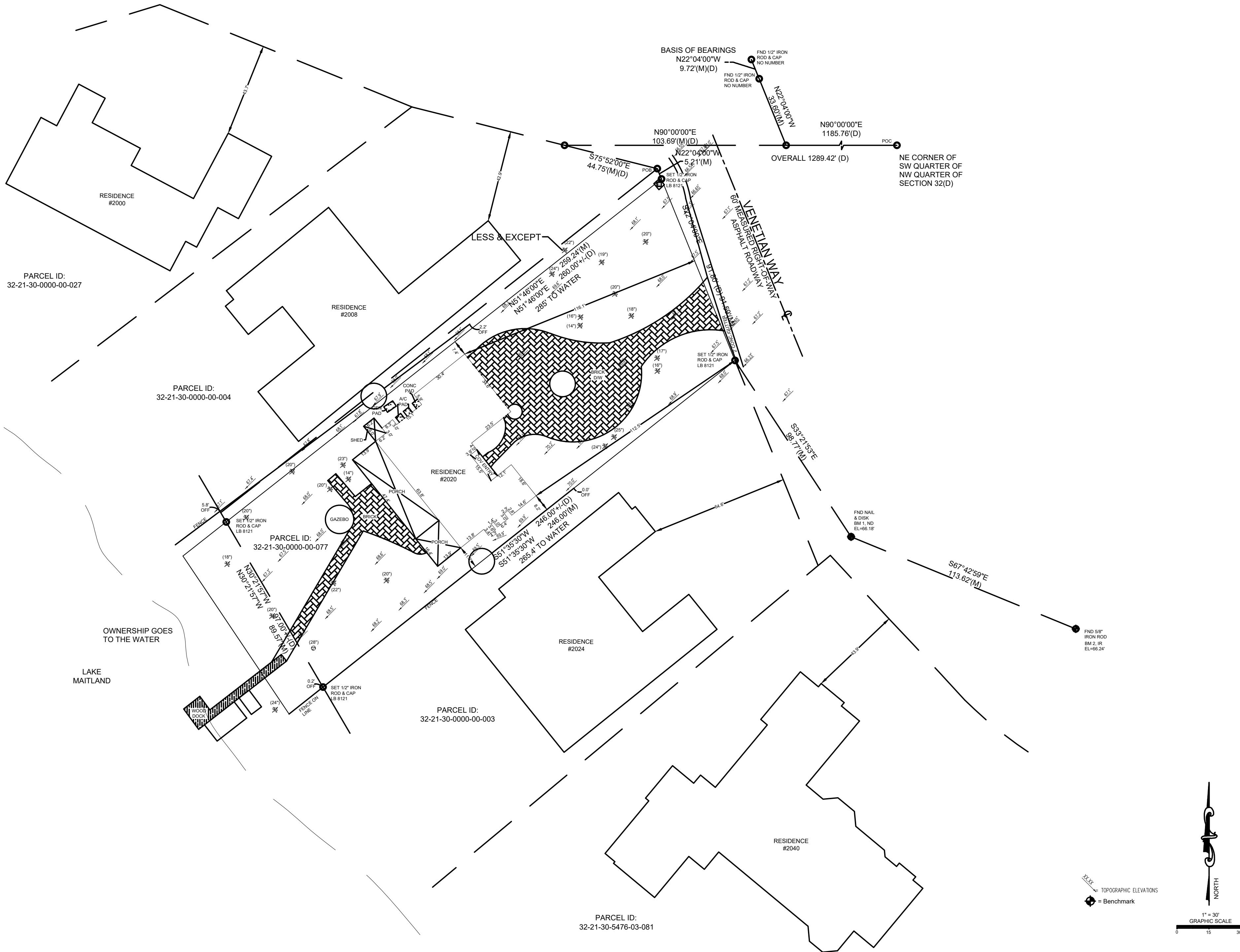
CYPRESS LN

Maitland

Orange County

Winter Park

Lake Maitland



-Site Benchmark Information-

#1

Nail & Disk in Right-of-Way
Elevation = 66.18'

#2

5/8" Iron Rod in Right-of-Way
Elevation = 66.24'

-Benchmark Information-

GPS L-NET DATUM

Based on GPS Observations
(Elevations are based upon NAVD 88 Datum)

Tree Note:
(18") - Diameter of Tree measured at Chest Height
* - Pine Tree
⊕ - Magnolia Tree

LEGEND

- | | | |
|--------------------------------|------------------------------------|-------------------------|
| A/C - Air Conditioner | P - Plat | ♿ - Handicap Parking |
| C - Calculated | P.B. - Plat Book | ⚡ - Metal Light Pole |
| ⊕ - Centerline | PC - Point of Curvature | ⊕ - Well |
| CB - Concrete Block | PI - Point of Intersection | ⊕ - Gas Meter |
| CM - Concrete Monument | P.O.B. - Point of Beginning | ⊕ - Guywire |
| CONC - Concrete | P.O.C. - Point of Commencement | ⊕ - Fire Hydrant |
| COV - Covered | PP - Power Pole | ⊕ - Water Valve |
| D - Description | PRC - Point of Reverse Curvature | ⊕ - Sewer Manhole Cover |
| DE - Drainage Easement | PRM - Permanent Reference Monument | ⊕ - Storm Drain Inlet |
| DUE - Drainage & Utility Esmt | R - Radius | |
| D/W - Driveway | RAD - Radial | |
| ESMT - Easement | R&C - Rebar & Cap | |
| FFE - Finished Floor Elevation | RFD - Roofed | |
| FND - Found | UE - Utility Easement | |
| IP - Iron Pipe | WM - Water Meter | |
| L - Length (Arc) | Δ - Delta (Central Angle) | |
| M - Measured | -□- - Wood/PVC Fence | |
| N&D - Nail & Disk | -○- - Chain Link Fence | |
| N.R. - Non-Radial | | |
| OHU - Overhead Utility Line | | |
| ORB - Official Records Book | | |

- = ASPHALT
 = BRICK
 = CONCRETE
 = PAVERS

LEGAL DESCRIPTION: (AS FURNISHED)

FROM THE NORTHEAST CORNER OF SW 1/4 OF NW 1/4 OF SECTION 32, TOWNSHIP 21 SOUTH, RANGE 30 EAST, RUN WEST ALONG THE NORTH BOUNDARY LINE OF SAID SW 1/4 OF NW 1/4 A DISTANCE OF 1289.45 FEET TO AN IRON PIPE IN THE SOUTH RIGHT OF WAY LINE OF VENETIAN WAY, THENCE SOUTH 75°52' EAST ALONG THE SOUTH RIGHT-OF-WAY LINE OF SAID VENETIAN WAY 44.75 FEET TO THE POINT OF BEGINNING, RUN THENCE SOUTH 22°04' EAST ALONG THE SOUTHWESTERLY RIGHT-OF-WAY LINE OF SAID VENETIAN WAY 96.8 FEET TO A CONCRETE MONUMENT, THENCE SOUTH 51°35'30" WEST ALONG THE NORTHWESTERLY SIDE OF A CONCRETE BLOCK WALL SITUATED ON THE ADJOINING PROPERTY 246 FEET MORE OR LESS TO THE WATERS OF LAKE MAITLAND, THENCE NORTHWESTERLY ALONG THE WATERS OF LAKE MAITLAND 97 FEET MORE OR LESS TO A POINT SITUATED SOUTH 51°46' WEST FROM THE POINT OF BEGINNING, THENCE NORTH 51°46' EAST 260 FEET MORE OR LESS TO THE POINT OF BEGINNING; LESS THE NORTHWESTERLY 5 FEET THEREOF MEASURED AT RIGHT ANGLES FROM THE SIDE LINE.

LIST OF POSSIBLE ENCROACHMENTS: NONE VISIBLE

CERTIFIED TO: (AS FURNISHED)

KRACHT LAW FIRM, P.A.
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
SHRAVAN KANDULA
SAVINA ANEJA
FAIRWINDS CREDIT UNION, ISAOA/ATIMA

NOTES

- Abutting properties have not been researched for gaps, overlaps, and/or hiatus
- In compliance with F.A.C. 61G17-6.0031-4-E, if location of easements or rights-of-way of record other than those on recorded plans, is required, this information must be furnished to the surveyor and mapper
- Fence ownership is not determined
- No underground improvements or structures were located by this survey, unless otherwise noted
- This survey is not a blueprint of the structure, and should not be used as such for construction purposes
- Any septic tank or drainfield locations (if found) are approximate
- Property lines and/or improvements shown were physically located by field survey
- Monuments found or set are shown
- Calculated lines and information are noted by (C)
- Computations of lines and/or data not found are shown as (C)
- Accuracies obtained in this survey are greater than (rural) 1" in 5000', (suburban) 1" in 7500', (commercial) 1" in 10,000'
- Prior to survey, information obtained was legal description provided by client or from publicly published county tax collector site, recorded plats and/or section corner records, if applicable
- If only a digital survey copy is required, a survey report will be placed in file. The digital survey is not full and complete without the survey report file.

FLOOD ZONE INFORMATION
(FOR INFORMATIONAL PURPOSES ONLY)

SUBJECT PROPERTY SHOWN HEREON APPEARS TO BE LOCATED IN FLOOD ZONE X, AREA OUTSIDE OF THE 100 YEAR FLOODPLAIN, AE, INSIDE THE 100 YEAR FLOODPLAIN, AND X500, INSIDE THE 500 YEAR FLOODPLAIN, PER F.I.R.M. PANEL NUMBER 12095C0255F. LAST REVISION DATE 03/07/14

THIS SURVEY IS PREPARED FOR THE EXCLUSIVE USE AND BENEFIT OF THE PARTIES LISTED HEREON. LIABILITY TO THIRD PARTIES MAY NOT BE TRANSFERRED OR ASSIGNED.

JOB NO: 25-04-0148
FIELD DATE: 08/17/25
SCALE: 1"= 30'
DRAWN BY: JRH
FIELD CREW: KD
APPROVED BY: BHH
OPERATING UNDER LB#8121

C:\Logo.JPG

FOR ALL INQUIRIES CONTACT:
Deal Land Surveying, LLC
804 S French Avenue
Sanford, FL 32771
407-878-3796
INFO@dealandsurveying.com

SURVEYOR'S CERTIFICATE

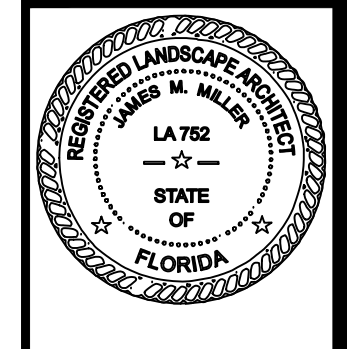
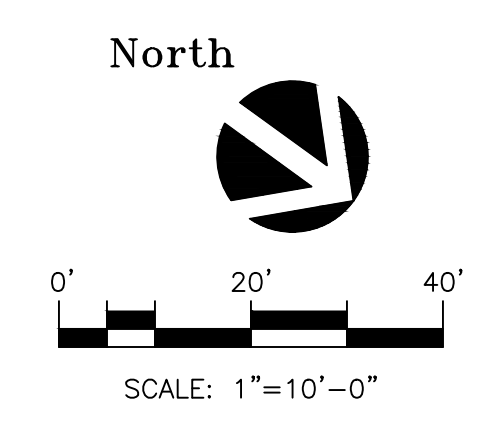
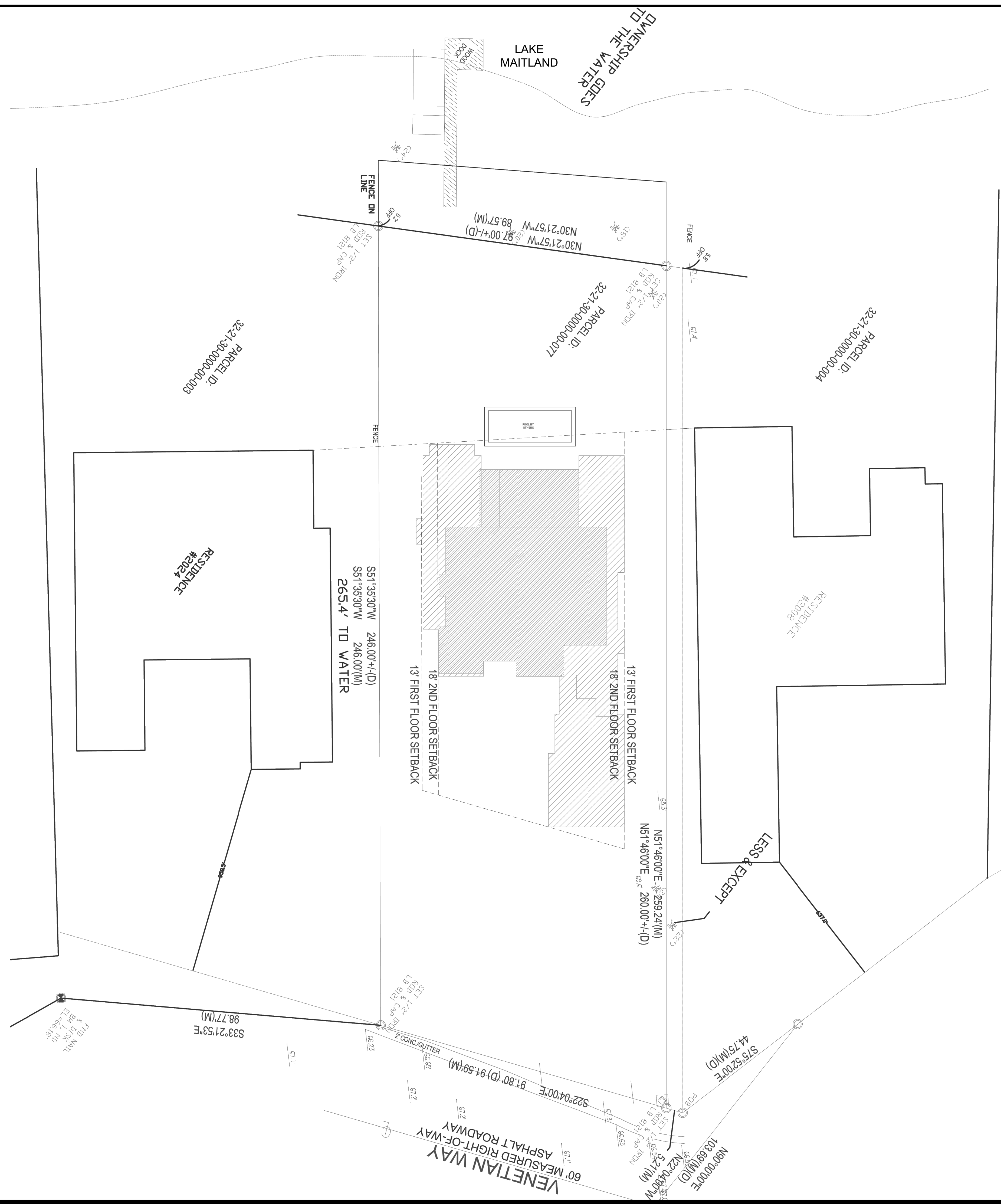
I HEREBY CERTIFY THAT THIS SKETCH OF SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND TO THE BEST OF MY KNOWLEDGE AND BELIEF SAID SURVEY MEETS THE STANDARDS OF PRACTICE SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 5J-17 FLORIDA ADMINISTRATIVE CODE. FURTHER, THIS DOCUMENT IS ELECTRONICALLY SIGNED AND SEALED PURSUANT TO SECTION 472.027 OF THE FLORIDA STATUTES AND CHAPTER 5J-17 OF THE FLORIDA ADMINISTRATIVE CODE.

SIGNED 08/18/25
WAS AUTHORIZED BY BILL H. HYATT, LS 4636
ON THE DATE 08/18/25
SURVEYOR'S NAME: BILL H. HYATT, LS 4636
DEAL LAND SURVEYING, LLC LB 8121
NOT VALID WITHOUT AN AUTHENTICATED ELECTRONIC SIGNATURE
AND AUTHENTICATED ELECTRONIC SEAL

NO.	DATE	REVISIONS
1	8/18/25	ADD TOPO, TREES, ADJ

BOUNDARY & TOPOGRAPHIC SURVEY
OF
2020 VENETIAN WAY
WINTER PARK, FLORIDA 32789

SHEET 1 OF 1



REVISIONS
10/08/2025 REVISED PER ME

DATE: 10-02-2025
 LAKE REVIEW
 SCALE: As Indicated
 DRAWN: SMH
 APPROVED: JMM
 JOB NO: 2514

HARDSCAPE KEY NOTES

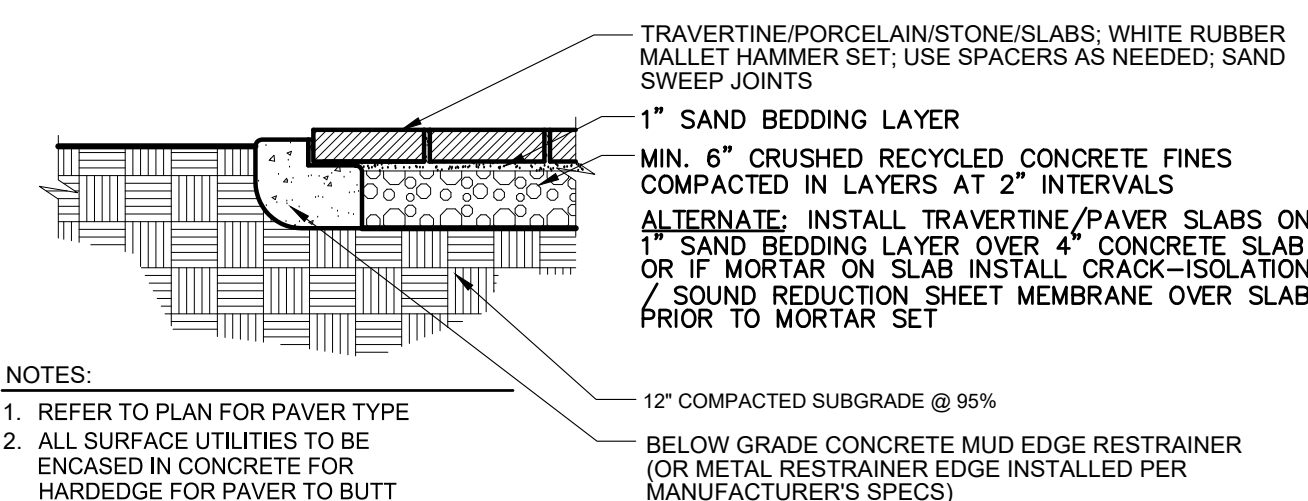
1. CONCRETE PAVER - FIELD: 4" x 8" HERRINGBONE PATTERN @ 45° ANGLE. COLOR: BY OWNER. REFER TO PLAN FOR DIRECTION. PAVER - 4" X 8" PERIMETER/ACCENT BANDS - DOUBLE SOLDIER COURSE ON DRIVE. COLOR: BY OWNER. (SEE DETAIL 1B).
2. CONCRETE APRON, 6" THICK, 3000 PSI. BROOM FINISH. (SEE DETAIL 2-F, 2-A, B, C).
3. 2 - 2" SLEEVES FOR IRRIGATION/SLEEVES FOR LOW VOLT. LANDSCAPE LIGHTING.
4. CONCRETE PAVER - FIELD: 24" X 24" @ 45° ANGLE. COLOR: BY OWNER. REFER TO PLAN FOR DIRECTION. CONCRETE PAVER - " PERIMETER/ACCENT BANDS - 12" X 24" SAILER COURSE. COLOR: BY OWNER (SEE DETAIL 1B).
5. POOL COPING - BULL NOSE. COLOR BY OWNER/POOL BUILDER. STEPS: 6" RISER/12" BULL NOSE TREAD.

NOTES:

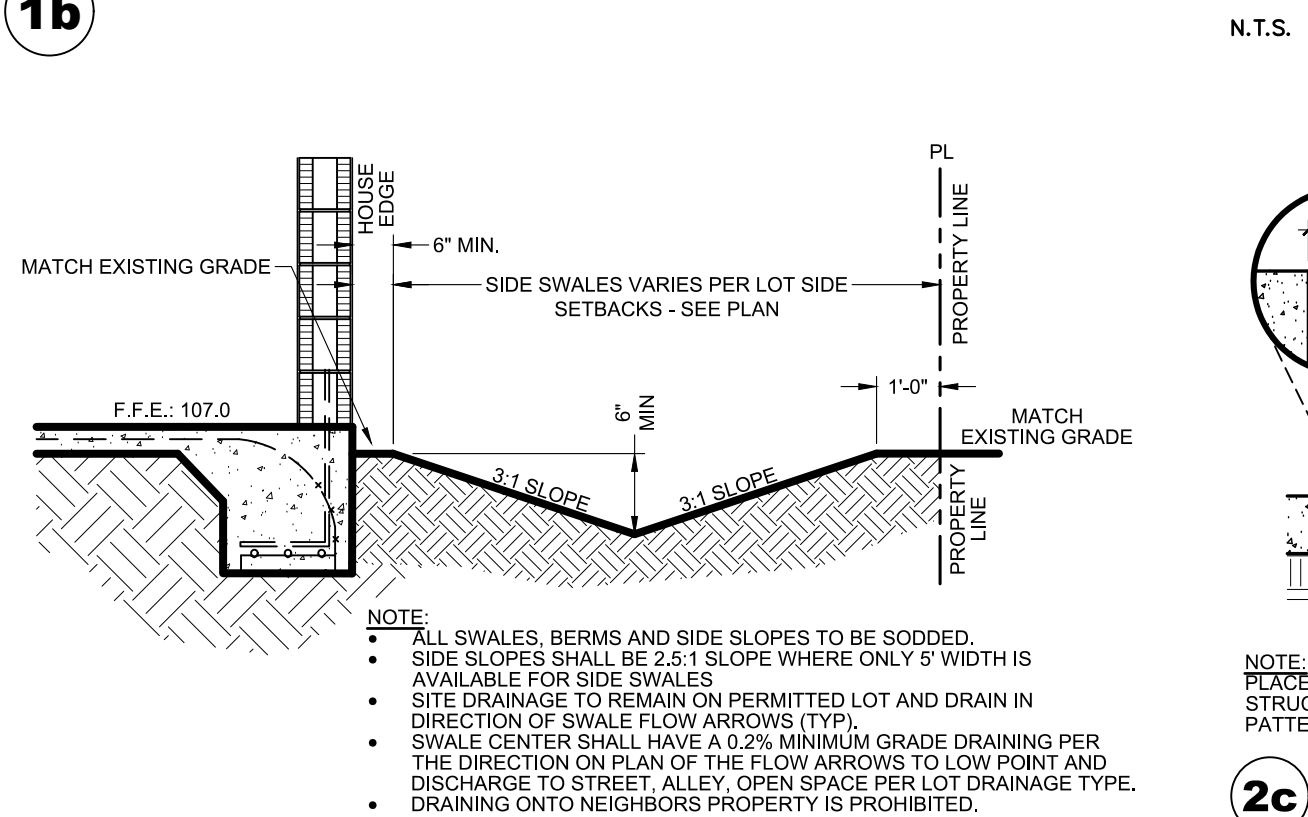
- ALL PAVERS TO HAVE COMPACTED 6" MIN. CRUSHED CONC. FINES WITH 1" SAND LEVELLING ON TOP OF 95% COMPACTED BASE, OR 4" CONC SLAB BASE. SEAL ALL PAVERS, STONE AND COLOR CONCRETE.
- COMPACT SOIL TO 95% FOR PAVER BASE AND AROUND POOL SHELL PRIOR TO CONSTRUCTING DECK/COPING.

DRAINAGE LEGEND:

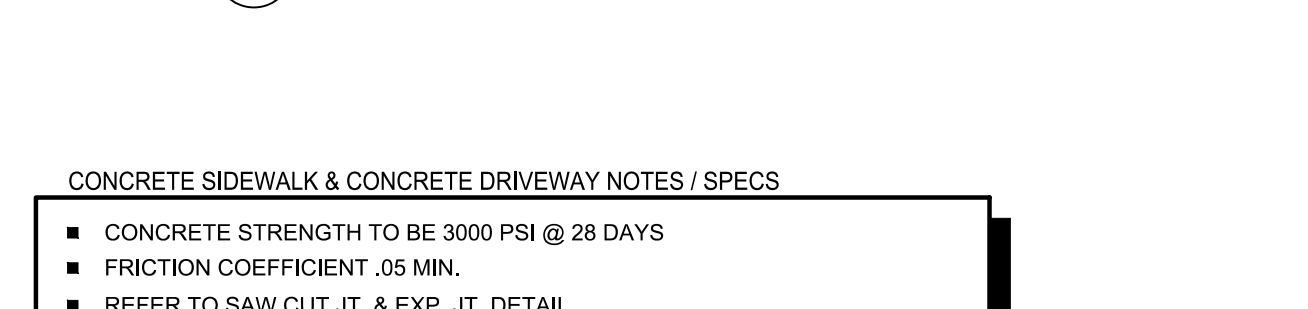
- +84.0 INDICATES PROPOSED SPOT ELEVATIONS
 - INDICATES DRAINAGE FLOW. DRAIN AWAY FROM HOUSE & GARAGE TO STREET, SWALES, COMMON AREAS, AND PONDS. DRAINING ONTO NEIGHBORS PROPERTY IS PROHIBITED.
 - INDICATES SIDE SWALES
 - INDICATES DOWNSPOUTS
 - INDICATES DOWNSPOUT CONNECTED TO STORM DRAIN - 6" HDPE PIPE @ 1% MIN. SLOPE TO 18" X 18" NSD CATCH BASIN TO OUTFALL BOX (OR EQUAL), OUTFALL BOX 10' MIN. FROM PUBLIC ROW. PROVIDE CLEAN OUTS @ EACH DS LOCATIONS.
 - INDICATES OUTFALL BUBBLER
- TYPE 'C' DRAINAGE LOT**



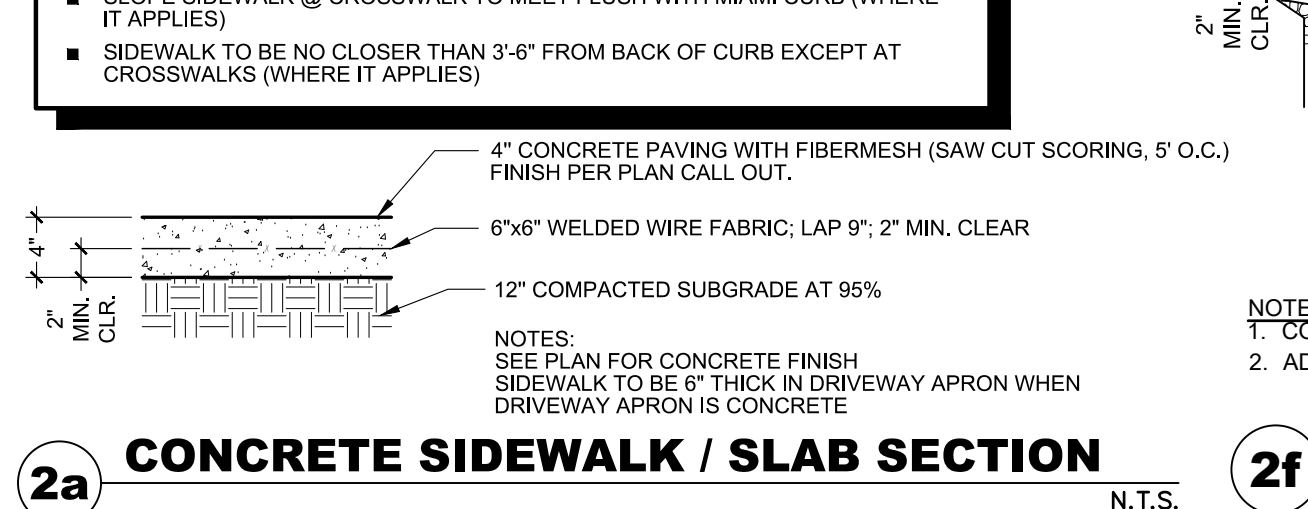
TRAVERTINE / STONE / PORCELAIN PAVER SLAB DETAIL



TYPICAL SIDE SWALE SECTION



CONCRETE DRIVEWAY AND/OR DRIVE APRON



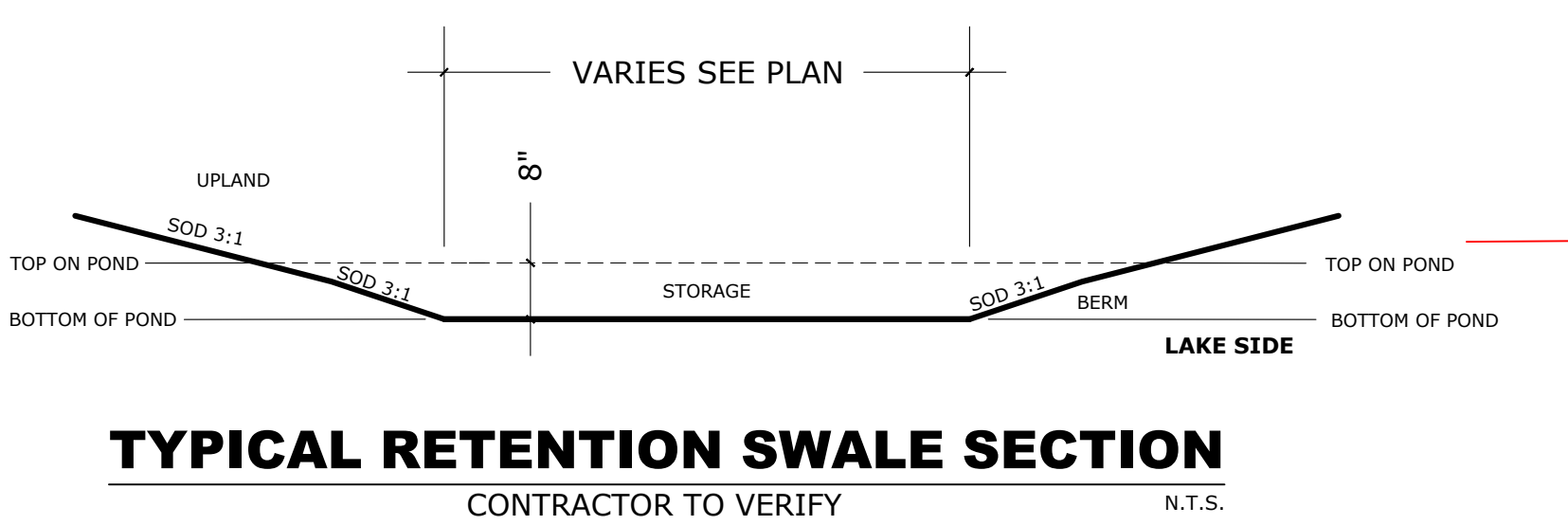
DRAINAGE NOTES:

- ALL ROOF GUTTER DOWNSPOUTS TO DIRECT THE WATER AWAY FROM THE BUILDING INTO SIDE SWALES, PONDS AND NOT TO ADJACENT LOTS. DOWNSPOUT: DS 0'
- FILL CANNOT BE BROUGHT ON SITE TO ADVERSELY IMPACT ADJACENT PROPERTIES. REFER TO THIS GRADING-DRAINAGE PLAN FOR FINAL GRADES & DRAINAGE.

NOTE: FENCE, POOL, DOCK PERMITTED SEPARATELY

ON SITE RETENTION CALCULATION

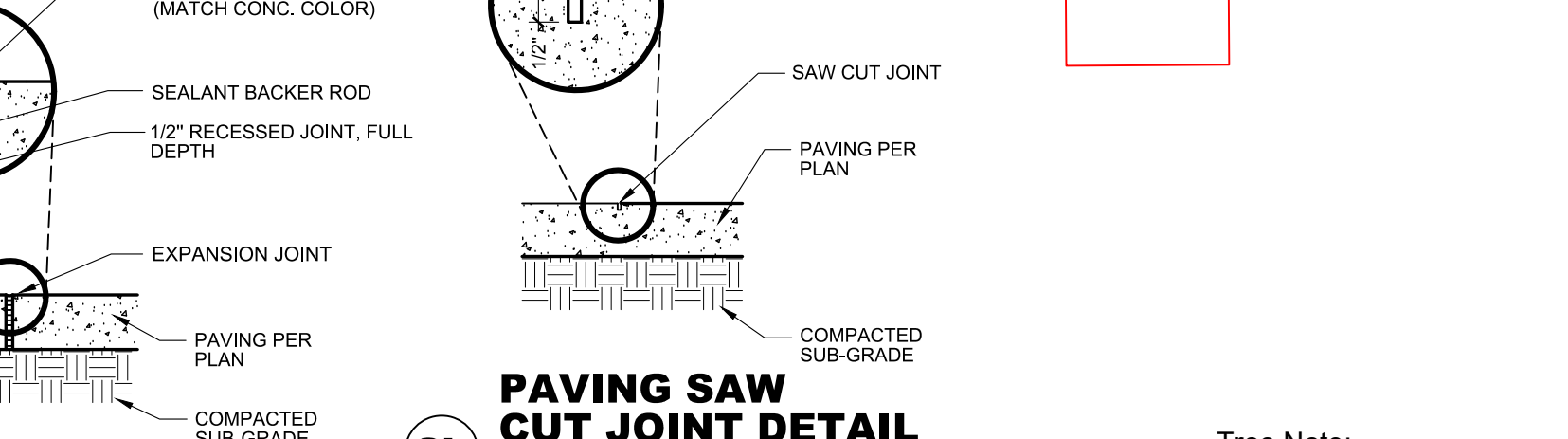
RETENTION REQUIRED: 9,386 SF IMPERVIOUS X 2 1/2" = 1,564.3 CF
 RETENTION PROVIDED: POND 1: 833 + POND 2: 748.0
TOTAL RETENTION: 1,581.0
 RETENTION VOLUME = (TOP+BOTTOM X 1/2") X 0.67 DEPTH = RETENTION



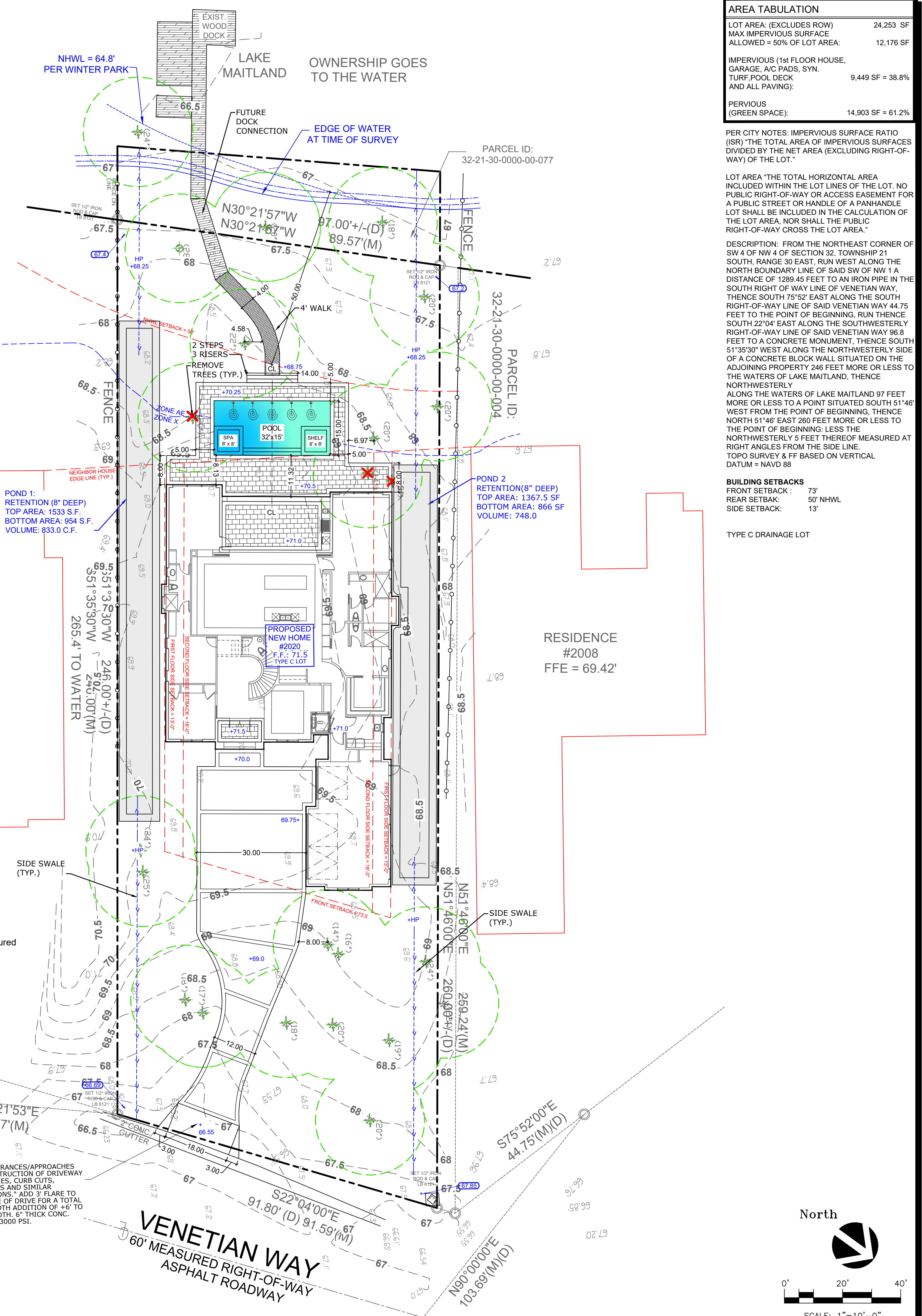
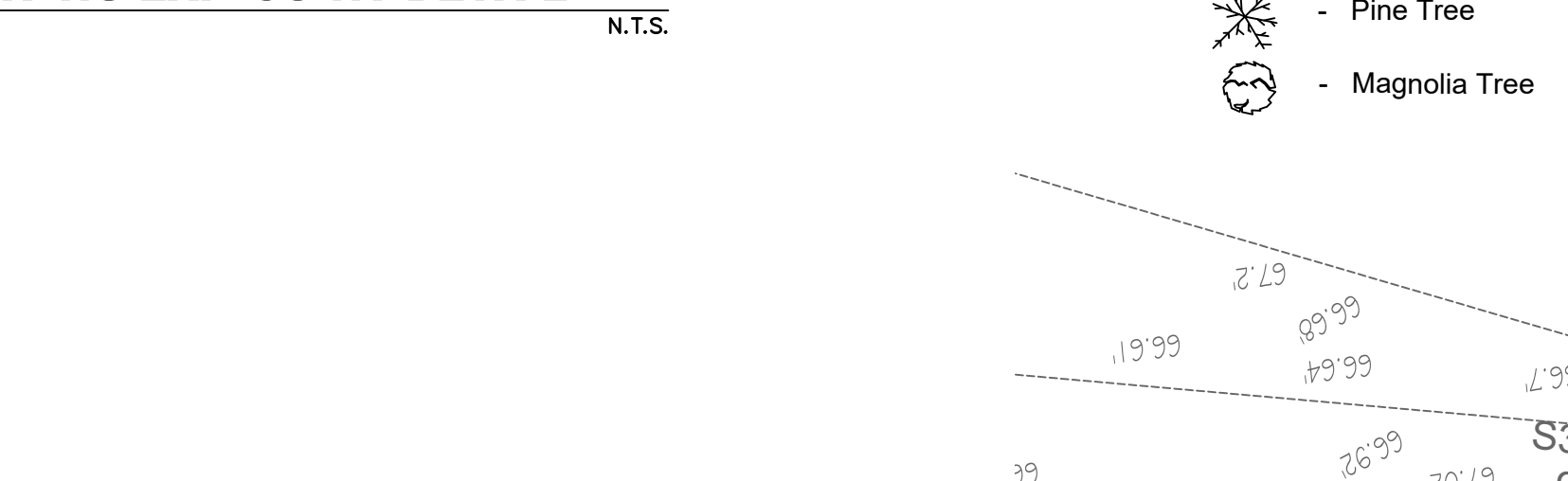
PAVING SAW CUT JOINT DETAIL



PAVING EXP. JOINT DETAIL



CONCRETE DRIVEWAY AND/OR DRIVE APRON



AREA TABULATION

LOT AREA (EXCLUDES ROW)	24,253 SF
MAX IMPERVIOUS SURFACE ALLOWED = 50% OF LOT AREA:	12,176 SF
IMPERVIOUS (1st FLOOR HOUSE, GARAGE, A/C PADS, SYN, TURF POOL DECK AND ALL PAVING):	9,449 SF = 38.8%
PERVIOUS (GREEN SPACE):	14,903 SF = 61.2%

PER CITY NOTES: IMPERVIOUS SURFACE RATIO (ISR) "THE TOTAL AREA OF IMPERVIOUS SURFACES DIVIDED BY THE NET AREA (EXCLUDING RIGHT-OF-WAY) OF THE LOT."

LOT AREA "THE TOTAL HORIZONTAL AREA INCLUDED WITHIN THE LOT LINES OF THE LOT. NO PUBLIC RIGHT-OF-WAY OR ACCESS EASEMENT FOR A PUBLIC STREET OR HANDLE OF A PANHANDLE LOT SHALL BE INCLUDED IN THE CALCULATION OF THE LOT AREA, NOR SHALL THE PUBLIC RIGHT-OF-WAY CROSS THE LOT AREA."

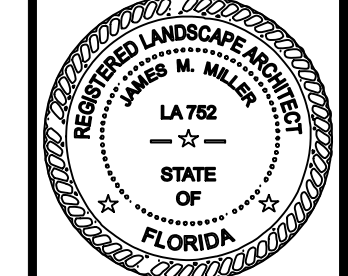
DESCRIPTION: FROM THE NORTHEAST CORNER OF SW 4 OF NW 4 OF SECTION 32, TOWNSHIP 21 SOUTH, RANGE 30 EAST, RUN WEST ALONG THE NORTH BOUNDARY LINE OF SAID SW OF NW 1 A DISTANCE OF 1289.45 FEET TO AN IRON PIPE IN THE SOUTH RIGHT OF WAY LINE OF VENETIAN WAY, THENCE SOUTH 75°52' EAST ALONG THE SOUTH RIGHT-OF-WAY LINE OF SAID VENETIAN WAY 44.75 FEET TO THE POINT OF BEGINNING, RUN THENCE SOUTH 22°04' EAST ALONG THE SOUTHWESTERLY RIGHT-OF-WAY LINE OF SAID VENETIAN WAY 98.8 FEET TO A CONCRETE MONUMENT, THENCE SOUTH 51°35'30" WEST ALONG THE NORTHWESTERLY SIDE OF A CONCRETE BLOCK WALL SITUATED ON THE ADJOINING PROPERTY 246 FEET MORE OR LESS TO THE WATERS OF LAKE MAITLAND, THENCE NORTHWESTERLY ALONG THE WATERS OF LAKE MAITLAND 97 FEET MORE OR LESS TO A POINT SITUATED SOUTH 51°46' WEST FROM THE POINT OF BEGINNING, THENCE NORTH 51°46' EAST 260 FEET MORE OR LESS TO THE POINT OF BEGINNING, LESS THE NORTHWESTERLY 5 FEET THEREOF MEASURED AT RIGHT ANGLES FROM THE SIDE LINE. TOPO SURVEY & FF BASED ON VERTICAL DATUM = NAVD 88

BUILDING SETBACKS
 FRONT SETBACK: 73'
 REAR SETBACK: 50' NHWL
 SIDE SETBACK: 13'

TYPE C DRAINAGE LOT

AGORA DESIGN
 LANDSCAPE ARCHITECTURE • PLANNING
 THEMING DESIGN • GRAPHIC DESIGN
 400 South Hampton Avenue • Orlando, Florida 32801 • (407) 998-8448 • LA 055

KANDULA RESIDENCE
 2020 VENETIAN WAY, WINTER PARK, FL 32789, USA
HARDSCAPE / DRAINAGE PLAN



James M. Mills

10-8-25

REVISIONS

10/08/2025	REVISED PER ME
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DATE: 10-02-2025 LAKE REVIEW

SCALE: As Indicated

DRAWN: SMH

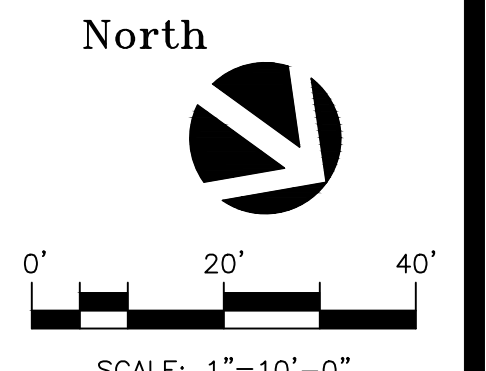
APPROVED: JMM

JOB NO: 2514

SHEET

HS-1

OF 3 SHEETS



A New Custom Home by Zero Latitude

KANDULA - RESIDENCE

2020 Venetian Way, Winter Park, Florida 32789



NOTE: THIS STRUCTURE HAS BEEN DESIGNED TO MEET OR EXCEED THE WIND LOAD REQUIREMENTS OF THE 2023 FLORIDA BUILDING CODE RESIDENTIAL 8TH EDITION SECTION R301 DESIGN CRITERIA AND INCLUDING ASCE 7-16.

- WIND SPEED= 139 MPH ULTIMATE WIND SPEED (V_{ULT}) AND 108 MPH (V₅₀)
- RISK CATEGORY 2
- CONSTRUCTION TYPE: SINGLE FAMILY RESIDENCE (VB)
- WIND EXPOSURE- CATEGORY C
- INTERNAL PRESSURE COEFFICIENT FOR ENCLOSED BUILDINGS IS 18 AND HEIGHT AND EXPOSURE ADJUSTMENT COEFFICIENT IS 1.40.

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Revisions	#	Date

A NEW HOME BY ZERO LATITUDE HOMES

THE KANDULA RESIDENCE

2020 Venetian Way, Winter Park, Florida

SHEET INDEX	GENERAL NOTES	APPLICABLE CODES	AREA CALCULATIONS	PROJECT TEAM																		
<p>ARCHITECTURAL</p> <p>A1- COVER SHEET & DATA</p> <p>A2- HOUSE LOCATION PLAN</p> <p>A3- PLUMBING/SLAB PLAN</p> <p>A4- DIMENSIONED 1ST FLOOR</p> <p>A5- DETAILED 1ST FLOOR</p> <p>A6- DIMENSIONED 2ND FLOOR</p> <p>A7- DETAILED 2ND FLOOR</p> <p>A8- ROOF PLAN</p> <p>A9- ELEVATIONS</p> <p>A10- ELEVATIONS</p> <p>A11- SECTIONS</p> <p>A12- ELECTRICAL 1ST FLOOR</p> <p>A13- ELECTRICAL 2ND FLOOR</p> <p>STRUCTURAL</p> <p>S-1</p> <p>S-2</p> <p>S-3</p> <p>S-4</p> <p>S-5</p> <p>S-6</p>	<p>1. IT IS THE INTENT OF THE DESIGN/ENGINEER THAT THIS WORK BE IN CONFORMANCE WITH ALL REQUIREMENTS OF THE BUILDING AUTHORITY HAVING JURISDICTION OVER THE TYPE OF CONSTRUCTION AND OCCUPANCY. ALL CONTRACTORS SHALL DO THEIR WORK IN CONFORMANCE WITH ALL APPLICABLE CODES AND REGULATIONS.</p> <p>2. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND CONDITIONS AT THE JOB SITE PRIOR TO COMMENCING WORK. CONTRACTOR SHALL REPORT ALL DISCREPANCIES IN THE DRAWING AND EXISTING CONDITIONS TO THE DESIGN/ENGINEER PRIOR TO COMMENCING WORK.</p> <p>3. CONTRACTOR SHALL SUPPLY, LOCATE AND BUILD IN THE WORK ALL INSETS, ANCHORS, ANGLES, PLATES, OPENINGS, SLEEVES, HANGERS, SLAB DEPRESSIONS, AND PITCHES AS MAY BE REQUIRED TO ATTACH AND ACCOMMODATE OTHER WORK.</p> <p>4. THESE DOCUMENTS, AS INSTRUMENTS OF SERVICE, ARE THE PROPERTY OF THE DESIGN/ENGINEER AND MAY NOT BE USED OR REPRODUCED WITHOUT EXPRESS WRITTEN CONSENT OF THE DESIGN/ENGINEER.</p> <p>5. ALL DETAILS AND SECTIONS SHOWN ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL BE CONSTRUED TO APPLY TO ANY SIMILAR SITUATION ELSEWHERE IN THE WORK EXCEPT WHERE A DIFFERENT DETAIL IS SHOWN.</p> <p>6. SUBSURFACE SOIL CONDITION INFORMATION IS NOT AVAILABLE. FOUNDATIONS ARE DESIGNED FOR 1000 PSF SOIL BEARING CAPACITY. CONTRACTOR SHALL REPORT ANY DIFFERING CONDITIONS TO THE DESIGN/ENGINEER PRIOR TO COMMENCING WORK.</p> <p>7. CONTRACTOR WILL INCORPORATE ALL NECESSARY LOCAL STATE/FEDERAL BUILDING, FIRE AND HANDICAP CODES INTO THE DESIGN AND MAKE PROVISIONS FOR A COMPLETE TURNKEY PROJECT.</p> <p>8. PROJECT SHALL BE TURNED OVER TO OWNER IN CLEAN CONDITION WITH ALL TRASH AND DEBRIS REMOVED FROM SITE. ALL WINDOWS AND GLASS CLEAN, ALL FLOORS CLEAN, ALL HORIZONTAL SURFACES DUSTED AND CLEANED, AND ALL TOILET AND PLUMBING FITURES CLEAN AND PROPERLY WORKING.</p> <p>9. CONTRACTOR SHALL MAINTAIN ALL RUBBER FROM SITE ON A REGULAR BASIS. DO NOT ALLOW TO ACCUMULATE.</p> <p>10. CONTRACTOR TO OBTAIN ALL PERMITS AND TO PAY ALL FEES AND TAXES.</p> <p>11. DIMENSIONS INDICATED ON THE DRAWINGS IN REFERENCE TO EXISTING CONDITIONS ARE THE BEST AVAILABLE DATA. DIMENSIONS ARE NOT GUARANTEED. BEFORE PROCEEDING WITH ANY WORK DEPENDENT UPON THE DATA INVOLVED, THE CONTRACTOR SHALL FIELD CHECK AND VERIFY ALL DIMENSIONS, GRADES, LEVELS, ELEVATIONS OR OTHER CONDITIONS OF EXISTING CONDITIONS AT THE SITE. TO AVOID CONSTRUCTION DISCREPANCIES, IF ANY WORK IS DEFERRED BY THE CONTRACTOR OR ANY OF HIS SUBCONTRACTORS PRIOR TO ADEQUATE VERIFICATION OF APPLICABLE DATA, ANY RESULTANT EXTRA COST FOR ADJUSTMENT OF WORK AS REQUIRED TO COMPLY TO EXISTING LIMITATIONS SHALL BE ASSUMED BY THE CONTRACTOR WITHOUT REIMBURSEMENT OR COMPENSATION BY THE OWNER.</p> <p>12. A DESIGNATED LOCATION FOR STORAGE OF CONSTRUCTION MATERIAL AND EQUIPMENT SHALL BE DETERMINED BY OWNER AND IDENTIFIED AT THE PRECONSTRUCTION MEETING.</p> <p>13. CONTRACTOR PERSONNEL ARE CONFINED TO AREAS OF BUILDING NECESSARY FOR COMPLETING THE WORK. FREE ACCESS TO ALL PARTS OF THE BUILDING IS NOT ALLOWED. ALL CONTRACTOR TOOL BOXES, CONTAINERS, ETC. ARE SUBJECT TO OWNER'S INSPECTION.</p> <p>14. CONTRACTOR IS RESPONSIBLE FOR SCHEDULING DELIVERY, RECEIVING, UNLOADING, UNCRATING, STORING, SETTING IN PLACE, AND PROTECTING FROM DAMAGE ALL NEW EQUIPMENT FURNISHED BY THE CONTRACTOR. THIS SHALL ALSO APPLY TO ITEMS FURNISHED TO OWNER BY THE CONTRACTOR.</p>	<p>15. ALL WIND LOAD CALCULATIONS AND DESIGN CRITERIA ARE BASED ON A "ENCLOSED" STRUCTURE. ANY BREACH OR PENETRATION, SUCH AS WINDOWS, DOORS, GARAGE DOORS, ETC. DURING STORM EVENT WILL COMPROMISE STRUCTURAL INTEGRITY.</p> <p>16. ALL DOOR AND WINDOW OPENINGS SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.</p> <p>17. ALL BEARING WALLS MUST TRANSFER LOADS TO FLOOR JOISTS OR FOUNDATION.</p> <p>18. DIAPHRAGM SYSTEMS MUST BE ATTACHED TO END WALLS AND/OR SIDE WALLS.</p> <p>19. TRUSSES MUST BE CAPABLE OF TRANSFERRING LATERAL LOADS TO BEARING WALLS.</p> <p>20. TRUSSEL, GIRDERS AND HEAD UP DOWNS ARE SIZED PER UPLIFT REQUIREMENTS. ANY QUESTION AS TO SIZE, TYPE OR VALUE OF A WALL, STRUT OR CLIP SHOULD BE VERIFIED BY STRUCTURAL ENGINEER.</p> <p>21. ALL WINDOWS TO COMPLY WITH THE 2023 FLORIDA BUILDING CODE, 8TH EDITION, 139 MPH WIND LOAD REQUIREMENT.</p> <p>22. SUBCONTRACTORS SHALL VERIFY ALL APPLICABLE DIMENSIONS AND FUTURE LOCATIONS.</p> <p>23. ALL INTERIOR SLABS TO HAVE STEEL TROWEL FINISH. ALL EXTERIOR SLABS TO HAVE MEDIUM BROOM FINISH.</p> <p>24. REFER TO TUBESHOWER MANUFACTURER FOR DRAIN LOCATION, PER OWNER'S SELECTION.</p> <p>25. ALL PLUMBING TO MEET LOCAL PLUMBING CODES.</p> <p>26. PROVIDE STICK-OUT FOR GAS METER AT REFRIGERATOR LOCATION.</p> <p>27. REFER TO DOOR & WINDOW SCHEDULE FOR DOOR & WINDOW HEIGHTS.</p> <p>28. WINDOWS AND EXTERIOR DOORS SHALL COMPLY WITH FRC WIND LOAD REQUIREMENTS. (WINDOWS MUST MEET R30)</p> <p>29. USE GREENBOARD AT WET WALLS.</p> <p>30. PROVIDE BLOCKING AT 32" ON CENTER IN BATHROOM WALLS ABOVE WATER CLOSET, TUB/SHOWER FAUCETS AND TUB SOAP DISH FOR FUTURE SHAM BARS.</p> <p>31. CONTRACTOR TO PROVIDE SITE ADDRESS PER SECTION R-110 OF 2023 FLORIDA BUILDING CODE RESIDENTIAL, 8TH EDITION.</p> <p>32. FOAM PLASTIC MATERIALS TO MEET THE REQUIREMENTS OF THE 2023 FLORIDA BUILDING CODE RESIDENTIAL, 8TH EDITION.</p> <p>33. PROTECTION OF WOOD DECKING TO MEET THE REQUIREMENTS OF THE 2023 FLORIDA BUILDING CODE RESIDENTIAL, 8TH EDITION.</p> <p>34. PROVIDE HANDICAP ACCESSIBILITY PER SECTION R-302 OF THE 2023 FLORIDA BUILDING CODE RESIDENTIAL, 8TH EDITION.</p> <p>35. THIS STRUCTURE MEETS THE REQUIREMENTS OF THE 2023 FLORIDA BUILDING CODE RESIDENTIAL, 8TH EDITION.</p> <p>36. TERRACE TREATING AND PROTECTION TO MEET THE REQUIREMENT OF SECTION R-318 OF THE FBC.</p> <p>37. FINISH FLOOR TO MINIMUM 1/2" ABOVE CROWN OF ROAD.</p> <p>38. FINISH FLOOR TO MINIMUM 1/2" ABOVE GRADE.</p>	<p>SINGLE FAMILY RESIDENCE</p> <ul style="list-style-type: none"> 2023 FLORIDA BUILDING CODE, BUILDING, 8TH EDITION (FBC) 2023 FLORIDA BUILDING CODE, RESIDENTIAL, 8TH EDITION (FBCR) 2023 FLORIDA BUILDING CODE, MECHANICAL, 8TH EDITION (FBCM) 2023 FLORIDA BUILDING CODE, PLUMBING, 8TH EDITION (FBCP) 2023 FLORIDA BUILDING CODE, FUEL GAS, 8TH EDITION (FBCFG) 2023 FLORIDA FIRE PREVENTION CODE, 8TH EDITION (FBCFP) 2023 NATIONAL ELECTRICAL CODE (NEC) <p>LEGAL DESCRIPTION</p> <p>THE WILLIAMS RESIDENCE</p> <table border="1"> <tr> <td>FIRST FLOOR</td> <td>3,765 SF</td> </tr> <tr> <td>SECOND FLOOR</td> <td>1,818 SF</td> </tr> <tr> <td>TOTAL AC AREA</td> <td>5,583 SF</td> </tr> <tr> <td>GARAGE</td> <td>857 SF</td> </tr> <tr> <td>ENTRY PORCH</td> <td>97 SF</td> </tr> <tr> <td>LANAI</td> <td>435 SF</td> </tr> <tr> <td>BALCONY</td> <td>450 SF</td> </tr> <tr> <td>TOTAL OTHER AREAS</td> <td>1,839 SF</td> </tr> <tr> <td>TOTAL CONSTRUCTION</td> <td>7,422 SF</td> </tr> </table> <p>AREA CALCULATIONS</p> <p>SECOND FLOOR AREA</p> <p>1818 SF AC</p> <p>450</p> <p>FIRST FLOOR AREA</p> <p>3765 SF AC</p> <p>435</p> <p>857 SF</p> <p>97 SF</p> <p>LEGEND: HOUSE (Hatched), GARAGE (Dotted), LANAI/PORCH (Horizontal Lines)</p>	FIRST FLOOR	3,765 SF	SECOND FLOOR	1,818 SF	TOTAL AC AREA	5,583 SF	GARAGE	857 SF	ENTRY PORCH	97 SF	LANAI	435 SF	BALCONY	450 SF	TOTAL OTHER AREAS	1,839 SF	TOTAL CONSTRUCTION	7,422 SF	<p>PROJECT TEAM</p> <p>RESIDENTIAL DESIGNER: ZERO LATITUDE 210 SOUTH PARK AV., SANFORD, FL 32771 (281) 462-0216</p> <p>TRUSS DESIGNER: ALBA ENGINEERING P.O. BOX 547774 ORLANDO, FL 32854 (407) 421-4866 DANIEL SOUTER, P.E. FL PE #20801</p> <p>ENGINEERING: ALBA ENGINEERING P.O. BOX 547774 ORLANDO, FL 32854 (407) 421-4866 DANIEL SOUTER, P.E. FL PE #20801</p>
FIRST FLOOR	3,765 SF																					
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TOTAL CONSTRUCTION	7,422 SF																					

CONSTRUCTION NOTE:

IT IS THE RESPONSIBILITY OF THE G.C. AND ALL CONTRACTORS INVOLVED IN THIS PROJECT, TO REVIEW THESE DRAWINGS PRIOR TO ANY INSTALLATION COMMENCING TO ENSURE ANY CORRECTS ARE BROUGHT TO THE ATTENTION OF THE DESIGNER OR ENGINEER TO AVOID PROBLEMATIC SITUATIONS THAT MAY OCCUR DURING CONSTRUCTION. ANY SITUATION THAT MAY ARISE DURING CONSTRUCTION THAT THE G.C. OR CONTRACTOR MAY DEEM PROBLEMATIC, ALL WORK IS TO STOP AND THEY ARE TO CONTACT THE DESIGNER OR ENGINEER TO ENSURE A POSITIVE SOLUTION, BEFORE WORK CAN COMMENCE AGAIN.

albo
ENGINEERING

CA #09556

DANIEL SOUTER, P.E.
P.E.# 63901
P.O. BOX 547774
ORLANDO, FL 32854
PHONE: (407) 421-4866

Date	093025
Project #	25-048
Drawn by	JH, FVG
Checked by	---



PRELIMINARY
NOT FOR CONSTRUCTION
09-30-2025

A1

FLOOR PLAN NOTES

- DOOR BETWEEN GARAGE AND LIVING AREA OF HOUSE TO BE MINIMUM 20 MINUTE SOLID CORE DOOR WITH SELF CLOSING MECHANISM.
- WALL BETWEEN GARAGE AND LIVING AREA OF HOUSE TO HAVE 1/2" FINISHED DRYWALL MINIMUM IF WALL IS NOT SOLID BLOCK.
- GARAGE CEILING TO BE 1/2" FINISHED DRYWALL MINIMUM AND 5/8" TYPE X DRYWALL IF THERE IS LIVING SPACE ABOVE THE GARAGE.
- ENCLOSED SPACE UNDER STAIRS THAT IS ACCESSED BY A DOOR OR ACCESS PANEL SHALL HAVE WALLS, UNDER-STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" INCH GYPSUM BOARD. (FBCR-R302.7)
- ATTIC ACCESS, MINIMUM 30"x22" OPENING. PROVIDE (1) OUTLET, SWITCH AND LIGHT IN ATTIC AT PULL-DOWN STAIRS.
- PULL DOWN ATTIC ACCESS LADDER, MINIMUM 54"x22" OPENING.
- AT SECOND FLOOR BALCONIES: FLOORING TO BE TILES OVER PU-DEK WATERPROOF SYSTEM. CONTRACTOR OPTION WITH OWNER APPROVAL TO USE DUROCK OVER 60 MIL WATERPROOF MEMBRANE OVER 30# FELT OVER 3/4" PLYWOOD W/ FLASHING (TYP.)
- CONTRACTOR AND/OR STAIR MANUFACTURER TO VERIFY ALL STAIR HEIGHTS, RISER HEIGHTS AND TREAD DEPTHS TO ENSURE THE CORRECT DIMENSIONS WERE PROVIDED.
- CONTRACTOR TO VERIFY ALL WINDOW AND DOOR SIZES PRIOR TO ORDERING TO ENSURE ELEVATIONS PORTRAY THE CORRECT WINDOW AND DOOR HEIGHTS.
- ALL RAILINGS ABOVE 24" A.F.F. SHALL BE 42 INCH HIGH GUARDRAILS UNLESS OTHERWISE SPECIFIED.
- ALL SHOWERS TO BE 4 INCH RECESSED, WHERE APPLICABLE, IN FIRST FLOOR SLAB AND IN TRUSSES AT ALL OTHER FLOORS.
- ALL TRAY CEILINGS TO BE 8 INCHES DEEP UNLESS OTHERWISE NOTED ON DRAWINGS.

REVIEW NOTE

THIS DRAWING SET IS TO BE REVIEWED BY ALL PARTIES INVOLVED IN ITS CONSTRUCTION PRIOR TO PERMITTING, IN ORDER TO ENSURE ALL PARTIES ARE SATISFIED AND ALL CHANGES, DISCREPANCIES OR REVISIONS HAVE BEEN COMPLETED BEFORE THE PERMITTING PROCESS HAS STARTED.

EGRESS WINDOWS

MEAN OF ESCAPE NOTE (EGRESS):
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 EVERY CLOSET DOOR LATCH SHALL BE SUCH THAT CHILDREN CAN OPEN THE DOOR FROM INSIDE THE CLOSET, EVERY BATHROOM DOOR SHALL BE DESIGNED TO ALLOW OPENING FROM THE OUTSIDE ENSURING AN EMERGENCY WHEN LOCKED.

GUARDRAIL NOTE

GUARDS SHALL BE LOCATED ALONG OPEN SIDED WALKING SURFACES WHERE DROP OFF IS 30" OR GREATER, INCLUDING STAIRS. GUARDS SHALL NOT BE LESS THAN 36" IN HEIGHT, LARGEST GAPS BETWEEN HANDRAIL MEMBERS, PICKETS AND BASE SHALL NOT EXCEED 4". HANDRAIL/GUARDRAIL LIVE LOADS, GUARDS AND HANDRAILS (HIGHER OF 200LB PT LOAD OR 50PSF), GUARD/PICKET INFILL COMPONENTS, 50PSF OVER A 1 SQ. FT. AREA.

HOOD NOTE

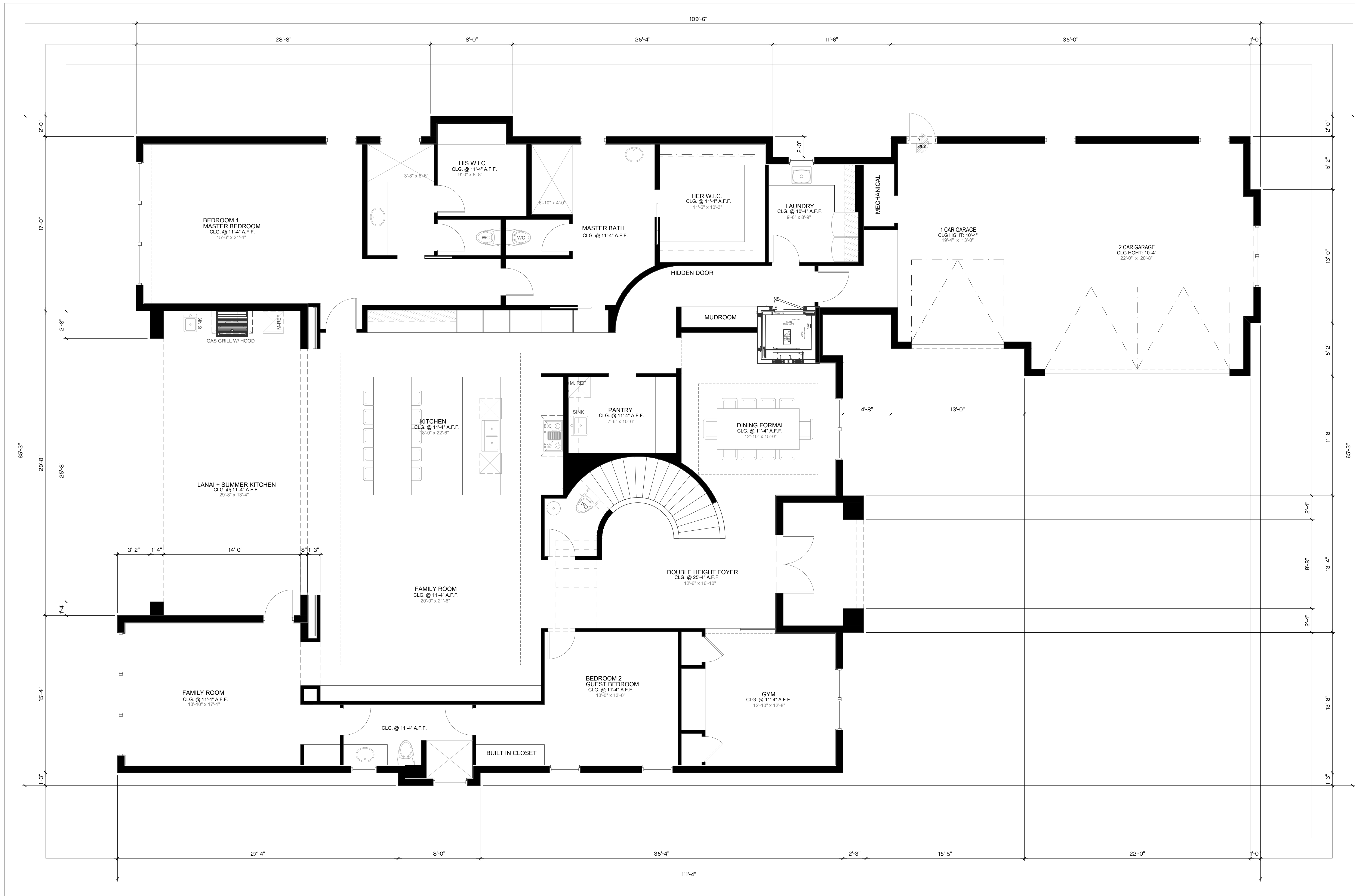
ALL HOODS, WHETHER INTERIOR OR EXTERIOR SHALL BE REQUIRED TO BE VENTED TO THE EXTERIOR OF THE ENCLOSED SPACE, EITHER DIRECTLY THROUGH THE ROOF ABOVE OR THE CLOSEST EXTERIOR WALL, AS PER INSTRUCTED BY THE MANUFACTURER'S SPECIFICATIONS ON THE INSTALLATION OF THE PRODUCT. ALL HOOD SHALL BE EQUIPPED WITH A SWITCH WITH WHICH TO OPERATE THE HOODS EXHAUST.

FIREPLACES

FIREPLACES AS INDICATED
ELECTRIC FIREPLACES:
 ALL INDICATED ELECTRICAL FIREPLACES SHOWN ON THE DRAWINGS ARE FRAMED AND DO NOT REQUIRE ANY MASONRY WALLS OR VENTILATION DISCHARGE THROUGH A FLUVE OR CHIMNEY. ELECTRICAL FIREPLACES SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS, WHICH SHALL BE SUPPLIED BY THE CONTRACTOR.
GAS FIREPLACES:
 ALL INDICATED GAS FIREPLACES SHOWN ON THE DRAWINGS ARE FRAMED AND DO NOT REQUIRE ANY MASONRY WALLS. WILL REQUIRE VENTILATION THROUGH THE EXTERIOR WALL OR THROUGH THE ROOF ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS SUPPLIED BY CONTRACTOR.
NATURAL FIREPLACE:
 ALL INDICATED NATURAL FIREPLACES SHALL BE CONSTRUCTED WITH MASONRY-CMU WALLS THAT WILL PROVIDE ADEQUATE SMOKE VENTILATION THROUGH THE ROOF OR DWELLING TO THE EXTERIOR. CONSTRUCTION AND VENTILATION SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS AS PROVIDED BY CONTRACTOR.

ADDITIONAL FAR ATTIC SPACE

4) Attics. a. Any living area directly within the roof slope(s) not accessed by a pulldown ladder, that is over five (5) feet in height, is permitted up to an additional three percent (3%) of the maximum floor area ratio allowed for the lot. These areas include bonus rooms, air-conditioned storage areas, etc. In addition, dormers or windows above the second-story may only face the public right-of-way. Homes with a mansard, gambrel, or flat roof types may not utilize this exception. This area shall also comply with the Building code.



1 DIM 1ST FLOOR PLAN
 A4 SCALE: 1/4" = 1'-0"

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Date	#	Revisions

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 2020 Venetian Way, Winter Park, Florida

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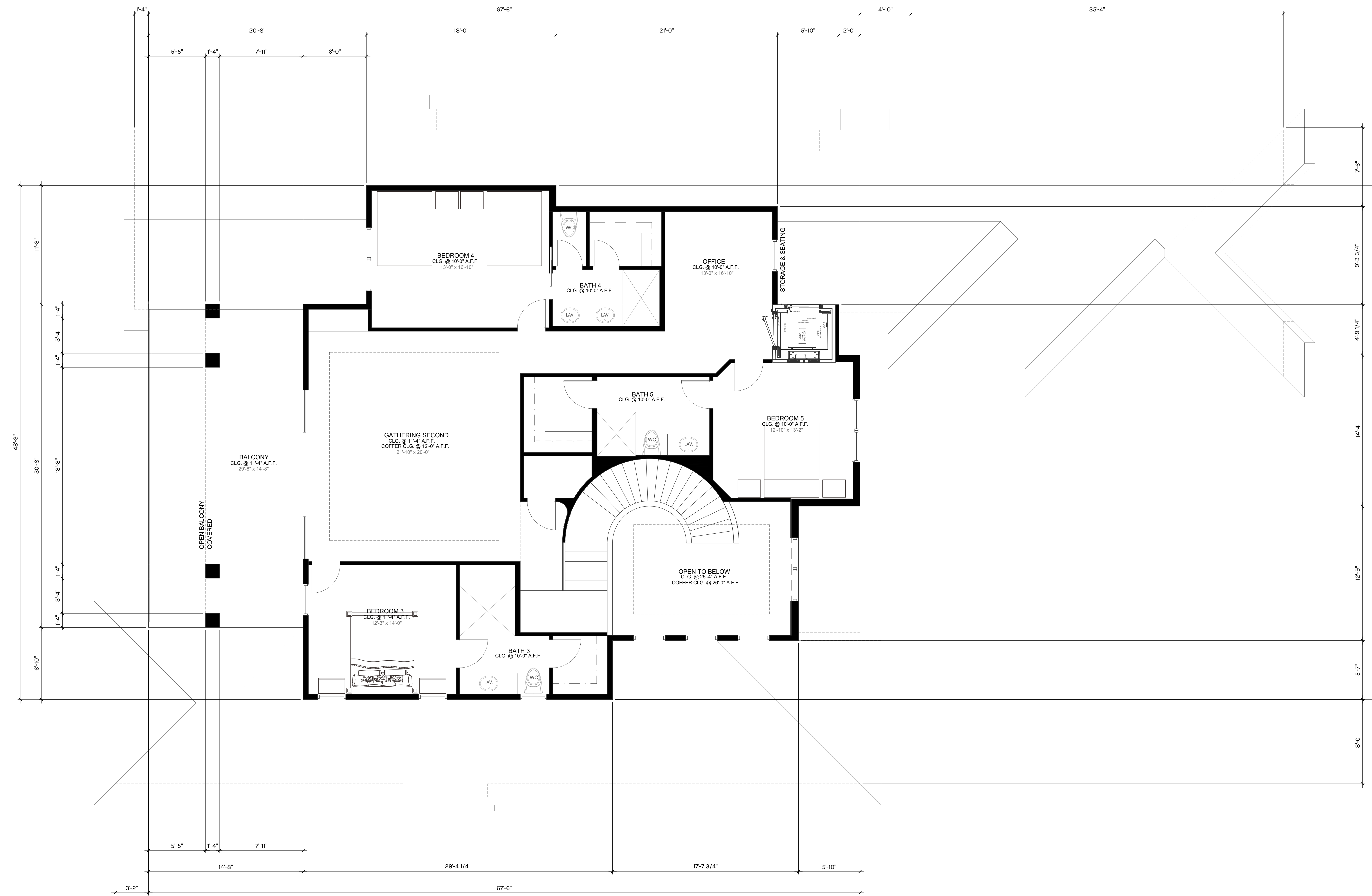
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 P.O. BOX 547774
 ORLANDO, FL 32854
 PHONE: (407) 421-4866

Date	093025
Project #	25-048
Drawn by	JH, FVC
Checked by	---



PRELIMINARY
 NOT FOR CONSTRUCTION
 09-30-2020

A4



1 DIM 2ND FLOOR PLAN
A6 SCALE: 1/4" = 1'-0"

FLOOR PLAN NOTES

- DOOR BETWEEN GARAGE AND LIVING AREA OF HOUSE TO BE MINIMUM 20 MINUTE SOLID CORE DOOR WITH SELF CLOSING MECHANISM.
- WALL BETWEEN GARAGE AND LIVING AREA OF HOUSE TO HAVE 1/2" FINISHED DRYWALL MINIMUM IF WALL IS NOT SOLID BLOCK.
- GARAGE CEILING TO BE 1/2" FINISHED DRYWALL MINIMUM AND 5/8" TYPE X DRYWALL IF THERE IS LIVING SPACE ABOVE THE GARAGE.
- ENCLOSED SPACE UNDER STAIRS THAT IS ACCESSED BY A DOOR OR ACCESS PANEL SHALL HAVE WALLS, UNDER-STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" INCH GYPSUM BOARD. (FBCR-R302.7)
- ATTIC ACCESS, MINIMUM 30"x22" OPENING, PROVIDE (1) OUTLET, SWITCH AND LIGHT IN ATTIC AT PULL-DOWN STAIRS.
- PULL DOWN ATTIC ACCESS LADDER, MINIMUM 54"x22" OPENING.
- AT SECOND FLOOR BALCONIES: FLOORING TO BE TILES OVER PUI-DEK WATERPROOF SYSTEM, CONTRACTOR OPTION WITH OWNER APPROVAL TO USE DUROCK OVER 60 MIL WATERPROOF MEMBRANE OVER 3/4" PLYWOOD W/ FLASHING (TYP)
- CONTRACTOR AND/OR STAIR MANUFACTURER TO VERIFY ALL STAIR HEIGHTS, RISER HEIGHTS AND TREAD DEPTHS TO ENSURE THE CORRECT DIMENSIONS WERE PROVIDED.
- CONTRACTOR TO VERIFY ALL WINDOW AND DOOR SIZES PRIOR TO ORDERING TO ENSURE ELEVATIONS PORTRAY THE CORRECT WINDOW AND DOOR HEIGHTS.
- ALL RAILINGS ABOVE 24" A.F.F. SHALL BE 42 INCH HIGH GUARDRAILS UNLESS OTHERWISE SPECIFIED.
- ALL SHOWERS TO BE 4 INCH RECESSED, WHERE APPLICABLE, IN FIRST FLOOR SLAB AND IN TRUSSES AT ALL OTHER FLOORS.
- ALL TRAY CEILINGS TO BE 8 INCHES DEEP UNLESS OTHERWISE NOTED ON DRAWINGS.

REVIEW NOTE

THIS DRAWING SET IS TO BE REVIEWED BY ALL PARTIES INVOLVED IN ITS CONSTRUCTION PRIOR TO PERMITTING, IN ORDER TO ENSURE ALL PARTIES ARE SATISFIED AND ALL CHANGES, DISCREPANCIES OR REVISIONS HAVE BEEN COMPLETED BEFORE THE PERMITTING PROCESS HAS STARTED.

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C.A. #00556

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PHONE: (407) 421-4866

Date	09/30/25
Project #	25-048
Drawn by	JH, FVC
Checked by	---



PRELIMINARY
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09-30-2025

A6

ROOF NOTES

GENERAL NOTES:

1. COORDINATE ALL ROOF NOTES WITH ELEVATION AND FLOOR PLANS NOTES.
2. REFER TO ROOFING SPECIFICATIONS 2023 8TH EDITION FBC CHAPTER 9 - ROOF ASSEMBLIES FOR FURTHER INFORMATION, TYP.
3. REFER TO CIVIL DRAWINGS FOR STORM DRAIN LOCATION, COORDINATE IN FIELD.
4. PROVIDE ROOF CRICKETING AROUND ROOF ACCESSORIES AND PENETRATIONS.
5. GENERAL CONTRACTOR TO COORDINATE LOCATIONS OF DOWNSPOUT AND/OR SCUPPERS IF APPLICABLE TO BUILD.

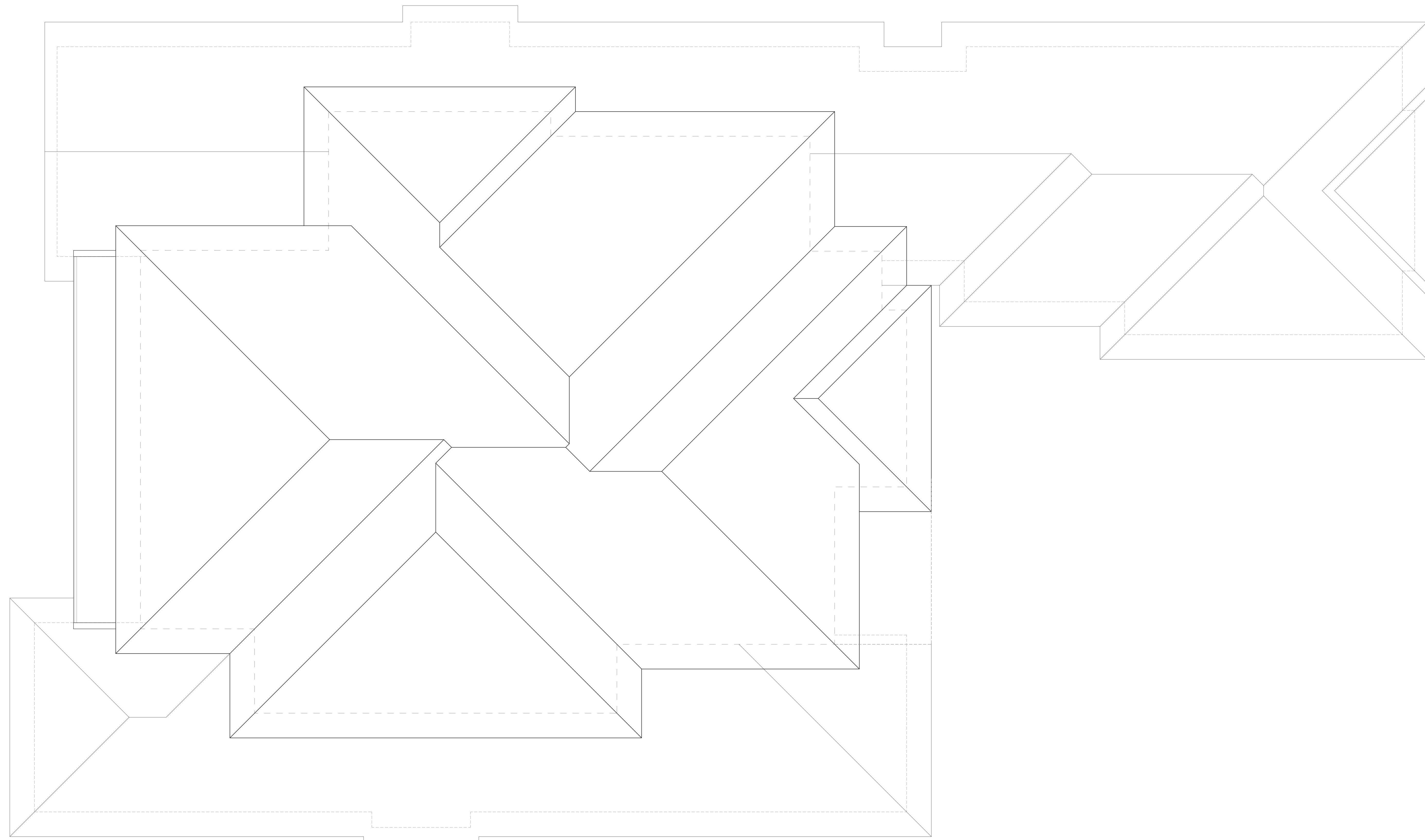
LOW-SLOPE ROOF DRAINAGE

ALL LOW ROOFS SURROUNDED BY PARAPET WALLS TO HAVE DRAINS PIPED TO EXTERIOR OF RESIDENCE, WITH SEPARATE OVERFLOW DRAINS OR SCUPPERS LOCATED 2' ABOVE PRIMARY DRAIN ELEVATION TO COMPLY WITH FBC-R304 AND FBC-PLUMBING 1105 & 1106

FLASHING NOTE:

FLASHING SHALL BE INSTALLED AT ALL WALL AND ROOF INTERSECTIONS, AT ALL CHANGE IN ROOF SLOPE OR DIRECTION AND AROUND ALL ROOF OPENINGS PER FBC-R903.

Revisions	#	Date



1 ROOF PLAN
A8 SCALE: 1/4" = 1'-0"

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ELEVATION NOTES

1. TYPICAL 5/8" SMOOTH STUCCO FINISH @ C.M.U. WALL.
2. TYPICAL 7/8" SMOOTH STUCCO FINISH @ FRAME WALL.
3. ARCHITECTURAL ASPHALT SHINGLES, CONCRETE OR METAL TILE OR METAL STANDING-SEAM ROOF SHALL BE INSTALLED PER THE PRODUCTS MANUFACTURER SPECIFICATION.
4. NO ROOF VENTS REQUIRED, SPRAY FOAM INSULATION TO BE USED PER ENERGY CALCULATIONS.
5. FRONT ELEVATION WINDOW SILLS TO BE 4" x 6" STUCCO AND/OR WHERE ALSO INDICATED.
6. 6" WOOD SIDING WHERE INDICATED, STYLE AND COLOR PER CONTRACTOR AND OWNER.
7. CONTROL JOINTS ON EXTERIOR STUCCO WALLS OVER WOOD FRAME TO BE INSTALLED PER ASTM 1063

NOTE: CONTRACTOR TO VERIFY ALL ELEVATIONS PRIOR TO CONSTRUCTION AND CONTACT DESIGNER/ENGINEER WITH ANY CHANGES OR QUESTIONS.

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STUCCO APPLICATION

- TYPICAL 5/8" SMOOTH STUCCO FINISH @ C.M.U. WALLS
- TYPICAL 7/8" SMOOTH STUCCO FINISH @ FRAME WALLS OVER EXPANDED METAL OR FIBERGLASS LATH, OVER #15 BUILDING PAPER, OVER TYVEK HOMEWRAP (OR EQUAL).

CONTROL JOINTS

- CONTROL JOINTS IN STUCCO SHALL NOT EXCEED 9'-0" IN LENGTH.
- STUCCO AREAS ARE BETWEEN CONTROLS JOINTS SHALL NOT EXCEED 144 SQ. FT.

GUARD RAILS

GUARD RAILS SHALL BE PROVIDED FOR THOSE PORTIONS OF OPEN-SIDED WALKING SURFACES, INCLUDING STAIRS, RAMPS AND LANDINGS, THAT ARE LOCATED MORE THAN 30" MEASURED VERTICALLY TO THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 24 INCHES HORIZONTALLY TO THE EDGE OF THE OPEN SIDE. INSECT SCREENING SHALL NOT BE CONSIDERED AS A GUARD. GUARDS SHALL NOT BE LESS THAN 36" IN HEIGHT. LARGEST GAPS BETWEEN HANDRAIL MEMBERS, PICKETS AND BASE SHALL NOT EXCEED 4". HANDRAIL/GUARDRAIL LIVE LOADS, GUARDS AND HANDRAILS (HIGHER OF 200LB PT LOAD OR 50PLF), GUARD/PICKET INFILL COMPONENTS, 50PSF OVER A 1 SQ. FT. AREA.



1 FRONT ELEVATION
A9 SCALE: 1/4" = 1'-0"



2 REAR ELEVATION
A9 SCALE: 1/4" = 1'-0"

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2020 Venetian Way, Winter Park, Florida

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Date	093025
Project #	25-048
Drawn by	JH, FVC
Checked by	---



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09-30-2025

A9

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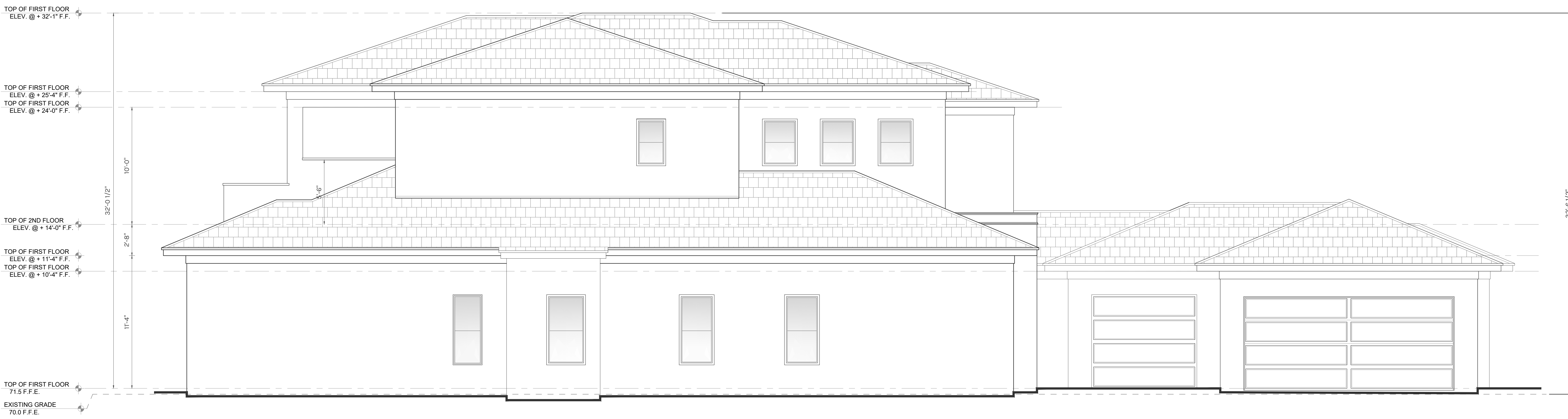
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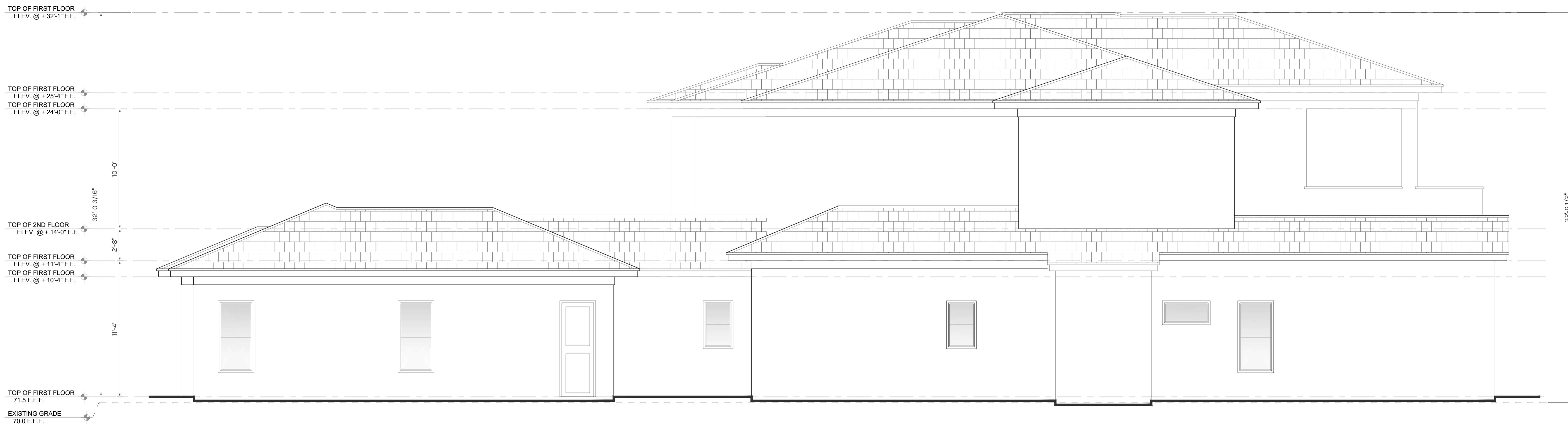
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1 LEFT SIDE ELEVATION
A10 SCALE: 1/4" = 1'-0"



2 RIGHT SIDE ELEVATION
A10 SCALE: 1/4" = 1'-0"

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Checked by	---



PRELIMINARY
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09-30-2025

A10



item type

Public Hearings (Public participation and comment on these matters must be in person.)

meeting date

November 4, 2025

prepared by

Nicholas Lewis, Planner II

approved by

Allison McGillis, Director of Planning and Zoning

subject

SUB #25-03. Request of Mollie and Andrew Samaan for: Approval to divide the property at 1210 Alberta Drive, zoned R-1AA, into two separate lots.

motion | recommendation

Staff recommendation is for approval.

background

The applicants and homeowners, Mollie and Andrew Samaan, are requesting approval to divide the property at 1210 Alberta Drive, zoned R-1AA, into two separate lots.

The northern lot will be 110 feet wide by 150 feet deep with an area of 19,478 square feet, which meets both the minimum lot width and area requirements for R-1AA lots. The southern lot has an area of 11,250 square feet, which meets the minimum lot area of 10,000 square feet for R-1AA lots. The applicants are requesting a variance to the minimum required lot width for R-1AA lots. The applicants are seeking a 75-foot lot width in lieu of the required lot width of 100 feet.

When an applicant seeks a variance for either lot width or lot area minimum requirements, they must meet the median of the lots within 300 feet of the subject property and are within the same block structure. There are ten comparative properties within this criterion, with lot widths ranging from 60 to 100 feet. Of these ten properties, the median is 75 feet, meeting the applicant's proposal. It is also worth noting that 40% of the properties have a 75-foot lot width, and 70% have either 75 feet in width or less.

If the lot split is approved, the applicants plan to keep the existing home on the northern lot. The southern lot will remain undeveloped for now, until the applicants desire to sell or develop the parcel in the future. A model site plan is provided showing that a new structure can meet all applicable building standards. After the split, the existing home still meets FAR and impervious coverage minimums, as well as the front and street-side setbacks. The existing setback on the eastern side of the structure is currently nonconforming. The only resulting

variance needed to keep the existing structure is the setback along the south side of the structure. The applicants' proposal includes a 12-foot side setback in lieu of the required 20 feet.

alternatives | other considerations

fiscal impact

attachments

1. 1210 Alberta Dr - Area Map
2. 1210 Alberta Dr - Aerial Map
3. 1210 Alberta Dr - Surveys
4. 1210 Alberta Dr - Proposed Site Plan



Lake Osceda

Alberta Dr

Lakewood Dr

Alberta Dr

Jo Al Ca Ave

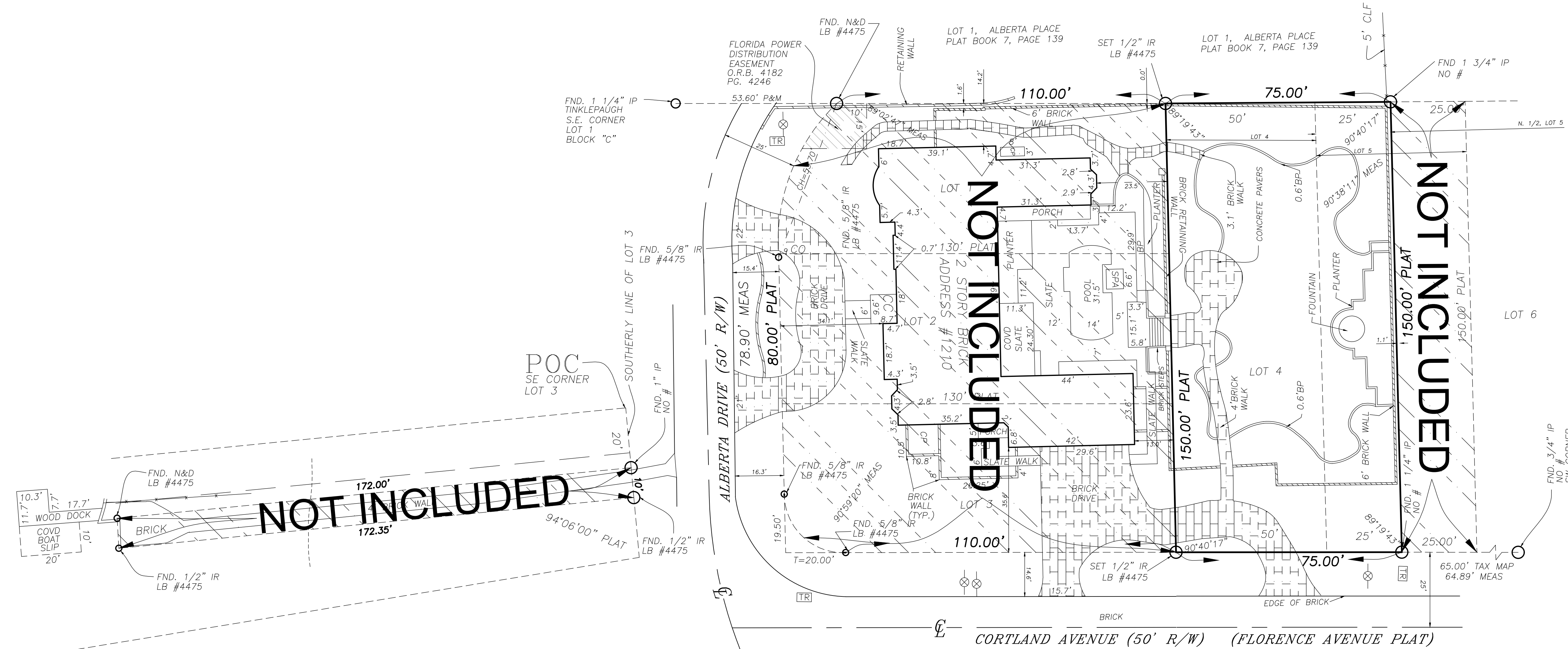
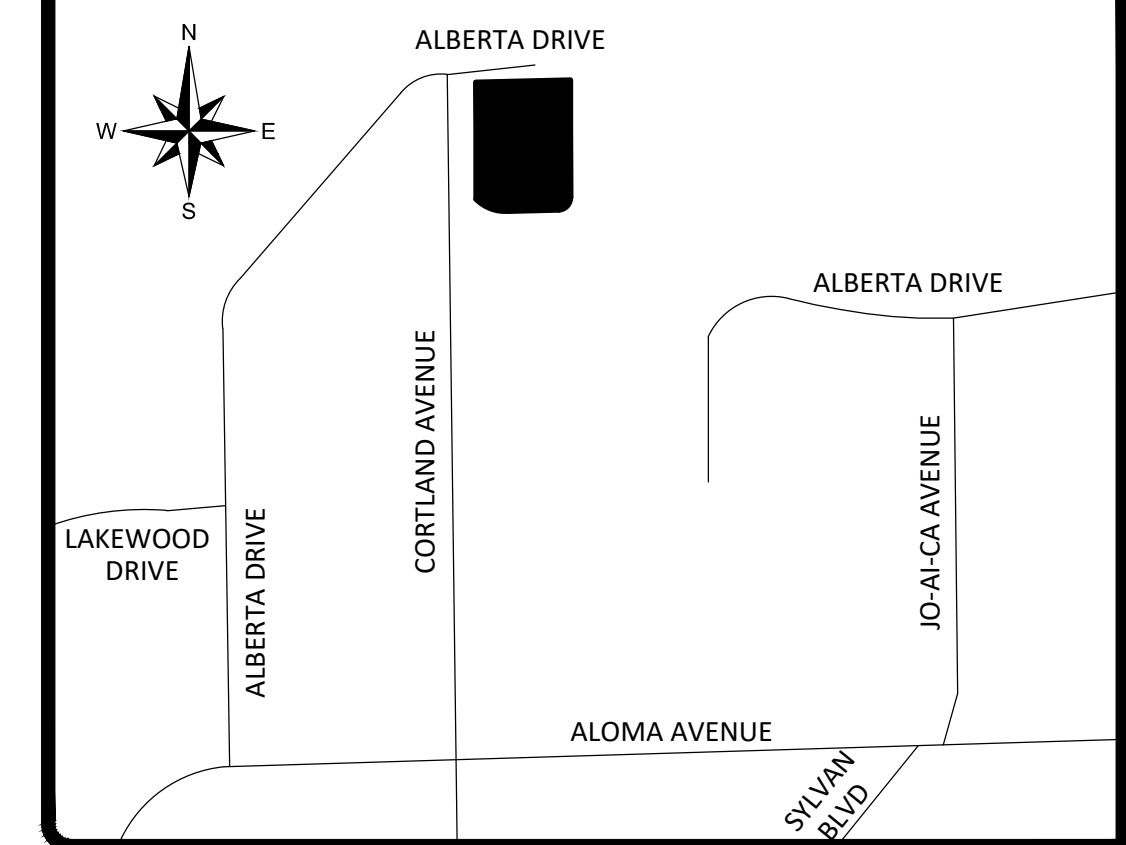
Fletcher Pl

Aloma Ave



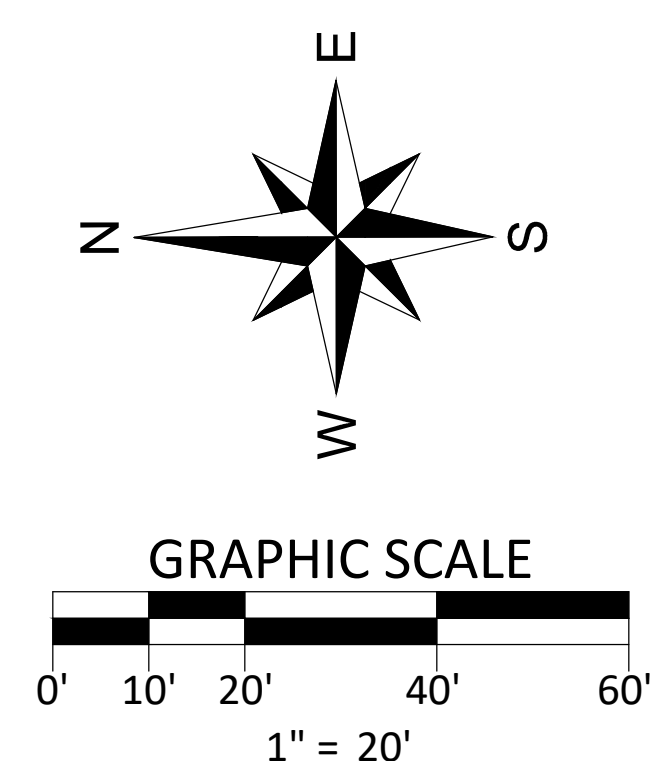
PLAT OF SURVEY

VICINITY MAP (NOT TO SCALE)

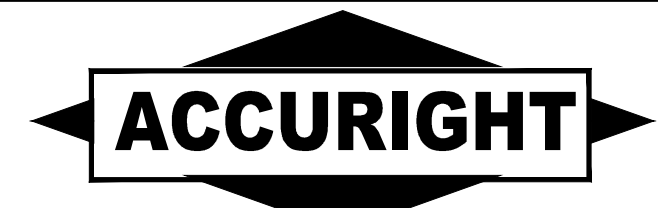


DESCRIPTION

LOT(S): 4 AND THE NORTH 1/2 OF LOT 5, BLOCK A, OSCEOLA SUMMIT, AS RECORDED IN PLAT BOOK L, PAGE 34, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.



- LEGEND**
- - AIR RELEASE VALVE
 - - AUTO SPRINKLER
 - BB - BOTTOM OF BANK
 - BC - BACK OF CURB
 - BF - BACK FLOW PREVENTER
 - BLK - BLOCK
 - BM - BENCHMARK
 - B - BOLLARD
 - BP - BURIED POWER CABLE
 - CA - CALCULATED & MEASURED
 - CB - CALCULATED & MEASURED
 - CC - CENTRAL ANGLE
 - CBW - CONCRETE BLOCK WALL
 - CC - COVERED CONCRETE
 - CF - CONCRETE FLUME
 - CHW - CONCRETE HEAD WALL
 - CLF - CHAIN LINK FENCE
 - E - CENTERLINE
 - CM - CONCRETE MONUMENT
 - CMP - CORRUGATED METAL PIPE
 - COP - CLEAN OUT
 - COVD - COVERED
 - CP - CONCRETE PAD
 - CW - CONCRETE WALKWAY
 - DBM - DEED DESC. & MEASURED
 - DE - DRAINAGE EASEMENT
 - DESC - DESCRIPTION
 - DI - DOT INLET
 - DP - DUMPSTER PAD
 - DW - DRIVEWAY
 - EM - ELECTRIC METER
 - EB - ELECTRICAL BOX
 - ESM - EASEMENT
 - E/P - EDGE OF PAVEMENT
 - FIRM - FLOOD INSURANCE RATE MAP
 - FTE - FINISHED FLOOR ELEVATION
 - PH - PRE HOBINT
 - FL - FLOOD LIGHT
 - FND - FOUND
 - FOC - FIBER OPTIC CABLE
 - FP - FLAG POLE
 - GL - GAS LINE
 - GM - GAS METER
 - GW - GUY WIRE ANCHOR
 - HP - HANDICAP PARKING
 - HDPH - HIGH DENSITY POLYETHYLENE
 - IP - IRON PIPE
 - IR - IRON ROD
 - LI - ARC LENGTH
 - LB - LICENSED BUSINESS
 - LM - LIGHT POLE
 - LS - LICENSE SURVEYOR
 - LSA - LANDSCAPED AREA
 - MEAS - MEASURED
 - MF - METAL FENCE
 - ML - METAL LID
 - MS - METAL SHED
 - MS - MITERED END SECTION
 - MON - MONITORING WELL
 - N&D - NAIL & DISK
 - NGVD - NATIONAL GEODETIC VERTICAL DATUM
 - NOT TO SCALE
 - OHE - OVERHEAD ELECTRIC
 - OL - ON LINE
 - OR - OFFICIAL RECORDS BOOK
 - OW - OVERHEAD WIRE
 - PL - PLAT BOOK
 - PC - POINT OF CURVATURE
 - PEP - PER ENGINEERING PLANS
 - PG - PAGE
 - PI - POINT OF INTERSECTION
 - P&M - PLAT & MEASURED
 - POB - POINT OF BEGINNING
 - POC - POINT OF COMMENCEMENT
 - PRC - POINT OF REVERSE CURVATURE
 - PS - PARKING SPACES
 - PSM - PROFESSIONAL SURVEYOR AND MAPPER
 - PT - POINT OF TANGENCY
 - PVC - PLASTIC PIPE
 - R - CURVE RADIUS
 - RCP - REINFORCED CONCRETE PIPE
 - R/W - RIGHT OF WAY
 - SM - SANITARY MANHOLE
 - SAN - SANITARY LINE
 - SDO - SHOWN FOR DIRECTION ONLY
 - SN - SIGN
 - SWF - STOCK WIRE FENCE
 - SS - SPOT ELEVATION
 - SD - STORM DRAIN LINE
 - SM - STORM MANHOLE
 - T - UNDERGROUND TELEPHONE
 - TI - TOP OF BANK
 - TP - TRAFFIC POLE
 - TS - TRAFFIC SIGN
 - TJ - TRANSFORMER/JUNCTION BOX
 - TR - TELEPHONE RISER
 - TSB - TRAFFIC SIGNAL BOX
 - TSW - TRAFFIC SIGNAL WIRE
 - TV - CABLE TV RISER
 - TYP - TYPICAL
 - UE - UTILITY EASEMENT
 - UP - UTILITY POLE
 - WL - WATER LINE
 - WF - WOOD FENCE
 - WS - WOOD SHED
 - WV - WATER VALVE
 - WM - WATER METER
 - EN - EASEMENT NUMBER



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PHONE: (407) 894-6314

FRANK A. RAYMOND, III, PSM 5325
"THE DATE OF SIGNATURE DOES NOT REVISE OR SUPERSEDE THE SURVEY DATE OR REVISION DATE."
THIS SURVEY MEETS THE "STANDARDS OF PRACTICE" AS REQUIRED BY CHAPTERS 55-17 FLORIDA BOARD OF LAND SURVEYORS, PURSUANT TO SECTION 472.027 OF THE FLORIDA STATUTES.
"NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND SEAL OF THIS FLORIDA LICENSED SURVEYOR AND MAPPER." OR - THE DIGITAL SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY FRANK A. RAYMOND, III, PSM 5325.

BOUNDARY SURVEY DATE: 08/26/25
per 5J-17.051(3)(b)3 Florida Administrative Code

DATE:	JOB #	REVISION	BY:
9/10/25	59766	UPDATE SURVEY	GS

BOUNDARY SURVEY

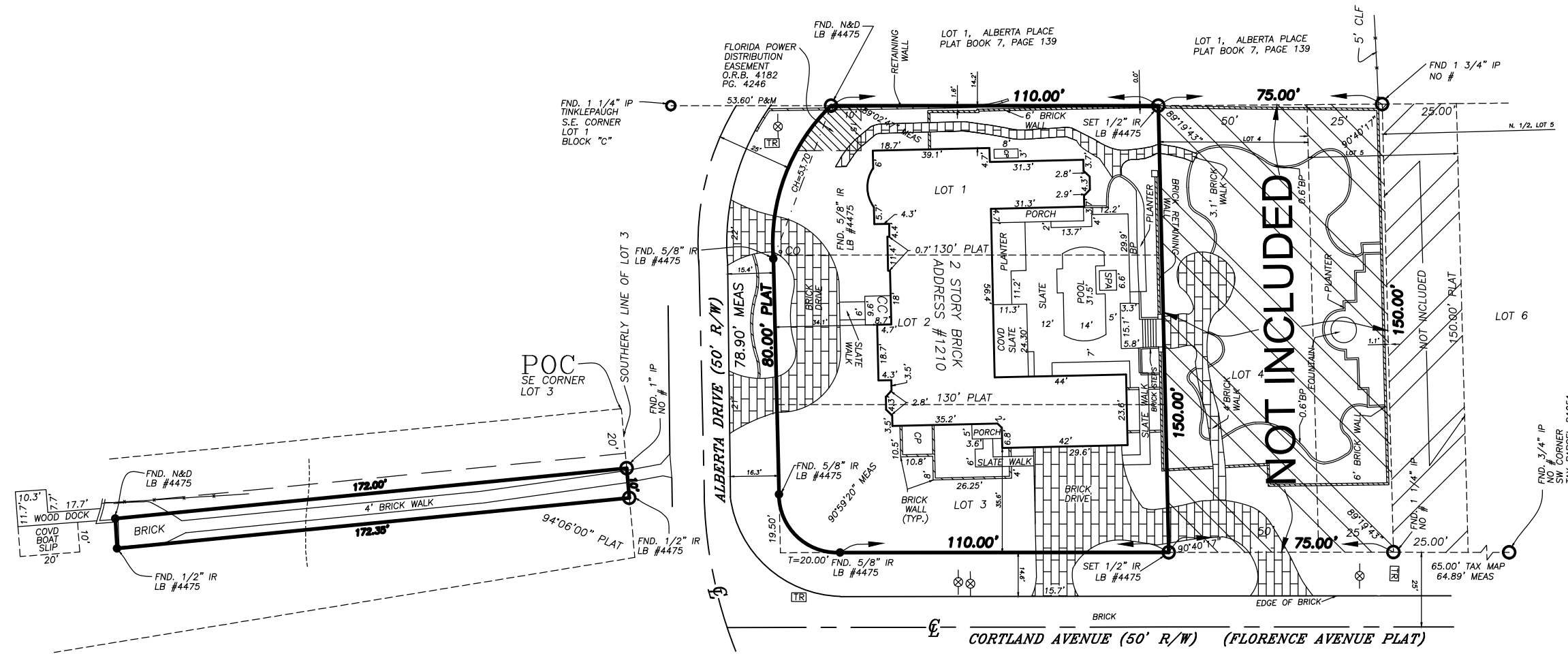
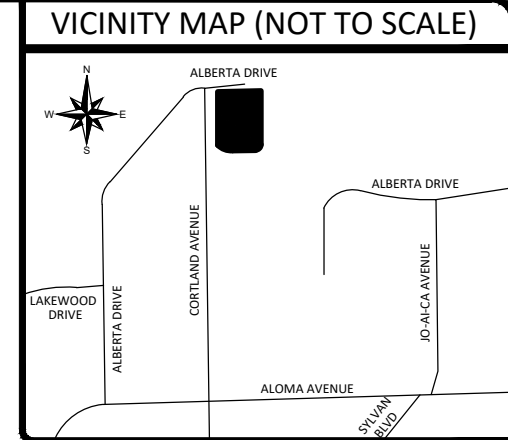
SCALE: 1" = 20'
FIELD DATE: 08/26/25
PREPARED FOR: **ANDREW SAMAAAN**

LOCATION: 1210 ALBERTA DR, WINTER PARK, FL 32789
PATH: CF# 59766 OCL-34-OSCEOLA SUMMIT PARCEL 2 1.3

JOB #59766
DRAWN BY: GS

SUBDIVISION NAME:
PLAT BOOK L, PAGE 34

PLAT OF SURVEY

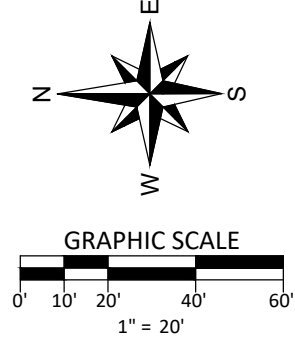


DESCRIPTION

LOT(S): 1, 2, 3, BLOCK A, OSCEOLA SUMMIT, AS RECORDED IN PLAT BOOK L, PAGE 34, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

AND:

COMMENCE AT THE SOUTHEAST CORNER OF LOT 3, BLOCK C, OSCEOLA SUMMIT, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK C, PAGE 34, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA; THENCE RUN WEST ALONG THE SOUTHERLY LINE OF SAID LOT 3 A DISTANCE OF 20 FEET FOR A POINT OF BEGINNING; THENCE CONTINUE WEST A DISTANCE OF 10 FEET; THENCE RUN NORTHERLY PARALLEL WITH THE WEST LINE OF THE SAID FIVE (5) FOOT INGRESS - EGRESS EASEMENT A DISTANCE OF 181 FEET MORE OR LESS TO LAKE OSCEOLA; THENCE RUN SOUTHEASTERLY ALONG SAID LAKE A DISTANCE OF 10 FEET MORE OR LESS TO THE WEST LINE OF SAID FIVE (5) FOOT INGRESS - EGRESS EASEMENT; THENCE RUN ALONG SAID WEST LINE A DISTANCE OF 179 FEET MORE OR LESS TO THE POINT OF BEGINNING.



- LEGEND**
- - AIR RELEASE VALVE
 - ⊖ - AUTO SPRINKLER
 - BB - BOTTOM OF BANK
 - BC - BACK OF CURB
 - ⊖ - BACK FLOW PREVENTER
 - - BLOCK
 - ⊙ - BENCHMARK
 - ⊙ - BOLLARD
 - BPC - BURIED POWER CABLE
 - CALC - CALCULATED
 - C&M - CALCULATED & MEASURED
 - CA - CENTRAL ANGLE
 - CBW - CONCRETE BLOCK WALL
 - CC - COVERED CONCRETE
 - CF - CONCRETE FILLING
 - CHW - CONCRETE HEAD WALL
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 - E - CENTERLINE
 - CM - CONCRETE MONUMENT
 - CMP - CORRUGATED METAL PIPE
 - CO - CLEAN OUT
 - CONC - CONCRETE
 - COVD - COVERED
 - CP - CONCRETE PAD
 - CW - CONCRETE WALKWAY
 - D&M - DEDUCTED & MEASURED
 - DE - DRAINAGE EASEMENT
 - DESC - DESCRIPTION
 - ⊙ - DOT INLET
 - DP - DUMPSTER PAD
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 - FOC - FIBER OPTIC CABLE
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 - L - ARC LENGTH
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 - LSA - LANDSCAPED AREA
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 - MS - METAL SHED
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 - MON - MONITORING WELL
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 - NGVD - NATIONAL GEODETIC VERTICAL DATUM
 - NTS - NOT TO SCALE
 - OL - OVERHEAD ELECTRIC ON LINE
 - ORB - OFFICIAL RECORDS BOOK
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 - RCF - REINFORCED CONCRETE
 - R/W - RIGHT OF WAY
 - SM - SANITARY MANHOLE
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 - SOC - SHOWN FOR DIRECTION ONLY
 - SN - SIGN
 - SWF - STOCK WIRE FENCE
 - 00.00 - SPOT ELEVATION
 - SD - STORM/RAIN LINE
 - SM - STORM MANHOLE
 - ST - UNDERGROUND TELEPHONE
 - ST - STORM INLET
 - ST - TOP OF BANK
 - TF - TRAFFIC POLE
 - TS - TRAFFIC SIGN
 - TR - TRANSFORMER/JUNCTION BOX
 - TR - TELEPHONE RISER
 - TSB - TRAFFIC SIGNAL BOX
 - TSW - TRAFFIC SIGNAL WIRE
 - TS - CABLE TV RISER
 - TS - TYPICAL
 - UE - UTILITY EASEMENT
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 - WM - WATER METER
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FRANK A. RAYMOND, III, PSM 5325
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BOUNDARY SURVEY DATE: 08/26/25
per 5J-17.051(3)(b)3 Florida Administrative Code

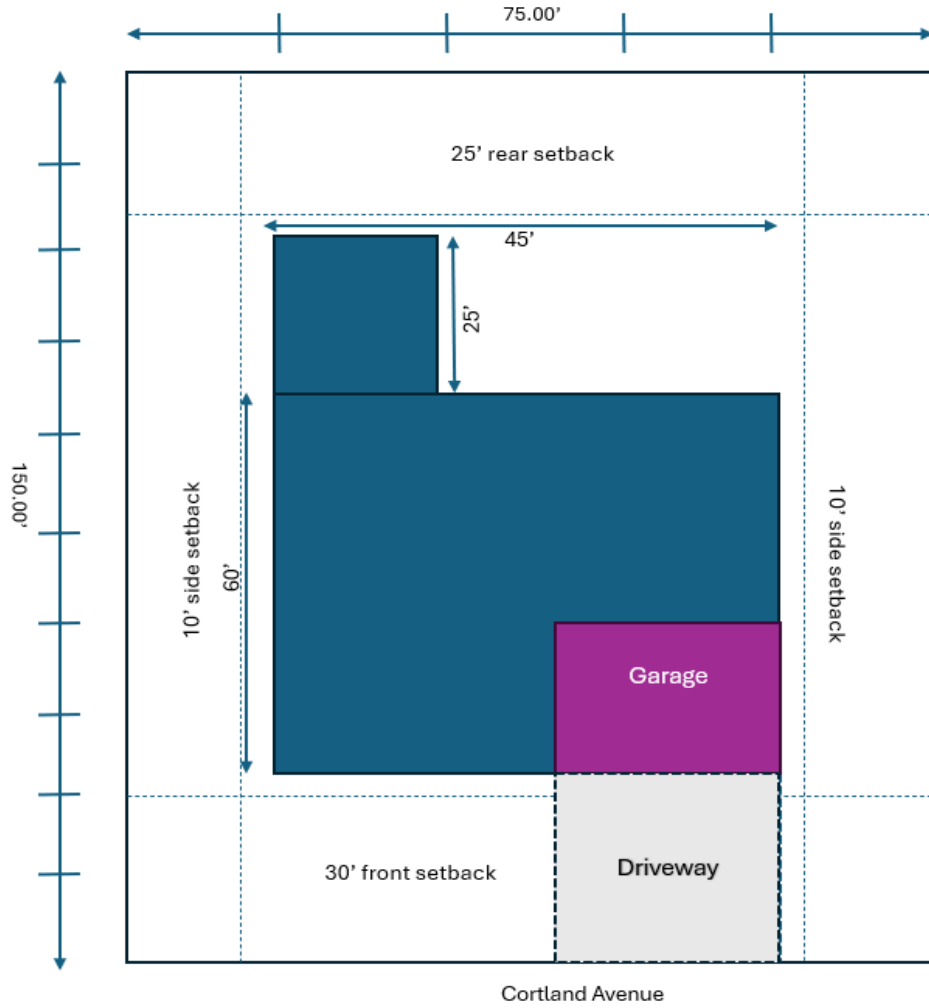
DATE:	JOB #	REVISION	BY:
9/10/25	59766	UPDATE SURVEY	GS

BOUNDARY SURVEY

SCALE: 1" = 20'
FIELD DATE: 08/26/25
PREPARED FOR: **ANDREW SAMAAAN**

LOCATION: 1210 ALBERTA DR, WINTER PARK, FL 32789
SUBDIVISION NAME: **PLAT BOOK L, PAGE 34**
PATH: CF# 59766 OCL-34-OSCEOLA SUMMIT PARCEL 2 1 2

Proposed Site Plan 1210 Alberta Lot Split





Planning & Zoning Board

agenda item 4.c

item type

Public Hearings (Public participation and comment on these matters must be in person.)

meeting date

November 4, 2025

prepared by

Allison McGillis, Director of Planning and Zoning

approved by

Allison McGillis, Director of Planning and Zoning

subject

ZTA #25-05. Request of The City of Winter Park for: An Ordinance to create a new Section 58-98 to establish regulations and procedures for certified recovery residences requesting reasonable accommodation as required by Chapter 2025-182, Laws of Florida.

motion | recommendation

Staff recommendation is for approval.

background

This ordinance amends Chapter 58 of the Winter Park Land Development Code to establish a new Section 58-98 governing certified recovery residences in accordance with Chapter 2025-182, Laws of Florida. It creates a clear and consistent process for certified recovery residences seeking reasonable accommodation from land use or zoning regulations, ensuring compliance with the Fair Housing Amendments Act, the Americans with Disabilities Act, and state law. Applications must be filed with the Planning and Zoning Department, include proof of certification, and specify the regulation from which relief is sought, with determinations required within sixty days or deemed approved. Decisions are based on granting only the minimum accommodation necessary, and conditions may be imposed so long as they remain consistent with applicable law. The ordinance also provides for revocation if a residence loses its certification or ceases operations, with reinstatement available within 180 days, and establishes a right of appeal to the City Commission. Adoption of this ordinance fulfills the City's statutory obligation to adopt such procedures by January 1, 2026.

alternatives | other considerations

fiscal impact

attachments

1. Ordinance Certified Recovery Residences _WP 9-18-2025

ORDINANCE ____

AN ORDINANCE OF THE CITY OF WINTER PARK, FLORIDA, AMENDING CHAPTER 58, LAND DEVELOPMENT CODE, ARTICLE III, "ZONING," TO CREATE A NEW SECTION 58-98 TO ESTABLISH REGULATIONS AND PROCEDURES FOR CERTIFIED RECOVERY RESIDENCES REQUESTING REASONABLE ACCOMMODATION AS REQUIRED BY CHAPTER 2025-182, LAWS OF FLORIDA; PROVIDING FOR DEFINITIONS; PROVIDING FOR A REASONABLE ACCOMMODATION PROCESS IN ACCORDANCE WITH FEDERAL AND STATE LAW; PROVIDING FOR APPLICATION REQUIREMENTS, REVIEW PROCEDURES, AND DEADLINES; PROVIDING FOR REVOCATION AND REINSTATEMENT; PROVIDING FOR SEVERABILITY; PROVIDING FOR CODIFICATION; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the Legislature of the State of Florida adopted Chapter 2025-182, Laws of Florida, effective July 1, 2025, amending §§397.487 and 397.4871, Florida Statutes, relating to certified recovery residences; and

WHEREAS, Chapter 2025-182, Laws of Florida requires all municipalities and counties to adopt ordinances establishing a process for the review and approval of certified recovery residences no later than January 1, 2026; and

WHEREAS, the City Commission of the City of Winter Park recognizes that certified recovery residences provide important housing opportunities for persons in recovery from substance use disorders and are protected under the Fair Housing Amendments Act of 1988 and the Americans with Disabilities Act; and

WHEREAS, the City of Winter Park is committed to ensuring its land use and zoning processes provide equal housing opportunities for individuals with disabilities while maintaining compliance with state and federal law; and

WHEREAS, the City Commission finds that it is in the best interest of the public health, safety, and welfare to establish clear, consistent procedures for processing requests for reasonable accommodation by certified recovery residences as mandated by Chapter 2025-182, Laws of Florida.

NOW, THEREFORE, BE IT ORDAINED by the City Commission of the City of Winter Park, Florida, that:

SECTION 1. Recitals. The foregoing recitals are true and correct and are incorporated herein by this reference.

SECTION 2. Adoption. Chapter 58, Article III of the Winter Park Code of Ordinances is hereby amended to create a new Section 58-98 titled “**Certified Recovery Residences**”, to read as follows:

Section 58-98. Certified Recovery Residences.

A. Definitions. For purposes of this Section, the following terms shall have the meanings set forth in §397.311, Florida Statutes, as amended:

1. **Certified recovery residence** – A recovery residence that holds a valid certificate of compliance and is actively managed by a certified recovery residence administrator as defined in Section 397.311, Florida Statutes, as amended, including Level I through Level IV certified recovery residences.
2. **Certificate of compliance** – A certificate issued by a credentialing entity to a recovery residence or administrator.
3. **Certified recovery residence administrator** – An administrator who holds a valid certificate of compliance.
4. **Reasonable accommodation** – A waiver or modification of land use, zoning, or other regulations to afford persons with disabilities an equal opportunity to use and enjoy a dwelling, consistent with the Fair Housing Amendments Act and the Americans with Disabilities Act.

B. Applicability.

This Section applies to a certified recovery residence seeking a reasonable accommodation from land use, zoning or land development code regulations within the City. This Section shall not supersede any declaration of covenants, conditions, or restrictions of a condominium, cooperative, or homeowners’ association governed by Chapters 718, 719, or 720, Florida Statutes. Except for the seeking of a reasonable accommodation, the review and approval of a certified recovery residence is governed by the City’s standard review and approval processes and compliance with applicable codes and ordinances.

C. Application for Reasonable Accommodation.

(i) Form of Application. Applications under this Section shall be filed with the Planning and Zoning Department on a form provided by the City and shall include:

1. Applicant’s name, mailing address, telephone number, and email address;
2. Address and parcel identification number of the subject property;
3. Identification of the specific regulation from which relief is sought; and
4. A description of the reasonable accommodation requested along with citations to the applicable code or ordinance provisions at issue and the basis for requesting such accommodation.
5. A copy of the applicable certificate of compliance pertaining to the applicant.

(ii) Processing.

1. The Planning and Zoning Department shall date-stamp all applications upon receipt.
2. Within thirty (30) days of receipt, the City may request additional information in writing. Applicants shall have at least thirty (30) days to respond.
3. Within sixty (60) days of receipt of a completed application, the Planning and Zoning Department Director shall issue a written determination approving, approving with conditions, or denying the request based on evidence-based findings.
4. If no determination is issued within sixty (60) days of a completed application, and no written extension has been agreed to, the request shall be deemed approved.

D. Review Criteria.

Decisions on a request for a reasonable accommodation under this Section shall be based on making the minimum reasonable accommodation necessary to accomplish the purpose of the request and meet the requirements of the Fair Housing Amendments Act of 1988, the Americans with Disabilities Act, and Chapter 2025-182, Laws of Florida. Conditions may be imposed on the reasonable accommodation provides such are consistent with federal and state law.

E. Revocation and Reinstatement.

(a) **Revocation.** An accommodation granted under this Section may be revoked by the City if the certified recovery residence: (i) loses its certificate of compliance under Florida law, or (ii) closes or vacates the premises.

(b) **Reinstatement.** If certificate of compliance is reinstated within one hundred eighty (180) days of revocation, the accommodation may be reinstated administratively by the Planning and Zoning Department Director.

(c) **Appeal.** Any certified recovery residence who is adversely affected by a decision made concerning a request for a reasonable accommodation or revocation of accommodation shall have the right to appeal such decision to the City Commission by filing a notice of appeal with the City Clerk within ten (10) days of the applicable decision along with stating the specific basis of the appeal. The City Commission will conduct a quasi-judicial hearing on the appeal within sixty (60) days of the filing of the appeal unless otherwise agreed to by the Planning and Zoning Department Director and the certified recovery residence.

SECTION 3. Conflicts. In the event of a conflict between this Ordinance and any other ordinance or provision of law, this Ordinance shall control to the extent allowable by law.

SECTION 4. Severability. If any portion of this Ordinance is held invalid or unconstitutional by a court of competent jurisdiction, such portion shall be deemed a separate, distinct provision, and such holding shall not affect the validity of the remaining portions.

SECTION 5. Codification. This Ordinance shall be codified in the Code of Ordinances of the City of Winter Park, Florida. Section numbering, formatting, and headings may be altered as necessary.

SECTION 6. Effective Date. This Ordinance shall take effect immediately upon adoption.

FIRST READING: _____.

SECOND READING: _____.

ADOPTED this ____ day of _____, 2025, by the City Commission of the City of Winter Park, Florida.

**CITY COMMISSION OF THE CITY OF
WINTER PARK, FLORIDA**

Sheila DeCiccio, Mayor

ATTEST:

Rene Cranis, City Clerk



item type

Public Hearings (Public participation and comment on these matters must be in person.)

meeting date

November 4, 2025

prepared by

Allison McGillis, Director of Planning and Zoning

approved by

Allison McGillis, Director of Planning and Zoning

subject

ZTA #25-04. Request of The City of Winter Park for: An Ordinance to amend Chapter 58, "Land Development Code"; Revising Article III, "Zoning," Section 58-64, "Nonconforming Lots, Nonconforming Uses, And Nonconforming Structures," to update regulations relating to structural renovation and valuation thresholds; and Amending Article V, "Environmental Protection Regulations," Division 1, "Stormwater Management," to revise performance standards for new development and redevelopment, establish a stormwater utility fee in lieu option for small sites, and update technical and design standards.

motion | recommendation

Staff recommendation is for approval.

background

This ordinance amends Chapter 58 of the Land Development Code to revise two sections relating to nonconforming structures and stormwater management. The first amendment updates Section 58-64, "Nonconforming Lots, Nonconforming Uses, and Nonconforming Structures," to clarify how valuation thresholds are calculated and to provide flexibility for certain residential and nonresidential renovations that do not expand building footprints or intensify nonconformities, as well as to incentivize adaptive reuse and reinvestment into existing structures rather than demolition and rebuilds.

The second portion revises Article V, Division 1, "Stormwater Management," to modernize performance standards for new development and redevelopment, establish a stormwater utility fee-in-lieu option for small sites, and update technical and design standards to improve drainage and environmental performance citywide. Together, these changes provide consistency between related code sections, enhance clarity for applicants, promote sustainable redevelopment.

alternatives | other considerations

fiscal impact

attachments

1. ORD xxxx-25 Nonconforming Structures

ORDINANCE XXXX-25

AN ORDINANCE OF THE CITY OF WINTER PARK, FLORIDA, AMENDING CHAPTER 58, "LAND DEVELOPMENT CODE"; REVISING ARTICLE III, "ZONING," SECTION 58-64, "NONCONFORMING LOTS, NONCONFORMING USES, AND NONCONFORMING STRUCTURES," TO UPDATE REGULATIONS RELATING TO STRUCTURAL RENOVATION AND VALUATION THRESHOLDS; AND AMENDING ARTICLE V, "ENVIRONMENTAL PROTECTION REGULATIONS," DIVISION 1, "STORMWATER MANAGEMENT," TO REVISE PERFORMANCE STANDARDS FOR NEW DEVELOPMENT AND REDEVELOPMENT, ESTABLISH A STORMWATER UTILITY FEE IN LIEU OPTION FOR SMALL SITES, AND UPDATE TECHNICAL AND DESIGN STANDARDS; PROVIDING FOR CODIFICATION, SEVERABILITY, CONFLICTS, AND AN EFFECTIVE DATE.

WHEREAS, the City Commission of the City of Winter Park deems it necessary for the general welfare of the City to amend the City of Winter Park Land Development Code as set forth in this Ordinance;

WHEREAS, the City Commission hereby finds that this Ordinance serves a legitimate government purpose and is in the best interests of the public health, safety, and welfare of the citizens of Winter Park, Florida;

WHEREAS, the City Commission hereby finds that the land development regulations adopted herein are consistent with the Comprehensive Plan;

WHEREAS, the Winter Park Planning and Zoning Board, acting as the designated Local Planning Agency, has reviewed and recommended adoption of proposed amendments to the Land Development Code set forth in this Ordinance having held an advertised public hearing on November 4, 2025, and has recommended approval of this Ordinance to the City Commission.

NOW THEREFORE, BE IT ENACTED by the City Commission of the City of Winter Park, Florida, after due notice and public hearing, that:

SECTION 1. That Chapter 58 "Land Development Code", Article III, "Zoning" of the Code of Ordinances, Section 58-64 "Nonconforming lots, nonconforming uses and nonconforming structures" is hereby amended as shown below (underlined language are additions; ~~stricken through~~ language are deletions; subsections not included are not being modified):

Sec. 58-64. Nonconforming lots, nonconforming uses and nonconforming structures.

- (c) *Nonconforming structures.* Where a lawful structure exists at the effective date or amendment of this article that could not be built under the terms of this article by reason of restrictions on area, lot coverage, height, yards, floor area ratio, its location on the lot, or other requirements concerning the structure, such structure may be continued so long as it remains otherwise lawful, subject to the following provisions:

~~(2) If a nonconforming structure or portion thereof be demolished or destroyed through repair, remodeling, reconstruction or any other means to an extent of more than 50 percent of the assessed value of the improvements detailed on the most current records of the Orange County Property Appraiser, at the time of demolition or destruction, it shall not be reconstructed or restored except in conformity with the provisions of these zoning regulations. Alternatively, the assessed value may be determined using the average of the market-rate value as determined by an independently certified and licensed property appraiser and the most current records of the Orange County Property Appraiser. Removal and replacement of a nonconforming portion of a building with a new structure (such as new walls or roof) is not to be permitted. When 90 percent or more of the roof structure of a nonconforming building is removed, and interior floor areas are remodeled including the substantial removal of existing plumbing, electrical and mechanical systems, then that building shall be deemed to have exceeded the 50 percent destruction threshold referenced in this paragraph. Building renovations phased over a two-year period shall be combined to determine applicability of the 50 percent threshold criteria.~~

(2) If a nonconforming structure or portion thereof be demolished or destroyed through repair, remodeling, reconstruction or any other means to an extent of more than 50 percent of the assessed value of the improvements detailed on the most current records of the Orange County Property Appraiser, at the time of demolition or destruction, it shall not be reconstructed or restored except in conformity with the provisions of these zoning regulations. Alternatively, the assessed value of the structure may be determined using the market-rate value as determined by an independently licensed property appraiser in the State of Florida. The following exceptions shall apply:

(a) *Nonconforming structures on residential lots.* Single-story additions, or interior renovations without changes to or removal of exterior walls, which meet all applicable land development code standards, may be excluded from the 50 percent building assessment requirement. In all cases, any two-story addition shall apply to this assessment. Removal and

replacement of a nonconforming portion of a building with a new structure (such as new walls) is not permitted.

(b) *Nonconforming structures on nonresidential lots.* In order to allow for the remodeling and renovation of nonresidential buildings within the city that do not result in any increase to the building footprint or square footage, these projects shall be excluded from the 50 percent building assessment threshold. This provision shall not apply to any structure or portion of a structure where a nonconforming use currently exists.

SECTION 2. That Chapter 58 "Land Development Code", Article V, "Environmental Protection Regulations" of the Code of Ordinances, Sections 58-162 through 58-165, is hereby amended as shown below (underlined language are additions; ~~stricken through~~ language are deletions; subsections not included are not being modified):

Sec. 58-162. Performance standards for new development.

- (d) The above performance standards shall apply to all new nonresidential and multi-family residential building projects on vacant land, or land made vacant after the demolition of existing structures. These requirements shall also apply to all building projects whose construction value exceeds 50 percent of the assessed value of the ~~improvements~~existing building(s) detailed on the most current property tax assessment role. Building ~~renovations~~improvements phased over a two-year period shall be combined to determine applicability of the 50-percent threshold criteria. Exception: Reconstruction costs associated with property maintenance and/or improvements required to meet current building code standards, including but not limited to reroofs, electric panel changes, window/door replacements, fixtures/equipment replacements, exterior sidings/soffit replacements, installation of hurricane shutters, and architectural and structural repairs.

Sec. 58-163. Performance standards for the retrofit of existing development.

- (a) In order to achieve the benefits of stormwater management on nonresidential and multi-family residential properties undergoing redevelopment, ~~renovation~~improvements or additions, the city shall require the provision of onsite stormwater retention.
- (b) The following performance standards shall apply to all new nonresidential and multi-family residential building projects on vacant land, or land made vacant after the demolition of existing structures. These requirements shall also apply to all building projects whose construction value exceeds 50 percent of the assessed value of the ~~improvements~~existing building(s) detailed on the most current property tax assessment role. Building ~~renovations~~improvements phased over a

two-year period shall be combined to determine applicability of the 50 percent threshold criteria. Exception: Reconstruction costs associated with property maintenance and/or improvements required to meet current building code standards, including but not limited to reroofs, electric panel changes, window/door replacements, fixtures/equipment replacements, exterior sidings/soffit replacements, installation of hurricane shutters, and architectural and structural repairs.

- (c) The stormwater management requirement for new development shall be the retention onsite of the first inch of runoff from all impervious surfaces.
- (d) The stormwater retention requirements of this section shall be achieved through the retention of stormwater runoff in surface retention facilities, such as grassed swales or retention ponds.
- (e) For properties with a total area less than one acre that trip the valuation threshold outlined in this section, property owners may opt to increase their Stormwater Utility Fee in lieu of providing stormwater retention onsite. This increase would equal five times their existing Stormwater Utility Fee for a duration of 10 years. This increased fee shall go into effect during the first fee payment cycle after the project is complete.
- ~~(e) The following stormwater performance standards for the retrofit of existing development shall apply to all building projects whose construction value exceeds 25 percent of the assessed value of the improvements detailed on the most current property tax assessment role. Building renovations or additions phased over a two-year period shall be combined to determine when the 25-percent threshold criteria has been achieved.~~
- ~~(f) The stormwater management requirement for the redevelopment, renovation or additions to existing buildings shall be the retention onsite of the first one-half inch of stormwater runoff from all impervious surfaces.~~
- ~~(g) The stormwater retention requirements of this section shall be accomplished by utilizing surface stormwater facilities.~~
- ~~(h) These stormwater management requirements for the retrofit of existing development do not allow properties constructed in conformance with the requirements for the first inch of retention to revert to a lesser requirement.~~

Section 58-164. Performance standards for properties within the central business district.

- (b) On properties within these districts the stormwater retention requirement shall be either:

- (1) The provision of onsite stormwater retention of the first one-half inch from all impervious surfaces into surface or subsurface facilities; or
- (2) The payment to the city of a fee in lieu of stormwater management to be equal to the cost of providing subsurface stormwater retention facilities. These fees are to be earmarked and utilized by the city for construction and improvement to capital facilities of the offsite stormwater management system within the city drainage basin. Such cost estimates shall be certified by a registered engineer. The ~~stormwater board of appeals~~ City Commission shall act to resolve any conflicts or disputes regarding the appropriate fee in lieu of stormwater management.

Sec. 58-165. Performance standards for properties within single family zoning districts.

- (b) The stormwater management requirement for development and redevelopment on properties within single family districts shall include some method or methods of onsite retention for the ~~building, parking, and driveway areas~~ proposed impervious areas. These methods shall include, but not be limited to: the provision of swales or other retention areas; the sloping of parking areas and drives to landscaped areas versus directly to the street; the guttering of building runoff to landscaped open areas where setbacks limit the amount of pervious area available; and other such methods which provide opportunities for the percolation of stormwater.
- (c) The above performance standards shall apply to all single family residential building projects on vacant land, or land made vacant after the demolition of existing structures. ~~These requirements shall also apply to all building projects whose construction value exceeds 50 percent of the assessed value of the improvements detailed on the most current property tax assessment role. Building renovations phased over a two-year period shall be combined to determine applicability of the 50 percent threshold criteria.~~

SECTION 3. CODIFICATION. Sections 1 and 2 of this Ordinance shall be incorporated into the City of Winter Park Code of Ordinances.

SECTION 4. SEVERABILITY. The divisions, sections, subsections, paragraphs, sentences, clauses and phrases of this Ordinance are severable, and if any phrase, clause, sentence, paragraph, subsection, section, or division of this Ordinance shall be declared invalid, unconstitutional or unenforceable by the valid judgment or decree of a court of competent jurisdiction, such invalidity, unconstitutionality or unenforceability shall not affect any of the remaining phrases, clauses, sentences, paragraphs, subsections,

sections, and divisions of this Ordinance. The City Clerk is given liberal authority to ensure proper codification of this Ordinance, including the right to correct scrivener's errors.

SECTION 5. CONFLICTS. In the event of a conflict between this Ordinance and any other ordinance of the City of Winter Park, this Ordinance shall control to the extent of such conflict.

SECTION 6. EFFECTIVE DATE. This Ordinance shall take effect immediately upon its passage and in accordance with Florida law.

ADOPTED at a regular meeting of the City Commission of the City of Winter Park, Florida held in City Hall, Winter Park, on this _____ day December, 2025.

Mayor Sheila DeCiccio

ATTEST:

City Clerk Rene Cranis