



Board of Adjustments Regular Meeting

Agenda

February 18, 2025 @ 5:00 PM

City Hall Commission Chambers
401 S. Park Avenue

welcome

Agendas and all backup material supporting each agenda item are accessible via the city's website at cityofwinterpark.org/meetings and include virtual meeting instructions.

assistance & appeals

Persons with disabilities needing assistance to participate in any of these proceedings should contact the City Clerk's Office ([407-599-3277](tel:407-599-3277)) at least 48 hours in advance of the meeting.

"If a person decides to appeal any decision made by the Board with respect to any matter considered at this hearing, a record of the proceedings is needed to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based." (F.S. 286.0105).

please note

Times are projected and subject to change.

1. Call to Order**2. Consent Agenda**

- a. Approve the minutes of January 21, 2025. 1 minute

3. Public Comments (for items not on the agenda): Three minutes allowed for each speaker**4. Public Hearings (Public participation and comment on these matters must be in person.)**

- a. BOA-2024-0016. Request of Rachid El Manouni for variance approval from Section 58-71 subsection (n)(2), to allow a 6-foot high fence within the front yard in lieu of the maximum height of 3-feet for fences within front yards in conjunction with the proposed fence located at 2150 Suffield Drive, zoned R-1A. 15 minutes
- b. BOA-2025-0001. Request of Jennifer Killen and Christopher Frank for variance approval from Section 59-71 subsection (h)(4), to allow a 10-foot rear setback for a 700 square foot accessory building, in lieu of the required principal setback of 25 feet for accessory buildings over 400 square feet, located at 2009 Lake Drive, Zoned R-1A. 10 minutes
- c. BOA-2025-0002. Request of Habitat for Humanity of Winter Park/Maitland, for variance approval from Section 58-65 subsection (f)(6), to allow a 16-foot front setback in lieu of the required front setback of 21-feet in conjunction with the proposed single-story home located at 860 W New England Avenue, zoned R-1A. 10 minutes

5. Non-Action Items**6. Staff Updates****7. Board Comments****8. Upcoming Agenda Items****9. Adjournment**



Board of Adjustments

agenda item 2.a

item type

Consent Agenda

meeting date

February 18, 2025

prepared by

Mary Bush, Administrative Coordinator III

approved by**subject**

Approve the minutes of January 21, 2025.

motion | recommendation**background****alternatives | other considerations****fiscal impact****attachments**

1. Draft Board of Adjustments Regular Meeting Minutes



Board of Adjustments Regular Meeting Minutes

January 21, 2025 at 5:00 PM

City Hall Commission Chambers
401 S. Park Avenue

Present

Michael Clary, Ann Higbie, Charles Steinberg, Robert Trompke, Aimee Hitchner, Jeanne Reynaud, Frank Pruitt

Absent

None

Staff Present

City Attorney Hillary Griffith, Planning Consultant Jeff Briggs, Planner II Nicholas Lewis, Planner I Corinna Lundgren, Deputy City Clerk Kim Breland

1. Call to Order

Chairman Steinberg called the meeting to order at 5:03 p.m.

2. Consent Agenda

- a. Approve the minutes of December 17, 2024.

A roll call vote was made by Chairman Steinberg due to technical difficulty.

Motion made by Ann Higbie, seconded by Michael Clary, to approve the January 21, 2025 meeting minutes.

The motion carried unanimously by a 7-0 vote.

3. Public Comments (for items not on the agenda): Three minutes allowed for each speaker

No one from the public wished to speak. The public hearing was closed.

4. Public Hearings (Public participation and comment on these matters must be in person.)

- a. BOA-2024-0015. Request of Andy and Brittney Burrow for variance approval from Section 58-71 subsection (n)(2), to allow a 6-foot-high fence within the street-side yard in lieu of the maximum height of 3-feet for fences within street-side yards in conjunction with the proposed fence located at 897 Brock Street,

zoned R-1AA.

Mr. Lewis provided a summary of the item. He indicated that the property uniquely has three street-facing yards; the functional front yard faces Brock Street, the functional rear yard faces Dixie Parkway, and the street-side yard faces Sunnyside Drive. He then indicated that on the property currently exists a five-foot utility easement along the Dixie Parkway structure and a block wall ranging from three feet in height to five feet in height. He explained that the existing wall is failing due to the existence of multiple large camphor trees. He added that the applicants' request was essentially to replace the failing wall with a new, six-foot fence in the same location as the wall. Mr. Lewis noted that the request had been reviewed by the city's Transportation Division, which did a sight line analysis and found no sight line issues within the right of way or with the fence height. He then explained that the portion of the proposed fence along the Dixie Parkway frontage may be permitted at six feet in height because all the lots between Dixie Parkway and Brock Street have traditionally treated this area as a traditional rear yard as opposed to a standard through lot. Therefore, the only portion of the fence in question was the height of the fence along the Sunnyside Drive lot line. Mr. Lewis then reviewed the variance review criteria. He noted that a three-foot fence along the lot line could be fortified via dense landscaping to create adequate privacy. Similarly, a six-foot fence is permissible but would have to adhere to the 10-foot setback and requires vegetative screening if additional privacy is desired. He indicated that the applicants' structure is located at 22.7-feet from the property line, making the 10-foot setback achievable. Therefore, the applicants had two options to which they could adequately meet code under the property's existing conditions and circumstances. Mr. Lewis noted that staff believed that granting the request could open the door for similar variance requests in the future.

Staff recommendation was for denial.

A brief discussion ensued about whether the staff's recommendation would be the same if a picket-style fence or a six-foot vegetative screen on the exterior of the fence were used. Discussion also ensued regarding staff's concern about the request creating a possible special privilege.

No one from the public wished to speak. The public hearing was closed.

The applicants, Andrew and Brittney Burrow at 897 Brock Street, Winter Park, FL 32789 addressed the Board. They expressed that the reason for their request was to enclose the area for privacy and create a safe space for their children. Mr. and Mrs. Burrow indicated that the three-foot fence option would not keep their kids safe and the required 10-foot setback for the fence would significantly reduce the side yard and their kids' play area.

The Board inquired about the type of fence and landscape that was proposed. The

applicant indicated that a white vinyl fence was proposed and that they would leave the landscaping open to the Board's suggestion.

The Board shared their thoughts about the request. They expressed concerns about the white vinyl fence running the entire length of the house on Sunnyside Drive as proposed. The Board indicated a desire to have the fence stop at either the back of the house or halfway along the side of the house.

Motion made by Robert Trompke, seconded by Charles Steinberg, for variance approval from Section 58-71 subsection (n)(2), to allow a 6-foot-high fence within the street-side yard in lieu of the maximum height of 3-feet for fences within street-side yards in conjunction with the proposed fence located at 897 Brock Street, zoned R-1AA.

The motion failed by a 3-4 vote. (In Favor: Aimee Hitchner, Jeanne Reynaud, and Charles Steinberg. Opposed: Ann Higbie, Robert Trompke, Michael Clary, and Frank Pruitt.)

Motion made by Robert Trompke, seconded by Michael Clary, for variance approval from Section 58-71 subsection (n)(2), to allow a 6-foot-high fence within the street-side yard in lieu of the maximum height of 3-feet for fences within street-side yards in conjunction with the proposed fence located at 897 Brock Street, zoned R-1AA, with the following conditions:

- **that the 6-foot vinyl fence can run the alignment of the property line along Sunnyside Drive but should return back to the home 5 feet north of the front setback of the garage,**
- **and that the portion of the proposed fence facing Sunnyside Drive be subject to a vegetative buffer a minimum of 3-feet in height at planting along the street-facing side of the fence.**

The motion carried unanimously by a 7-0 vote.

- b. BOA-2024-0016. Request of Rachid El Manouni for variance approval from Section 58-71 subsection (n)(2), to allow a 6-foot-high fence within the front yard in lieu of the maximum height of 3-feet for fences within front yards in conjunction with the proposed fence located at 2150 Suffield Drive, zoned R-1A.

Mr. Lewis provided a summary of the request. He indicated that Suffield Drive dead-ends into a partial cul-de-sac abutting the Mayflower Retirement Center's property and the applicant's property is at the end of the street directly abutting the Mayflower Retirement Center's property line. He also indicated that a six-foot tall privacy fence exists adjacent to the neighboring Mayflower Retirement Center property spanning the length of the applicant's property, the cul-de-sac right-of-way, and the property

opposite the subject property within the cul-de-sac. He then noted that staff had received two neighbor letters of approval and none in opposition of the request. He explained that the existing house is set back 24 feet from Suffield Drive, its existing pool is odd shaped, and there is a tree located along the fence line all of which make any type of access to the rear and side yards impossible. He then explained that the applicant wants to have an area to enclose their boat and boat trailer to meet screening requirements, but it is not possible to place the area in the usual location of the rear yard due to non-accessibility with the existing layout of the property. He indicated that the only place possible for the enclosure is the front yard.

Mr. Lewis explained that part of the applicant's request was to screen the existing open-air deck located with the front portion of the home and exposed to the street-frontage. He further explained that because the area is considered the front yard as opposed to a street-side yard, there is no allowance for a fence taller than three-feet in height if adequately stepped back. Therefore, the applicant was seeking to treat the portion as if it was in a street-side yard. He indicated that staff recommended a condition that this portion of the fence be adequately screened using vegetation as required of fences in street-side yards meeting the setback height allowance. Mr. Lewis then indicated that to meet screening requirements for the applicant's boat, the applicant wanted a portion of the proposed fence to jut out from the 20-foot setback portion and run parallel to the existing six-foot fence belonging to the Mayflower Retirement Center, ending in a street-facing gate of the same height along the front lot line. He went on to explain that though staff does not usually support requests to screen recreational vehicles, there are several conditions and circumstances with this particular property that evidence the prohibitive nature of the lot and other conditions and circumstances that evidence that the request will be as minimally impactful as possible on adjacent neighbors. Therefore, staff believed that granting the request would not result in any special privilege granted to other lands, structures, or buildings in the same zoning district.

Staff recommendation was for approval of the variance requested subject to the following condition:

- That the portion of the proposed fence that is front facing in front of the raised patio area be screened by a vegetative buffer. The finished side of the fence must face the street.

Discussion ensued regarding clarification of where the fence would be located, clarification of the right of way, and why the boat and boat trailer can't be parked on the side yard.

No one from the public wished to speak. The public hearing was closed.

The applicant Rachid El Manouni of 2150 Suffield Drive, Winter Park, FL 32789

addressed the Board. He explained that the reason for the request was to conceal his boat and boat trailer while also securing the property. He indicated that the fence was not only meant to meet code requirements but to also enhance the appearance of the home and improve its property value. He also indicated that the fence was proposed to be a vinyl fence, but he was open to other suggestions.

The Board shared their thoughts on the request and indicated concerns with creating a precedence. Discussion ensued regarding other possible options for the applicant. Mr. El Manouni addressed the Board and expressed that the narrowness and angle of the driveway as well as it being in a cul-de-sac creates a challenge in getting his boat trailer to be maneuvered in and away from the front yard property line. The Board expressed concerns about running the proposed fence all the way out to the front property line. Discussion then ensued regarding removing the tree next to the existing side yard fence line and placing the boat and boat trailer in the gravel area next to the front deck, which would allow for removal of the proposed fence from the front property line.

Motion made by Ann Higbie, seconded by Robert Trompke, to table the request until the next Board meeting to determine if the tree next to the existing side yard fence line can be removed and the boat and boat trailer can be placed in that area.

The motion carried unanimously by a 7-0 vote.

- c. BOA-2024-0017. Request of Rick Jennings with Nautilus Homes for variance approval from Section 58-65 subsection (f)(6), to allow a 35-foot front setback in lieu of the required 48.5-foot front setback in conjunction with the proposed two-story home located at 1166 Palmer Avenue, zoned R-1AA.

Mr. Lewis provided a summary of the request. He noted that the applicant's property is a standard rectangular lot, but it is the only lot within its block with a setback greater than 40-feet while the other, similarly sized parcels within the block all maintain front setbacks roughly ranging from 30-feet to 40-feet. He added that the two lots directly adjacent to the applicant's property have a 34-foot and 36-foot front setback respectively. Therefore, the applicant's parcel, requiring a 48.5-foot front setback is the outlier on the block. Mr. Lewis indicated that under the circumstances, staff believed that the request of 35-feet was reasonable and would bring the subject property into conformity with the nature of the other similar properties within the same block structure. He also indicated that because of the lot's unique circumstances being the only significant outlier among other similarly sized parcels within the block structure and the intent of the city's front setback provision to ensure compatibility, staff did not believe that the request would allow for a special privilege to any other lands, structures, or buildings in the same zoning district.

Staff recommendation was for approval.

No one from the public wished to speak. The public hearing was closed.

The applicant, Rick Jennings of 238 St. James Place, Longwood, FL 32750 addressed the Board. Mr. Jennings noted that when home was built 77 years ago, it was centered at the depth of lot. He added that the intent of the request was to take the driveway and exit from the garage off Palmer Avenue and to some degree off Via Bella to create a motor court garage and to pull the home forward to gain more rear yard.

Motion made by Michael Clary, seconded by Ann Higbie, for variance approval from Section 58-65(f)(6), to allow a 35-foot front setback in lieu of the required 48.5-foot front setback in conjunction with the proposed two-story single-family home located at 1166 Palmer Avenue, zoned R-1AA.

The motion carried unanimously by a 7-0 vote.

5. Non-Action Items

6. Staff Updates

Mr. Lewis indicated that the city's Planning Consultant, Jeff Briggs was retiring at the end of the month.

7. Board Comments

8. Upcoming Agenda Items

9. Adjournment

The meeting adjourned at 6:38 p.m.

ATTEST:

/s/ Mary Bush, Board Secretary



Board of Adjustments

agenda item 4.a

item type

Public Hearings (Public participation and comment on these matters must be in person.)

meeting date

February 18, 2025

prepared by

Nicholas Lewis, Planner II

approved by

Mary Bush, Administrative Coordinator
III

subject

BOA-2024-0016. Request of Rachid El Manouni for variance approval from Section 58-71 subsection (n)(2), to allow a 6-foot high fence within the front yard in lieu of the maximum height of 3-feet for fences within front yards in conjunction with the proposed fence located at 2150 Suffield Drive, zoned R-1A.

motion | recommendation

Staff recommendation is for approval of the variance requested subject to the following condition(s): (1) that the portion of the proposed fence that is front facing in front of the porch are be screened by a vegetative buffer; and (2) that the portion inclusive of the gate to screen the boat be setback so as to meet a 10-foot setback from the property line.

background

The applicant and homeowner, Rachid El Manouni, is requesting variance approval to allow a 6-foot high fence in the front yard in lieu of the maximum 3-foot fence height for fences located in front yards. The property is zoned R-1A.

This item was continued from the January 21st, 2025 meeting. Since the January meeting, staff met with the applicant on the subject property to review the physical lot conditions and constraints.

Variance Review Criteria:

Special Conditions and Circumstances

In order for a variance to be granted, special conditions and circumstances must exist which are peculiar to the land, structure or building involved and are not applicable to other land, structures or buildings in the same zoning district.

The subject property is not necessarily unique in shape, but the lot and the structure are both unique in circumstance. Suffield Drive dead-ends into a partial cul-de-sac abutting the

Mayflower property. A 6-foot tall privacy fence exists adjacent to the neighboring Mayflower property spanning the length of the applicant's property, the cul-de-sac, and the property opposite the subject property within the cul-de-sac.

Additionally, the layout of the current structure and the pool makes the functionality of the subject property a unique challenge. An open-air deck is located within the front portion of the home and is exposed to the street-frontage. Part of the applicant's request is to screen this area, which is setback 20-feet from the lot line. But because the area is considered the front yard as opposed to a street-side yard, there is no allowance for a fence taller than 3-feet in height if adequately stepped back. The applicant is seeking to treat this portion as if it was located in a street-side yard. Staff is recommending a condition that this portion of the fence be adequately screened using vegetation as required for fences in street-side yards meeting the setback height allowance.

Another facet of the request is that a portion of the proposed fence then juts out from the 20-foot setback portion and runs parallel to the existing 6-foot fence of the Mayflower ending in a street-facing gate of the same height along the lot line. The purpose of this area is to meet screening requirements for the applicant's boat. Usually, the desire to screen a boat, trailer, RV, or other recreational vehicle is not enough in itself to warrant a variance. However, in this case, the layout of the structure and the pool make accessing the side and rear yards as storage for these types of vehicles impossible. This coupled with the fact that the lot is the last property before the dead-end of the street and the presence of the existing Mayflower fence, in staff's opinion, are enough to satisfy the requirements of the special conditions and circumstances criteria.

However, this portion is originally proposed along the front property line. Per the Board's request, staff met with the applicant on site to get more clarity on the existing lot conditions and constraints. Based on staff's on-site analysis, the applicant can move this proposed portion of the fence/gate back 10-feet. A 6-foot fence exists, which was installed prior to the applicant's purchase of the property, splitting the pool area from the area labeled "gravel". At its narrowest point, the "gravel" area is 11-feet wide, which although tight, the applicant states is enough width for their needs to keep the angle necessary to park the vessel and meet a 10-foot setback for the gate. Between the existing fence and the lot line is 42-feet of depth. The vessel and trailer is 30-feet long. Therefore, a 10-foot setback allows for the vessel to be parked with one-foot on either side.

Deprivation of Rights

The second requirement for granting a variance request is that the literal interpretation of the provisions of the zoning code would deprive the applicant of the rights commonly enjoyed by other properties in the same zoning district.

A literal interpretation of Section 58-71(n)(2), requires fences within front and street-side yards to be a maximum of 3-feet in height and be decorative/nonopaque as opposed to a privacy fence. In street-side yards, a 6-foot privacy fence is permissible if the fence is setback 10-feet from the lot line and vegetative plantings are placed on the street-facing side of the fence. This same allowance is not permitted in front yard areas.

In this instance, the subject property is not a corner lot, so it only has a front yard. Therefore, the setback height allowance option is not available. The applicant is then capped at 3-feet in height regardless of the locations of the fence segments and gate. The reality is that a 3-foot decorative fence would not adequately screen a recreational vehicle from view of the right-of-way. Because the applicant cannot adequately access other, more traditional storage areas such as the side and rear yard, the 3-foot height and nonopaque requirements do not allow the applicant to adequately store a recreational vehicle on the property.

Actions of the Applicant

The special conditions and circumstances must not result from the actions of the applicant.

The existing structure and swimming pool were originally constructed in 1971, before the applicant's purchase of the property in 2020. The applicant permitted and constructed the open, raised patio in 2023, but its existence does not affect the ability to park a recreational vehicle in the side or rear yard. The house itself is set far enough back to allow a recreational vehicle be parked behind the front setback in order to be adequately screened.

Special Privilege

The last requirement necessary to grant a variance request is that the variance will not confer on the applicant any special privilege denied by the zoning ordinance to other lands, structures or buildings in the same zoning district. No nonconforming use of the neighboring lands, structures or buildings in other zoning districts shall be considered grounds for the issuance of a variance.

Although staff does not usually support requests to screen recreational vehicles, there are several conditions and circumstances with this particular property that evidence the prohibitive nature of the lot and other conditions and circumstances that evidence that the request will be minimally impactful on the adjacent neighbors. Because of these special conditions and circumstances, and the reality that the applicant would not otherwise be able to adequately screen the vehicle from view of the neighbors and right-of-way, staff believes that granting this request will not result in any special privilege granted to other lands, structures or buildings in the same zoning district.

Summary

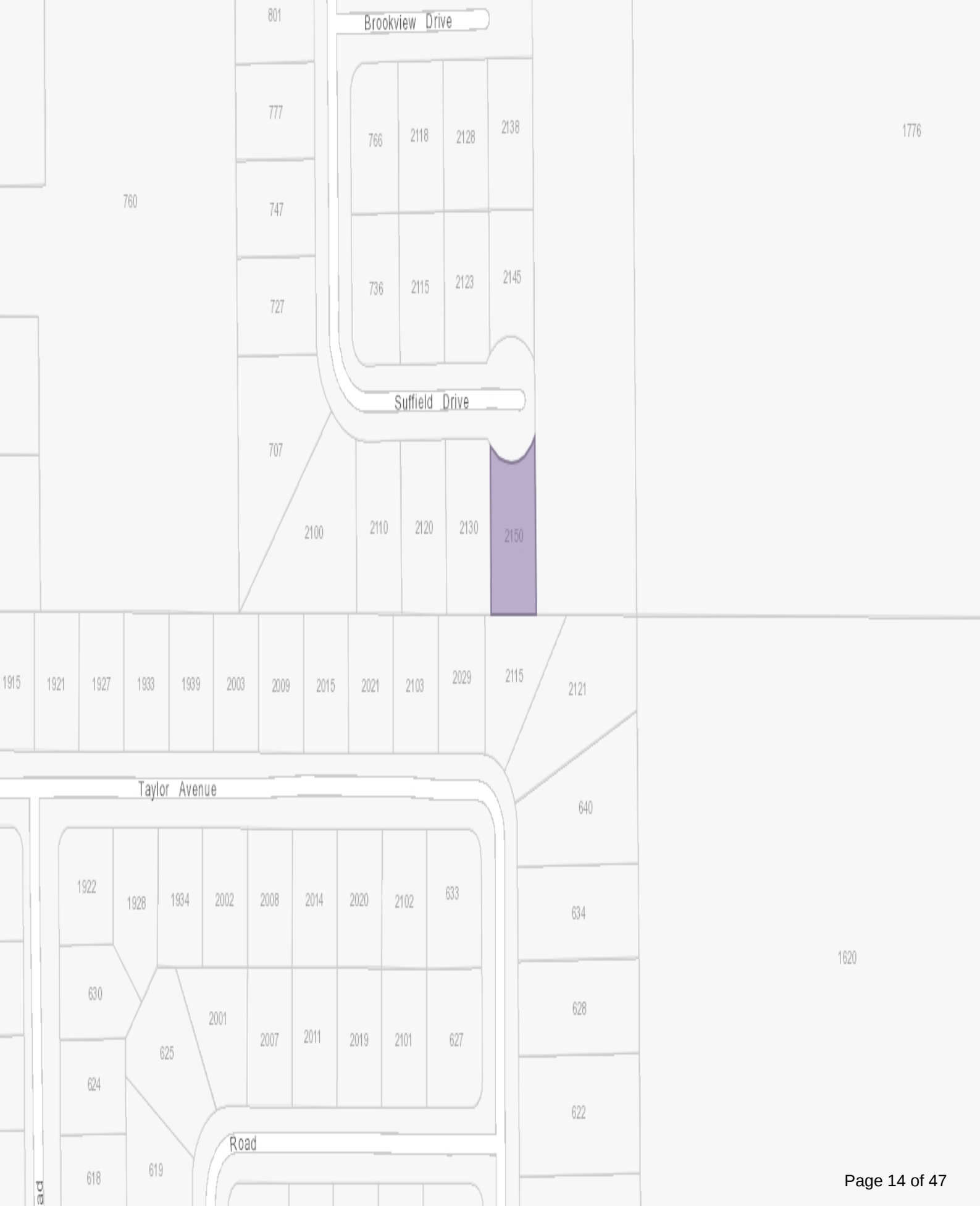
Staff believes that the applicant meets the four criteria required to grant the variance requested subject to the following condition(s): (1) that the portion of the proposed fence that is front facing in front of the porch area be screened by a vegetative buffer; and (2) that the portion inclusive of the gate to screen the boat be setback so as to meet a 10-foot setback from the property line.

alternatives | other considerations

fiscal impact

attachments

1. 2150 Suffield Drive - Area Map
2. 2150 Suffield Drive - Aerial Map
3. 2150 Suffield Drive - Neighbor Letter Map
4. 2150 Suffield Drive - Site Plan
5. 2150 Suffield Drive - Applicant Submittal
6. 2150 Suffield Drive - Neighbor Letters

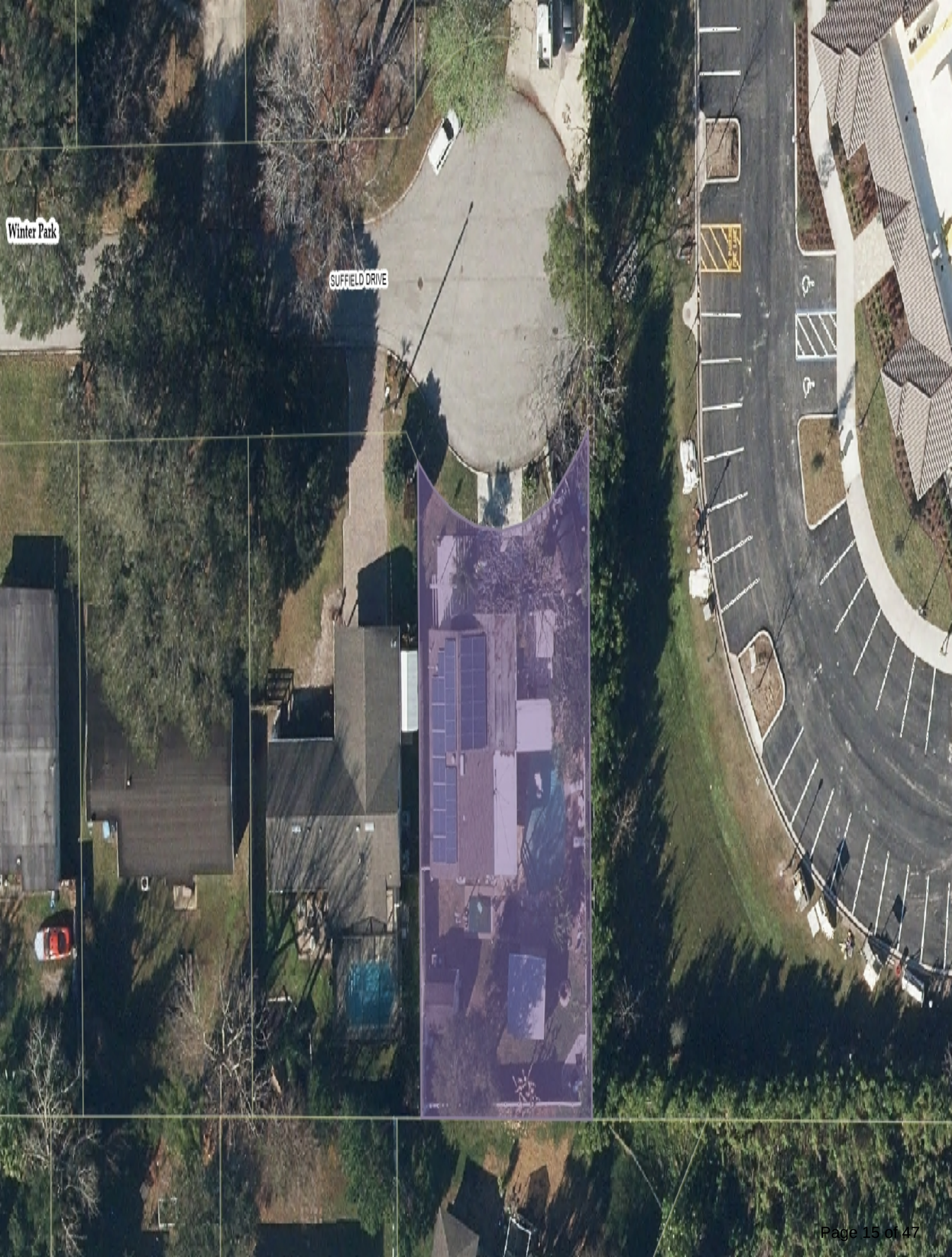


Brookview Drive

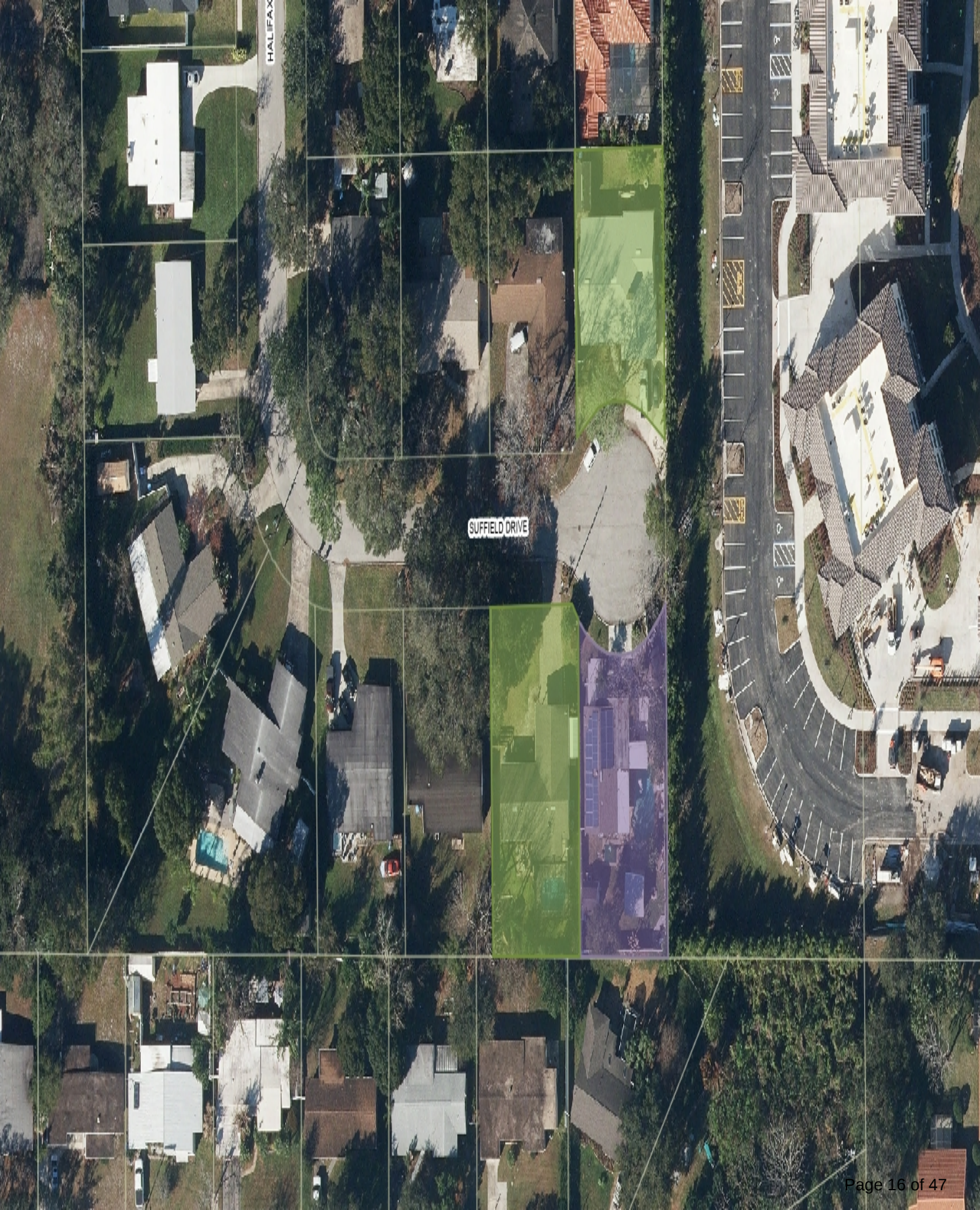
Suffield Drive

Taylor Avenue

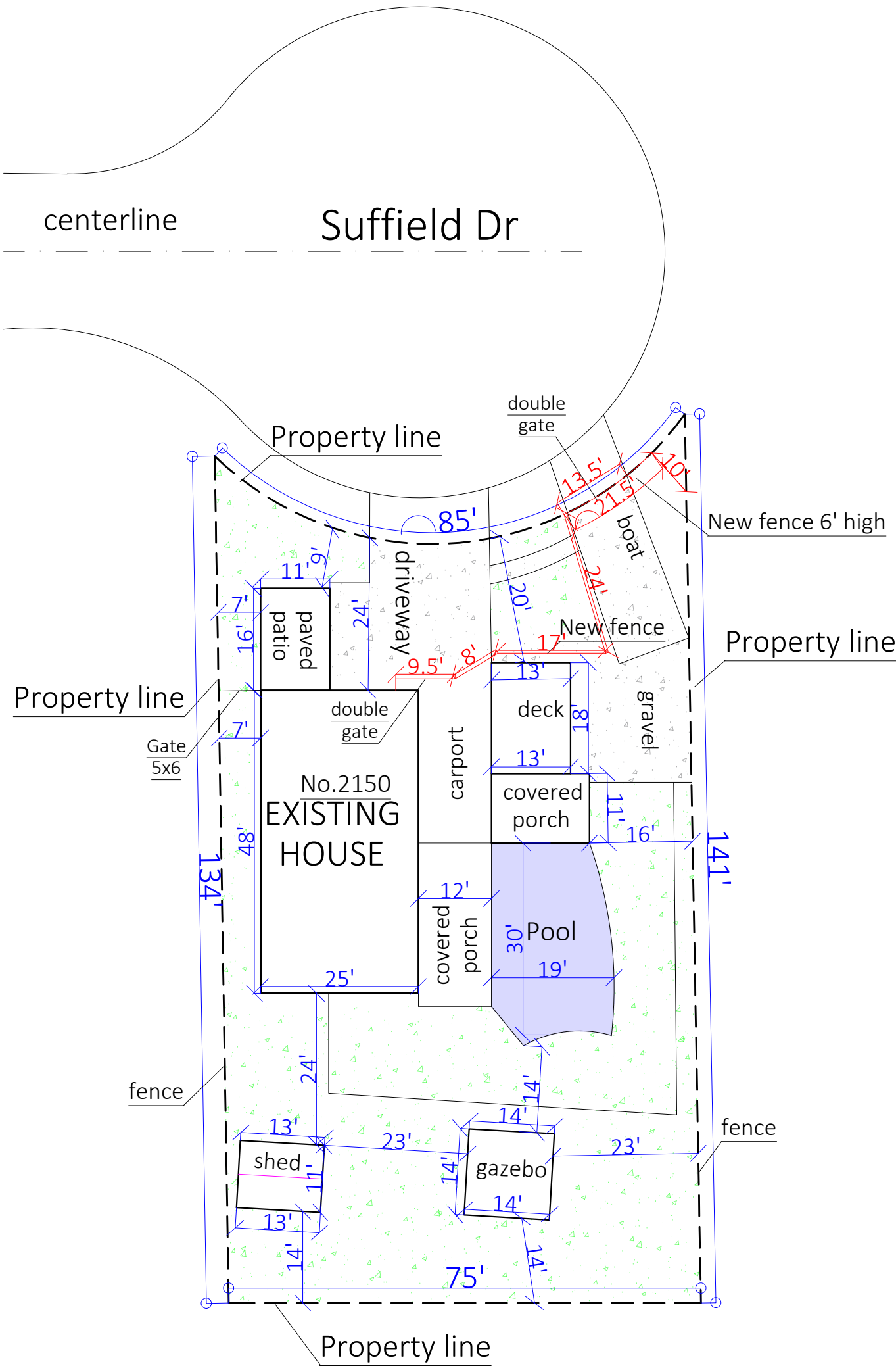
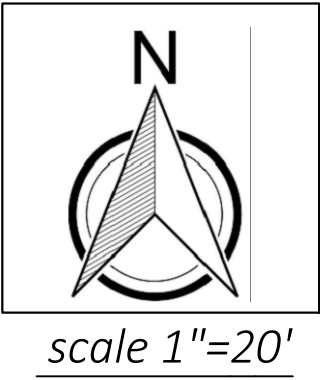
Road



SUFFIELD DRIVE



S I T E P L A N
2150 Suffield Drive
Winter Park, FL 32792
Parcel ID: 04-22-30-6685-04-160
Lot area: 0.22 Acres
Paper Size: 11"x17"





PLAN SNAPSHOT REPORT BOA-2024-0016 FOR CITY OF WINTER PARK

Plan Type: Board of Adjustments	Project:	App Date: 12/10/2024
Work Class: Board of Adjustments/Variance Application	District: Winter Park	Exp Date: NOT AVAILABLE
Status: Fees Paid	Square Feet: 0.00	Completed: NOT COMPLETED
Valuation: \$0.00	Assigned To: Lewis, Nick	Approval Expire Date:

Description:

Parcel: 302204668504160	Main	Address: 2150 Suffield Dr Winter Park, FL 32792	Main	Zone:
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Applicant EL M RACHID 2150 Suffield Drive Winter Park, FL 32792 Home: (407) 450-9182 Mobile: (407) 450-9182	Owner EL M RACHID 2150 Suffield Drive Winter Park, FL 32792 Home: (407) 450-9182 Mobile: (407) 450-9182
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Plan Custom Fields

Is the property on waterfront?	No	Section	Subsection
Zoning		Is this property on historic registry or district?	No
How long have you owned the property?	3	How long have you occupied the property?	3
		Special Condition	I am requesting a variance to relocate the existing fence line towards the front side of my property at 2150 Suffield Drive. The proposed change involves moving the fence closer to the dead-end side of the cul-de-sac (not interfering with any neighboring house), as indicated in red on the site survey. This adjustment will allow me to enhance the usability of my property by creating a secured storage area for my boat and other items. This side of the property is the only location where the boat can fit, making this relocation essential for practical and safe storage. Additionally, the change will improve security and safety for my young children. My property is uniquely situated at the end of a cul-de-sac with no direct neighbors on the side where the fence will be relocated. This specific layout, combined with my property's unique positioning relative to neighboring properties and streets, provides special conditions that justify the need for this

PLAN SNAPSHOT REPORT (BOA-2024-0016)

variance. The proposed relocation also allows for secured storage of my boat and other outdoor items, taking advantage of the only viable area on the property for such storage. These unique property boundaries enhance security and usability without impacting neighboring views or access.

Rights/Priv

Normally, properties within the same zoning district have the right to secure and use their land within the confines of the Zoning Ordinance. Strict enforcement of these regulations on my property would deprive me of the ability to use my property effectively for security and utility, especially considering its unique placement within the cul-de-sac. Additionally, I would lose the ability to utilize the only space on my property suitable for securely storing my boat and other essential items, which is a common privilege enjoyed by other properties.

Hardship

The hardship I face is due to my property's unique location at the end of a cul-de-sac and its specific layout, which limits usable outdoor space for safe children's play and overall security. The current zoning restrictions prevent me from fully utilizing the space in a way that provides adequate security, privacy, and necessary storage. This side of the property is the only location where my boat can fit securely, and adhering to the current zoning restrictions would prevent me from utilizing this space effectively. Therefore, adhering strictly to these zoning restrictions would significantly limit my ability to provide a safe, enclosed outdoor area for family activities and storage, which other less restrictively laid-out properties readily enjoy.

Limited Variance

I am willing to accept a limited variance that adjusts the allowable fence location closer to the property line at the front side, as detailed in the submitted site plan. I propose maintaining a respectful distance from the public right-of-way to ensure it does not impede sightlines or access. To further address aesthetic concerns, I am also willing to invest in hedges to cover the area of the fence in front of the deck, as shown in the submitted photos. This limited variance would accommodate both increased enclosed space for safety and usability and the secured storage of my boat and other items. I am open to discussing specific dimensions of this adjustment with the zoning board to meet safety, aesthetic, and functional requirements while addressing my

needs.

PLAN SNAPSHOT REPORT (BOA-2024-0016)

Attachment File Name	Added On	Added By	Attachment Group	Notes
2150 Suffield Drive Site Plan - new fence permit submission.pdf	12/10/2024 9:14	Elmanouni, Rachid		Site Plan
2150 Survey.pdf	12/10/2024 9:14	Elmanouni, Rachid		Survey
variance-submittal-checklist_Signed.pdf	12/10/2024 9:14	Elmanouni, Rachid		Signed Checklist
Signature_EL_RACHID_12/10/2024.jpg	12/10/2024 9:14	Elmanouni, Rachid		Uploaded via CSS
2150 Suffield - Neighbors Support Signature.pdf	12/26/2024 11:35	Lewis, Nick		Neighbor Letters
2150 Suffield Drive, Winter Park-Model (Boat).pdf	12/26/2024 11:35	Lewis, Nick		Site Plan - Updated
2150 Suffield Hedges (2).jpg	12/26/2024 11:35	Lewis, Nick		Landscaping
2150 Suffield Hedges.jpg	12/26/2024 11:35	Lewis, Nick		Landscaping

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00056268	Residential Variance Application Fee	\$200.00	\$200.00
Total for Invoice INV-00056268		\$200.00	\$200.00
Grand Total for Plan		\$200.00	\$200.00

Submittal Name	Status	Received Date	Due Date	Complete Date	Resubmit	Completed
Board of Adjustments Review v.1	Approved	12/10/2024	12/12/2024	12/20/2024	No	Yes
Item Review Name	Department	Assigned User	Status	Assigned Date	Due Date	Completed Date
Zoning Review	Building & Permitting Services	Lewis, Nick	Approved	12/10/2024	12/12/2024	12/18/2024

Workflow Step / Action Name	Action Type	Start Date	End Date
Review v.1		12/30/2024 13:15	12/30/2024 13:15
Board of Adjustments Review v.1	Receive Submittal	12/10/2024 0:00	12/20/2024 10:35
Issue Invoice v.1	Generic Action		12/30/2024 13:15
Final Decision v.1			
Board of Adjustments Decision v.1	Generic Action		

City of Winter Park
Board of Adjustments
Winter Park, FL

Rachid Elmanouni
2150 Suffield Drive
Winter Park, FL 32792

December 23, 2024

Subject: Request for Approval to Relocate Fence

Dear Members of the Board,

I am writing to respectfully request the Board's consideration and approval to modify the fence placement on my property at 2150 Suffield Drive, Winter Park, FL 32792. This adjustment will allow the enclosure of the side area of my property where I store my boat, ensuring both enhanced aesthetics and compliance with the community's standards.

My neighbors fully support this proposal and have signed the document below to affirm their agreement. They believe this modification will enhance the appearance and functionality of the property without negatively impacting the neighborhood. Their signatures below demonstrate their shared support:

Neighbor Name: Jesse and Jami Harris

Address: 2130 Suffield Drive Winter Park Fl 32792

Signature: 

Neighbor Name: John Obrien

Address: 2145 Suffield Drive Winter Park Fl 32792

Signature: 



Board of Adjustments

agenda item 4.b

item type

Public Hearings (Public participation and comment on these matters must be in person.)

meeting date

February 18, 2025

prepared by

Corinna Lundgren, Planner I

approved by**subject**

BOA-2025-0001. Request of Jennifer Killen and Christopher Frank for variance approval from Section 59-71 subsection (h)(4), to allow a 10-foot rear setback for a 700 square foot accessory building, in lieu of the required principal setback of 25 feet for accessory buildings over 400 square feet, located at 2009 Lake Drive, Zoned R-1A.

motion | recommendation

Staff recommendation is for approval of the variance requested subject to the following conditions(s): (1) that the overall height of the structure not exceed either 16 feet or the height of the existing principal structure, to be in conformance with all other code requirements.

background

The applicants and homeowners, Jennifer Killen and Christopher Frank, are requesting variance approval to allow a 10-foot rear setback for a detached accessory building in lieu of the required principal setback of 25 feet for accessory buildings over 400 square feet in size. The intent is to use the proposed building as an ADA compliant, accessory building for their mother. The property is zoned R-1A.

Variance Review Criteria:**Special Conditions and Circumstances**

In order for a variance to be granted, special conditions and circumstances must exist which are peculiar to the land, structure, or building involved and are not applicable to other land, structures, or buildings in the same zoning district.

Unique to the subject property, the primary home is located on a cul-de-sac and consequently, was not originally constructed in the center of the lot as we would typically see based on the cul-de-sac's location, leaving a significantly large side and rear yard area, on the Northwest corner of the property.

It is worth noting that the rear neighbor is roughly setback 70 feet from their rear property line. The proposed detached structure is therefore about 80 feet from the rear neighbor's home and meets all other principal setback requirements. A significant landscape buffer also exists between the subject property and the neighbor to the rear.

Deprivation of Rights

The second requirement for granting a variance request is that the literal interpretation of the provisions of the zoning code would deprive the applicant of the rights commonly enjoyed by other properties in the same zoning district.

A literal interpretation of Section 58-71 subsection (h)(4), requires accessory structures over 400 square feet to meet the same rear and side setback as required for the principal structure.

The applicants wish to build an ADA accessible unit for their mother. The primary setbacks would be a side setback of 18 feet and a rear setback of 25 feet only allowing a buildable area of 420 square feet based on these requirements. Therefore, the building pad meeting the required setbacks does not provide enough room to adequately address the applicant's need for wheelchair accessibility. However, the proposed request could meet the required 18-foot side setback and a 10-foot rear setback. Doing so would ultimately give a maximum buildable area of 840 square feet. The applicants are only requesting 700 square feet, which they feel is the minimum necessary to meet their ADA needs.

Actions of the Applicant

The special conditions and circumstances must not result from the actions of the applicant.

The existing structure was constructed in 1960 and before modern zoning and permitting requirements. Therefore, the existing conditions and any subsequent special conditions and circumstances are not based on any actions of the applicants.

Actions of the Applicant

The special conditions and circumstances must not result from the actions of the applicant.

The existing structure was constructed in 1960 and before modern zoning and permitting requirements. Therefore, the existing conditions and any subsequent special conditions and circumstances are not based on any actions of the applicants.

Special Privilege

The last requirement necessary to grant a variance request is that the variance will not confer on the applicant any special privilege denied by the zoning ordinance to other lands, structures, or buildings in the same zoning district. No nonconforming use of the neighboring lands, structures, or buildings in other zoning districts shall be considered grounds for the

issuance of a variance.

The lot has some unique conditions based on the cul-de-sac location and current layout of the existing house on the property, and the applicants have the availability to meet all code requirements except the rear. Because these conditions, coupled with the fact that a 400 or 420-square-foot building pad is not adequate to allow for a feasible, wheelchair accessible structure, staff does not believe that the request would allow for a special privilege to any other lands, structures, or buildings in the same zoning district regarding the variance requested.

Summary

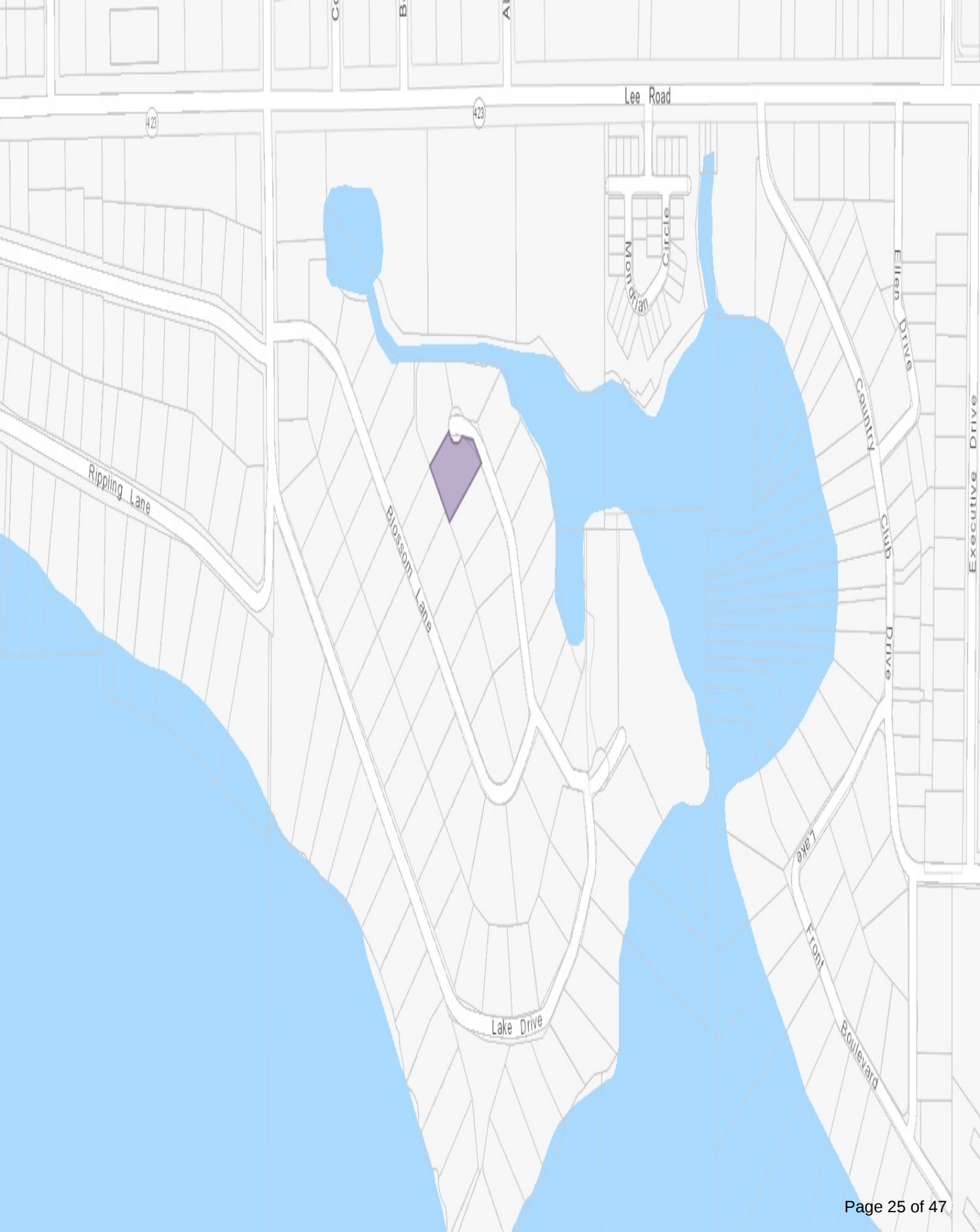
Staff believes that the applicants meet the four criteria required to grant the variance requested subject to the following condition that the overall height of the structure does not exceed either 16 feet or the height of the existing principal structure, to be in conformance with all other code requirements.

alternatives | other considerations

fiscal impact

attachments

1. 2009 Lake Dr - Area Map
2. 2009 Lake Dr - Aerial Map
3. 2009 Lake Dr. - Neighbor letter map
4. 2009 Lake Dr. - Survey
5. 700 Sqft-Floor Plan V2
6. 2009 Lake Dr. - Elevation
7. 2009 Lake Dr. - Neighbor Letter
8. 2009 Lake Dr. - Applicant submittal





Orange County

Winter Park



Orange County

Winter Park

Lake
Killamey

PERRY SURVEYING

370 Waymont Court • Lake Mary, FL 32746 • VOICE: 407.688.9727 • FAX: 407.688.7691 • frontdesk@perrysurveying.com

Lee Rd

Legal Description

Commence at the West 1/4 corner of Section 1, Township 22 South, Range 29 East, Orange County, Florida, run thence North 02 degrees 12 minutes West along the West line of the Northwest 1/4 of said Section 1, 302.27 feet; run thence North 87 degrees 44 minutes 45 seconds East, 154.51 feet; thence South 69 degrees 50 minutes 35 seconds East, 115.03 feet; thence South 42 degrees 05 minutes 59 seconds East, 377.16 feet; thence North 47 degrees 54 minutes 01 second East, 165 feet to the Point of Beginning; run thence North 54 degrees 19 minutes 48 seconds East, 93.99 feet to the arc of a 30 foot radius curve to the right; run thence Southeasterly and Northeasterly along the arc of said curve 63.89 feet; run thence South 83 degrees 35 minutes 08 seconds East, 45.13 feet; thence South 41 degrees 36 minutes East, 50 feet; thence South 53 degrees 05 minutes 22 seconds West, 157.58 feet; thence North 42 degrees 5 minutes 59 seconds West, 120 feet to the Point of Beginning.

Community number: 120188 Panel: 0235

Suffix: F.F.I.R.M. Date: 9/25/2009 Flood Zone: X

Date of field work: 5/16/2022 Completion Date: 5/25/2022

Certified to:

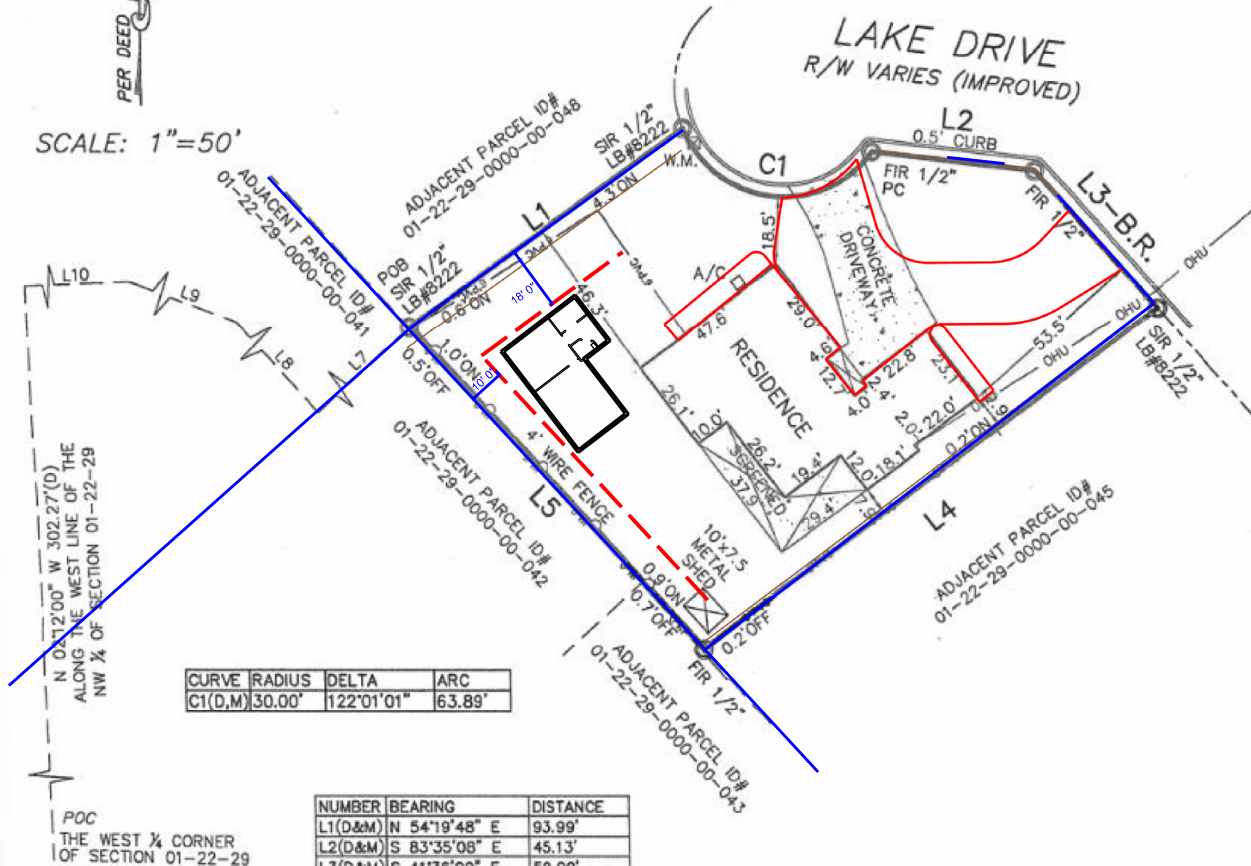
Christopher David Frank; Jennifer Page Killen; First International Title, Inc.; Alliant National Title Insurance Company.

LOCATION SKETCH

NOT TO SCALE



SCALE: 1"=50'



CURVE	RADIUS	DELTA	ARC
C1(D,M)	30.00'	122°01'01"	63.89'

NUMBER	BEARING	DISTANCE
L1(D&M)	N 54°19'48" E	93.99'
L2(D&M)	S 83°35'08" E	45.13'
L3(D&M)	S 41°36'00" E	50.00'
L4(D&M)	S 53°05'22" W	157.58'
L5(D&M)	N 42°05'59" W	120.00'
L6(D)	N 47°54'01" E	165.00'
L7(D)	S 42°05'59" E	377.16'
L9(D)	S 69°50'35" E	115.03'
L10(D)	N 87°44'45" E	154.51'

Property Address:
2009 Lake Drive
Winter Park, FL 32789

Survey number: PS 38736

LEGEND

- Wire Fence
- Wood Fence
- Overhead Utilities
- P.P. Power Pole
- W.M. Water Meter
- Electrical Facility
- Asphalt
- Block Wall
- Brick/Pavers
- Concrete/Hard Surface
- Covered Area
- Centerline
- Central Angle/Delta
- Line Break Not to Scale
- A/C Air Conditioner
- Bearing Reference
- B.M. Bench Mark
- CATV Cable Riser
- C Calculated
- C.L.F. Chain Link Fence
- CH Chord
- C.B. Chord Bearing
- CBS Conc. Block & Stucco
- CONC. Concrete
- C.M. Concrete Monument
- COV. Covered

- D Description or Deed
- D.E. Drainage Easement
- D.U.E. Drainage & Utility Easement
- D.W. Driveway
- ESMT. Easement
- E.O.P. Edge Of Pavement
- E.O.W. Edge of Water
- ENCR. Encroachment
- F Found
- FD Found
- FND Found Nail & Disc
- F.C.M. Found Concrete Monument
- F.I.P. Found Iron Pipe
- F.I.R. Found Iron Rod
- L LENGTH
- L.B. Licensed Business
- M FIELD MEASURED
- M.H. Manhole
- O.R.B. Official Records Book
- ONPL On Property Line
- PG. Page
- P.V.C. Vinyl Fence
- P.V.M.T. Pavement
- P.C.P. Permanent Control Point
- P.R.M. Permanent Reference Monument
- P Plat

- P.B. Plat Book
- P.E. Pool Equipment
- P.O.B. Point of Beginning
- P.O.C. Point of Commencement
- P.C.C. Point of Compound Curve
- P.C. Point of Curvature
- P.I. Point of Intersection
- P.R.C. Point of Reverse Curvature
- P.T. Point of Tangency
- P.O.L. Point on Line
- P.L. Property Line
- R Record
- R.W. Right of Way
- S.I.R. Set Iron Rod & Cap
- SWK Sidewalk
- TEL Telephone Facilities
- T.O.B. Top of Bank
- TYP. Typical
- U.E. Utility Easement
- W.F. Wood Fence
- W.C. Witness Corner

GENERAL NOTES

- Legal description provided by others.
- There may be additional easements and/or restrictions either recorded or unrecorded not shown hereon that may affect this property.
- Only visible encroachments located.
- This is a BOUNDARY SURVEY unless otherwise noted.
- This survey or the copies thereof are not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.
- This survey is not to be used for construction of any kind. Use of this survey for purposes other than intended, without written verification, will be at the user's sole risk and without liability to the Company or Surveyor.
- Unless otherwise noted, flood zone information provided by others.
- Septic tank and drainfield location shown hereon is APPROXIMATE and are based upon visual location only.
- Fence locations along property line may be exaggerated for clarity.
- This survey meets or exceeds the Standards of Practice promulgated by the Florida Board of Professional Land Surveyors, 5J-17, of the Florida Administrative Code, Section 472.027, Florida Statutes.

Jeffrey S. Haberdorf PROFESSIONAL SURVEYOR AND MAPPER NO. 6193 L.B. 8222

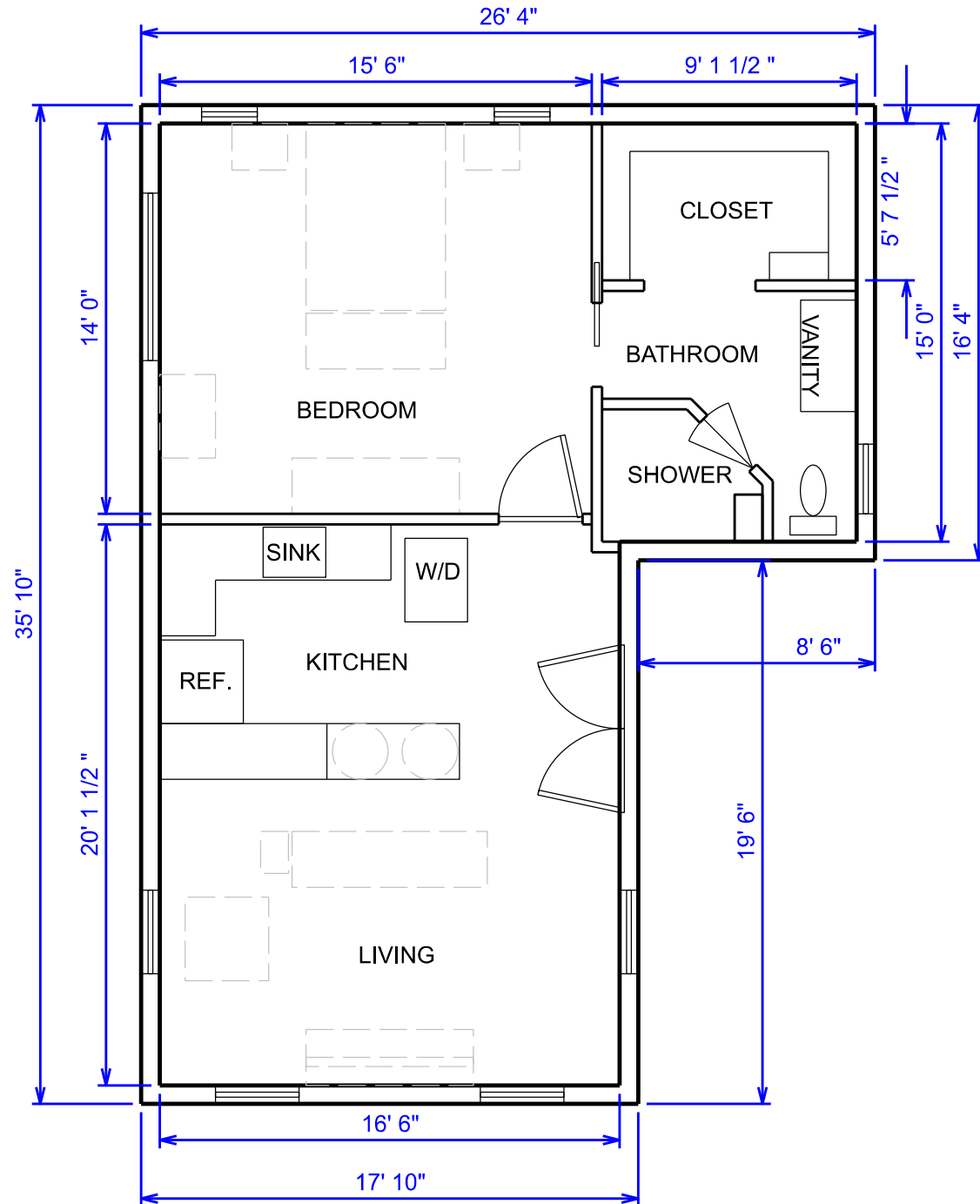
I hereby certify that this survey is a true and correct representation of a survey prepared under my direction.

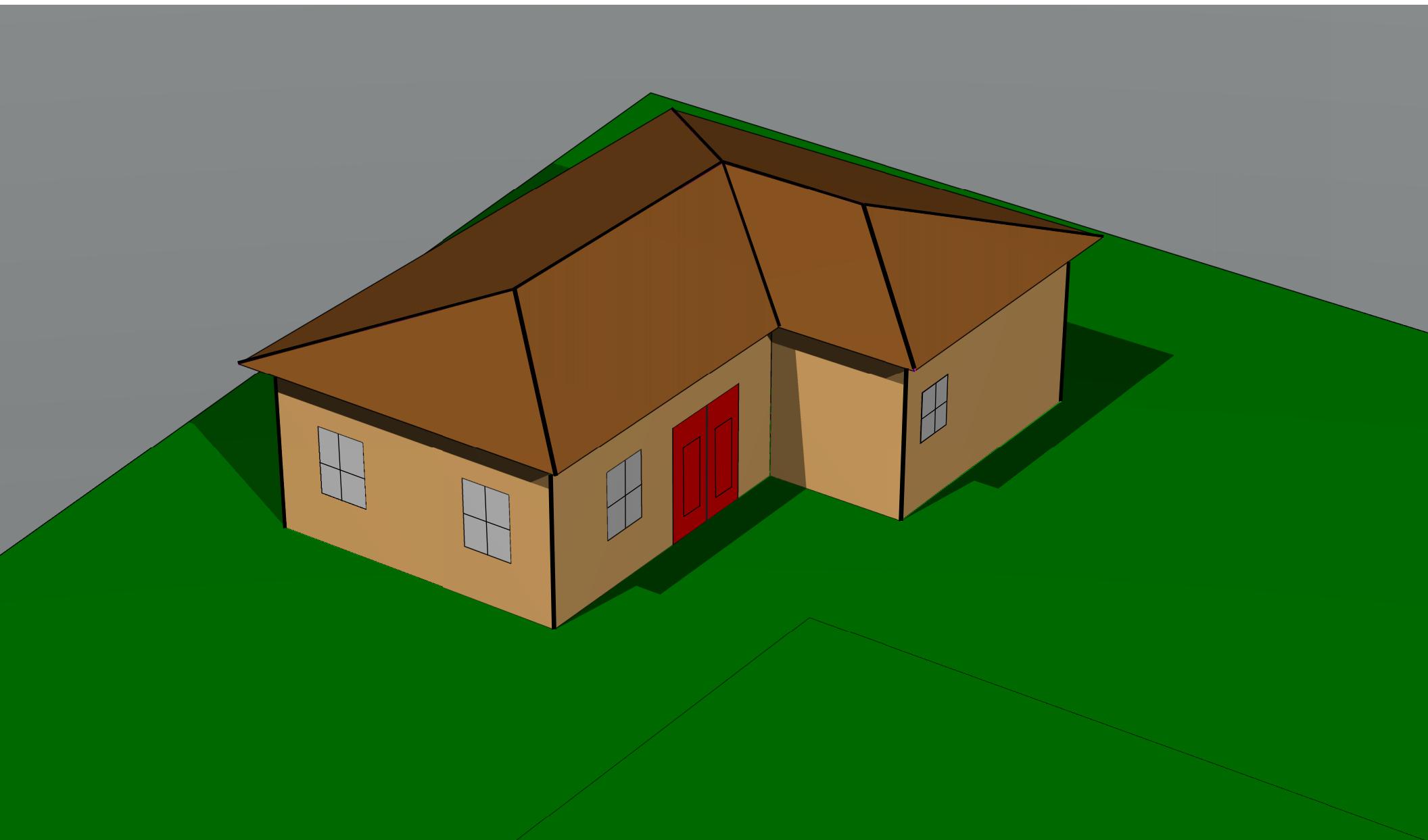
1BR | 1BA

L-SHAPE

700 SQFT

35'-10" x 26'-4"





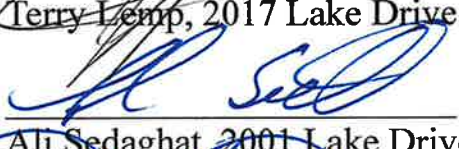
**Letter in Support of Request for Variance
2009 Lake Drive, Winter Park, FL 32789**

I am in support of the request for variance submitted by the owners of the property located at 2009 Lake Drive, Winter Park, FL 32789. They are requesting a variance to build a detached 700 square foot one bedroom, one bathroom accessory dwelling unit for an elderly family member in the back side yard of their property. The accessory dwelling unit would be set back 10 feet from the fence line on the side yard on the northwest side of the property and 10 feet from the back fence line. The unit would have the same stucco finish and roofing material as the primary dwelling unit located on the property. I believe the proposed dwelling unit would be an improvement to the neighborhood and result in an overall increase in property value.



Terry Lemp, 2017 Lake Drive

11/13/24
Date



Ali Sedaghat, 2001 Lake Drive

11/16/24
Date



Laura Kunzweiler, 2000 Lake Drive

11.16.24
Date



PLAN SNAPSHOT REPORT BOA-2025-0001 FOR CITY OF WINTER PARK

Plan Type: Board of Adjustments
Work Class: Board of Adjustments/Variance Application
Status: Fees Paid
Valuation: \$0.00
Project:
District: Winter Park
Square Feet: 0.00
Assigned To: Lewis, Nick
App Date: 01/15/2025
Exp Date: NOT AVAILABLE
Completed: NOT COMPLETED
Approval Expire Date:

Description: Variance to build a detached 700 sq. ft. one bedroom/one bathroom accessory dwelling unit on rear NW corner of back yard. Requesting 10 foot setback from rear property line in order to accommodate new structure.

Parcel: 292201000000064 Main
Address: 2009 Lake Dr Main
Winter Park, FL 32789-2837
Zone:

Applicant	Owner	Owner
Jennifer Killen	Jennifer Killen	CHRISTOPHER D FRANK
2009 Lake Dr	2009 Lake Dr	2009 LAKE DR
Winter Park, FL 32789	Winter Park, FL 32789	WINTER PARK, FL 32789-2837
Home: (352) 216-8640	Home: (352) 216-8640	Home: (407) 766-3191
Business: (407) 789-0226	Business: (407) 789-0226	Mobile: (407) 766-3191
Mobile: (352) 216-8640	Mobile: (352) 216-8640	

Plan Custom Fields

Is the property on waterfront?	No	Section	58-71	Subsection	(h)(4) & (5)
Zoning	Residential R-1A	Is this property on historic registry or district?	No	Describe variance	Requesting variance from rear yard setback requirements to build 700 sq. ft. accessory dwelling unit with one bedroom/one bathroom within 10 feet of rear yard property line for immediate family member.
How long have you owned the property?	Two years and seven months	How long have you occupied the property?	Two years and seven months	Special Condition	The primary residential structure was built in 1960 before the current zoning requirements were established. The primary structure is located on a cul de sac and was not originally constructed in the center of the property, leaving a larger side and rear yard on the NW corner of the property which is unique to this home. The current required set backs prevent the owners from building an accessory dwelling unit above 400 square feet without a variance. The owners wish to build a handicapped accessible 700 sq. ft. accessory dwelling unit on the NW corner of the property for an aging immediate family member.

Rights/Priv Other similarly zoned

homes are able to

increase their residential

PLAN SNAPSHOT REPORT (BOA-2025-0001)

square footage within the R-1A rules but our home, originally constructed in 1960, would not be allowed these rights/privileges due to modern zoning setbacks. Other homes in the neighborhood enjoy the ability to build/maintain accessory dwelling units of various sizes but due to the unique shape of our property and the current set back requirements, we would be deprived of the right/privilege to build an accessory dwelling unit large enough to be utilized as a residence for an immediate family member that will require handicapped accessible accommodations.

Hardship

The current zoning requirements do not allow us to build an adequately sized handicapped accessible accessory dwelling unit for my mother on our property unless a variance is granted. Due to the charm, design, and recent renovation of the primary residence, we are unable to add on sufficient living space without completely reconstructing the existing home.

Limited Variance

Yes. As long as we are able to build a sufficient handicapped accessible living space for my mother, we are open to a limited variance. We are only requesting a variance from the rear set back requirements. There is a fence as well as natural vegetation buffer between our property and rear our rear neighbor. Further, our rear neighbor's house is located near the front of their property, leaving an approximately 70 - 75 foot buffer between the proposed ADU and their home.

Attachment File Name	Added On	Added By	Attachment Group	Notes
700 Sqft-Floor Plan V2.pdf	01/15/2025 20:49	Killen, Jennifer		Site Plan
Backyard pic.jpg	01/15/2025 20:49	Killen, Jennifer		Site Plan
Elevation V2.pdf	01/15/2025 20:49	Killen, Jennifer		Site Plan
Signed checklist.pdf	01/15/2025 20:49	Killen, Jennifer		Signed Checklist
Signed initial Letter in support.pdf	01/15/2025 20:49	Killen, Jennifer		Site Plan
Survey-V2 1.13.25.pdf	01/15/2025 20:49	Killen, Jennifer		Survey
Signature_Jennifer_Killen_1/16/2025.jpg	01/15/2025 20:49	Killen, Jennifer		Uploaded via CSS

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00056966	Residential Variance Application Fee	\$200.00	\$200.00
Total for Invoice INV-00056966		\$200.00	\$200.00
Grand Total for Plan		\$200.00	\$200.00

Submittal Name	Status	Received Date	Due Date	Complete Date	Resubmit	Completed
Board of Adjustments Review v.1	Approved	01/15/2025	01/17/2025	01/17/2025	No	Yes
Item Review Name	Department	Assigned User	Status	Assigned Date	Due Date	Completed Date
Zoning Review	Building & Permitting Services	Lewis, Nick	Approved	01/15/2025	01/17/2025	01/17/2025

Workflow Step / Action Name	Action Type	Start Date	End Date
Review v.1		01/17/2025 15:25	01/17/2025 15:25
Board of Adjustments Review v.1	Receive Submittal	01/15/2025 0:00	01/17/2025 15:25
Issue Invoice v.1	Generic Action		01/17/2025 15:25
Final Decision v.1			
Board of Adjustments Decision v.1	Generic Action		



Board of Adjustments

agenda item 4.c

item type

Public Hearings (Public participation and comment on these matters must be in person.)

meeting date

February 18, 2025

prepared by

Nicholas Lewis, Planner II

approved by

Allison McGillis, Director of Planning and Zoning

subject

BOA-2025-0002. Request of Habitat for Humanity of Winter Park/Maitland, for variance approval from Section 58-65 subsection (f)(6), to allow a 16-foot front setback in lieu of the required front setback of 21-feet in conjunction with the proposed single-story home located at 860 W New England Avenue, zoned R-1A.

motion | recommendation

Staff recommendation is for approval of the variance requested.

background

The applicant, Habitat for Humanity of Winter Park/Maitland, is requesting variance approval to allow a front setback of 16-feet in lieu of the required 21-foot front setback. The property is zoned R-1A.

Variance Review Criteria:**Special Conditions and Circumstances**

In order for a variance to be granted, special conditions and circumstances must exist which are peculiar to the land, structure or building involved and are not applicable to other land, structures or buildings in the same zoning district.

The subject property is a standard rectangular lot, but it is located on one of the smallest blocks in the City based on average lot area, width, and depth. The subject property has a depth of only 69-feet and a width of only 50-feet. The lot's total area is 3,450 square feet. The subject property has a required front setback of 21-feet based off the setback of the recently demolished structure compared to the average front setback of the block, which is 15-feet. Additionally, the subject property is adjacent to a townhouse with a 16-foot setback to the west and a vacant lot to the east. The vacant lot is permitted to be built at the 20% requirement, which is 14-feet.

Deprivation of Rights

The second requirement for granting a variance request is that the literal interpretation of the provisions of the zoning code would deprive the applicant of the rights commonly enjoyed by other properties in the same zoning district.

A literal interpretation of Section 58-65(f)(6), requires a front setback of 21-feet. Based on the code language, the front setback is determined by taking the greater of either 20% of the lot depth or the setback of the existing structure. The previous structure setback was 21-feet, which exceeds the 20% number (14-feet). Therefore, based on the requirements of the code, the required setback is roughly 6-feet greater than the existing setback average of the rest of the block and 7-feet behind what the neighboring parcel can build by-right. On such a small parcel, the 6-foot difference in setback makes a significant difference in the viability of a single-story structure, as the applicant is proposing.

The intent of the front setback provision is to ensure compatibility with the neighboring block structure. In this case, the subject property is the outlier based on circumstance and is penalized, whereas other properties along the block are permitted to have a setback of less than 20 feet.

Actions of the Applicant

The special conditions and circumstances must not result from the action of the applicant.

The required front setback was established prior to the applicant's involvement with the property. Therefore, the required setback, the extremely limiting lot conditions, and the fact that the structure is out of character with the rest of the block were not caused by any action of the applicant.

Special Privilege

The last requirement to grant a variance request is that the variance will not confer on the applicant any special privilege denied by the zoning ordinance to other lands, structures or buildings in the same zoning district. No nonconforming use of the neighboring lands, structures or buildings in other zoning districts shall be considered grounds for the issuance of a variance.

Because of the lot's small size, its unique circumstance being the only significant outlier among similar-sized parcels within the block structure, and the intent of the front setback provision to ensure compatibility, staff does not believe that the request would allow for a special privilege to any other lands, structures or buildings in the same zoning district regarding the variance requested.

Summary

Staff believes that the applicant meets the four criteria required to grant the variance requested.

alternatives | other considerations

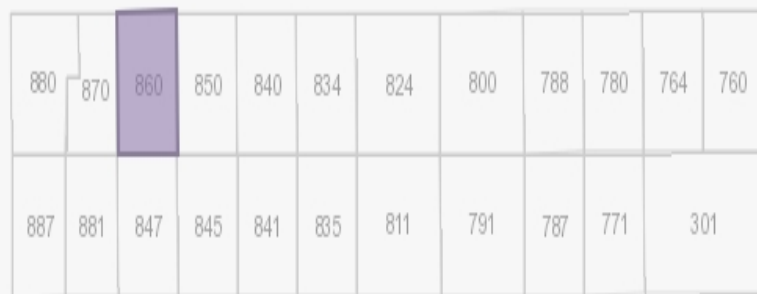
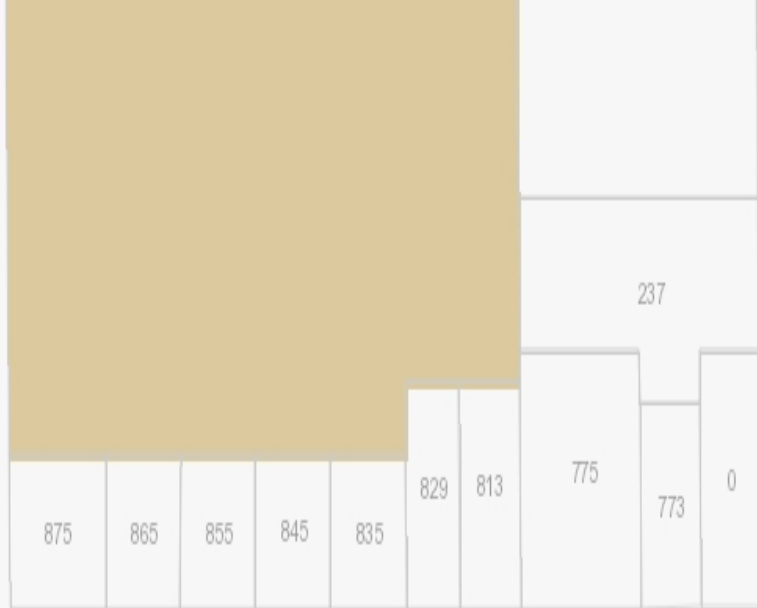
fiscal impact

attachments

1. 860 W New England Ave - Area Map
2. 860 W New England Ave - Aerial Map
3. 860 W New England Ave - Survey
4. 860 W New England Ave - Plan Set
5. 860 W New England Ave - Applicant Submittal

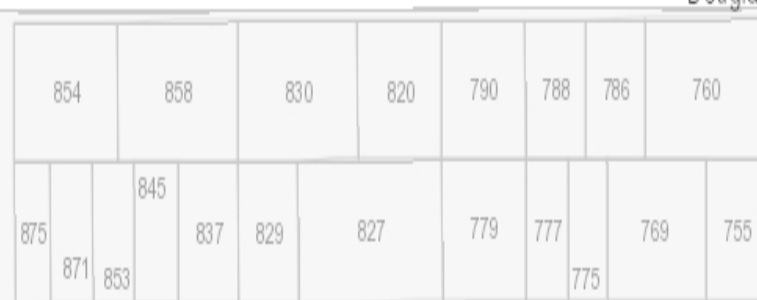
1050

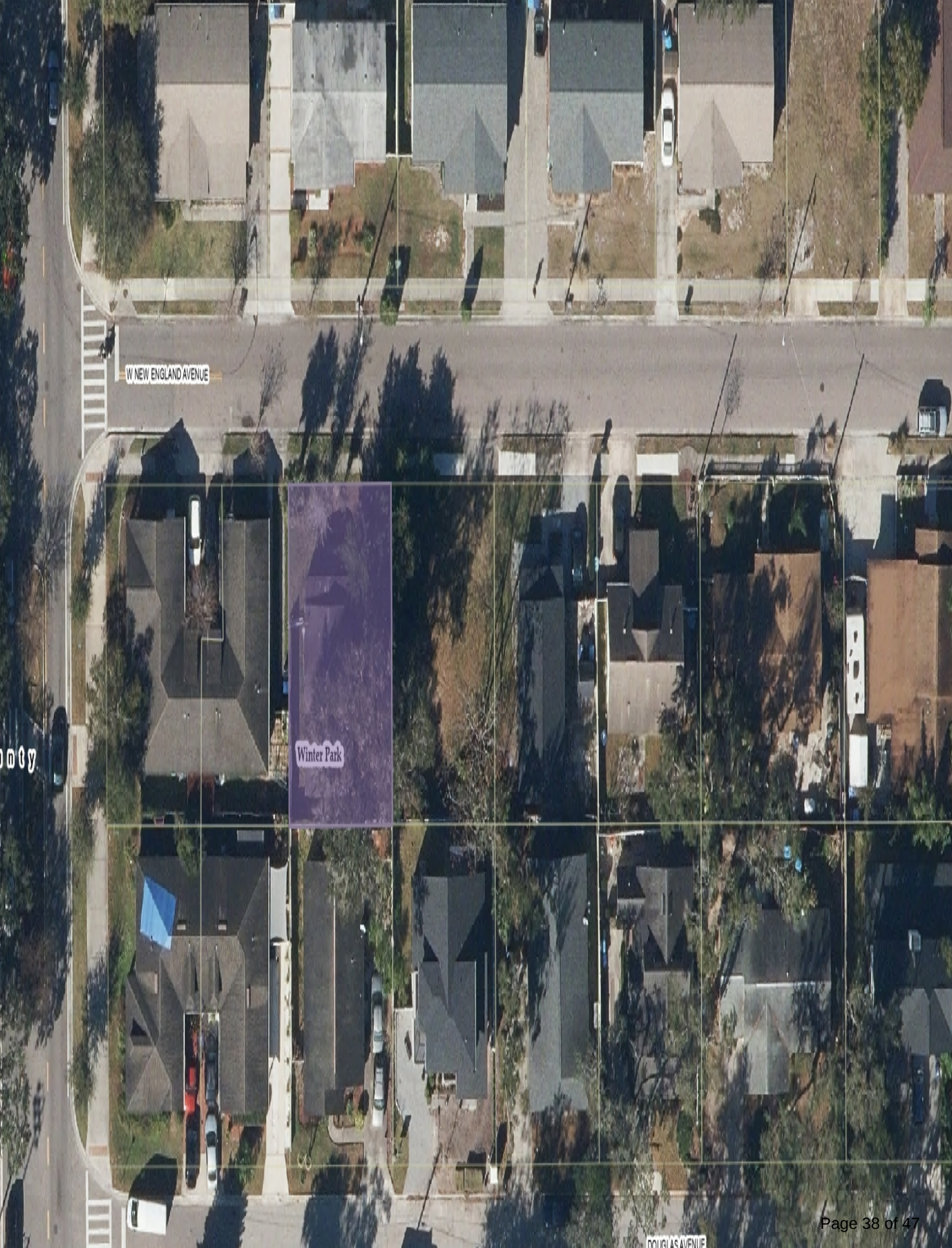
S Denning Drive



Douglas

Avenue





W NEW ENGLAND AVENUE

Winter Park

DOUGLAS AVENUE

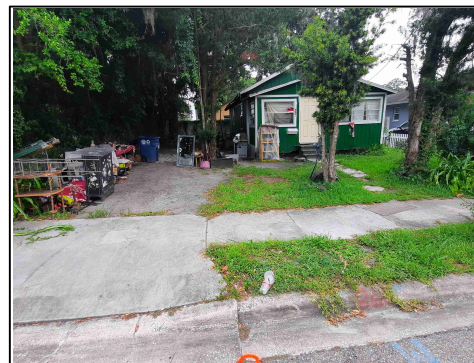
LEGAL DESCRIPTION:

FLOOD INFORMATION:

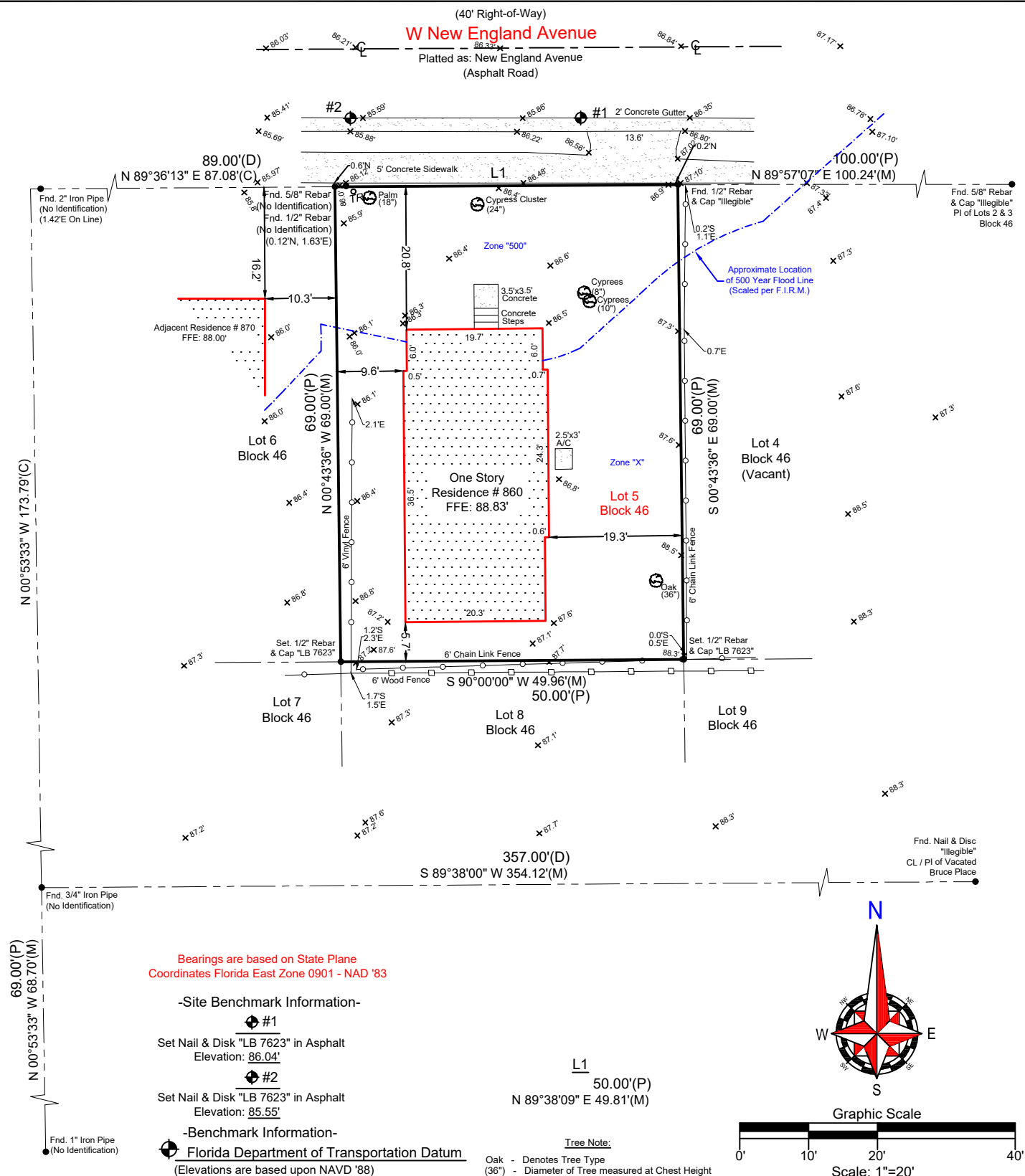
BY PERFORMING A SEARCH WITH THE LOCAL GOVERNING MUNICIPALITY OR WWW.FEMA.GOV, THE PROPERTY APPEARS TO BE LOCATED IN ZONE X & X500. THIS PROPERTY WAS FOUND IN CITY OF WINTER PARK, COMMUNITY NUMBER 120188, DATED 9/25/2009.

CERTIFIED TO:

PARKLAND HOMES



860 WEST NEW ENGLAND AVENUE, WINTER PARK, FLORIDA 32789



Field Date: 7/16/2024	Date Completed: 07/19/24
Drawn By: .P.	File Number: S-132418

-Legend-			
C	- Calculated	PC	- Point of Curvature
Cc	- Centerline	Pg	- Page
CB	- Concrete Block	PI	- Point of Intersection
CM	- Concrete Monument	P.O.B.	- Point of Beginning
Conc.	- Concrete	P.O.J.	- Point of Join
D	- Description	PP	- Power Pole
DE	- Drainage Easement	PRM	- Permanent Reference Monument
Esmt.	- Easement	PT	- Point of Tangency
F.E.M.A.	- Federal Emergency Management Agency	R	- Radius
FFE	- Finished Floor Elevation	Rad.	- Radial
Fnd.	- Found	R&C	- Rebar & Cap
IP	- Iron Pipe	Rec.	- Recovered
L	- Length (Arc)	Rfd.	- Roofed
M	- Measured	Set	- Set 1/2" Rebar & Cap "LB 7623"
N	- Nail & Disk	Typ.	- Typical
N.R.	- Non-Radial	UE	- Utility Easement
ORB	- Official Records Book	WM	- Water Meter
P	- Plat	Δ	- Delta (Central Angle)
PB	- Plat Book	-O-	- Chain Link Fence
-O-	- Wood Fence		

-NOTES-

>Survey is Based upon the Legal Description Supplied by Client.

>Abutting Properties Deeds have NOT been Researched for Gaps, Overlaps and/or Hiatus.

>Subject to any Easements and/or Restrictions of Record.

>Bearing basis shown hereon, is Assumed and Based upon the Line Denoted with a "BB".

>Building Ties are NOT to be used to reconstruct Property Lines.

>Fence Ownership is NOT determined.

>Roof Overhangs, Underground Utilities and/or Footers have NOT been located UNLESS otherwise noted.

>Septic Tanks and/or Drainfield locations are approximate and MUST be verified by appropriate Utility Location Companies.

>Use of This Survey for Purposes other than Intended, Without Written Verification, Will be at the User's Sole Risk and Without Liability to the Surveyor. Nothing Hereon shall be Construed to give ANY RIGHTS or Benefits to Anyone Other than those Certified.

NONE VISIBLE

I hereby Certify that this Boundary Survey of the above Described Property is True and Correct to the Best of my Knowledge and Belief as recently Surveyed under my Direction on the Date Shown, Based on Information furnished to Me as Noted and Conforms to the Standards of Practice for Land Surveying in the State of Florida in accordance with Chapter 5J-17.052 Florida Administrative Codes, Pursuant to Section 472.02 Florida Statutes.



Patrick K. Ireland

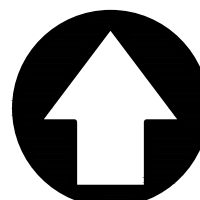
PATRICK IRELAND 6637 **LB: 7623**

This survey is intended ONLY for the use of said certified parties.
This survey is NOT valid without signature and embossed with

Ireland & Associates Surveying, Inc.
800 Currency Circle | Suite 1020
Lake Mary, Florida 32746
www.irelandsurveying.com
Office-407.678.3366 Fax-407.320.8165

SURVEY (AS FURNISHED)

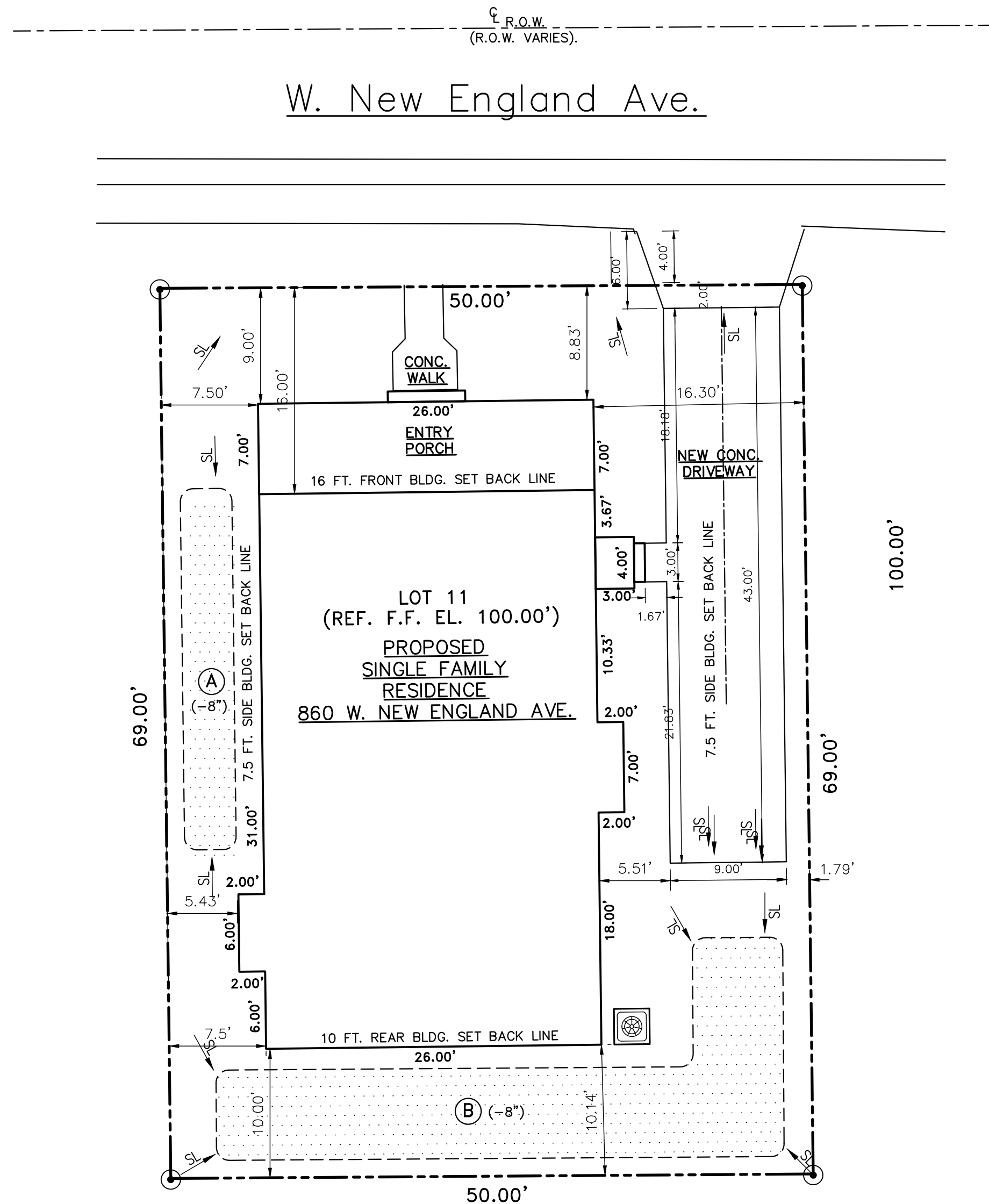
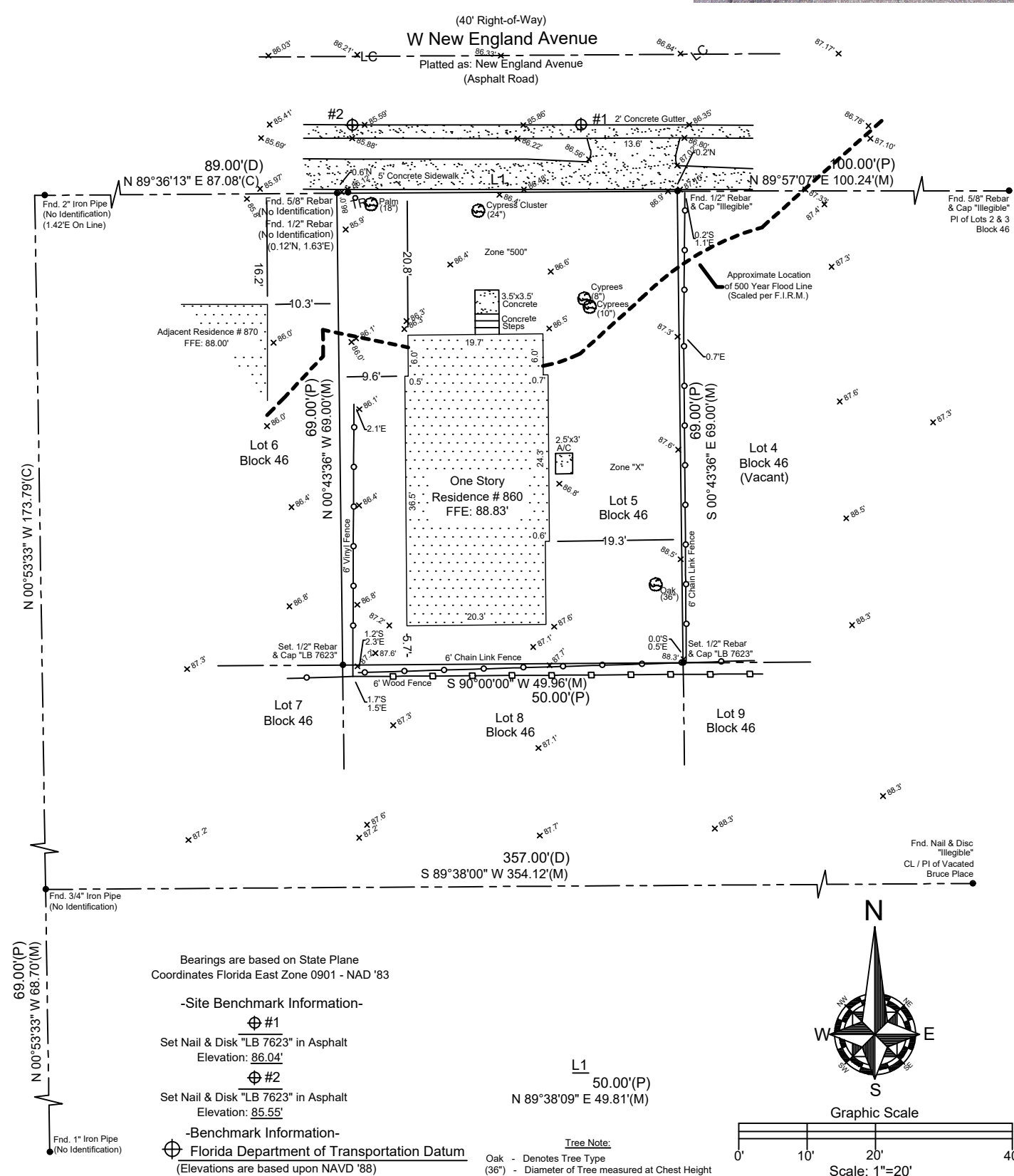
SCALE: 1" = 20'-0"



NORTH

ARCHITECTURAL SITE PLAN

SCALE: 1/8" = 1'-0"



STORM WATER RETENTION

SWALE "A":
0.33 FT. (4" DEPTH) x 112 S.F. = 36.96 CU. FT. x 1,728 = 63,867 CU. IN.

SWALE "B":
0.33 FT. (4" DEPTH) x 378 S.F. =124.74 CU. FT. x 1,728 = 215,551 CU. IN.

TOTAL VOLUME CU. FT. = 161.7 CU. FT., 279,418 CU. IN.

SITE AREA CALCULATIONS

TOTAL LOT AREA 3,435 S.F.

HOUSE, WALKS, & DRIVE (IMPERVIOUS) (59.8%) 2,057 S.F.

LOT AREA (PERVIOUS) (40.2%) 1,378 S.F.



This item has been electronically signed and sealed by
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CODE INFORMATION/PLANS REVIEW:
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THE FLORIDA BUILDING CODE 8th EDITION (2023) RESIDENTIAL

REV. NO.	REV. DATE

David E. Runnels, AIA, P.A.
Architect
233 West Park Avenue
Winter Park, FL 32789
State License No. AR 0011659

Habitat for Humanity
of Winter Park - Matland, Inc.

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CHECKED DR
DATE August 2024
SCALE AS NOTED
JOB NO. HH-2024
SHEET

A-0

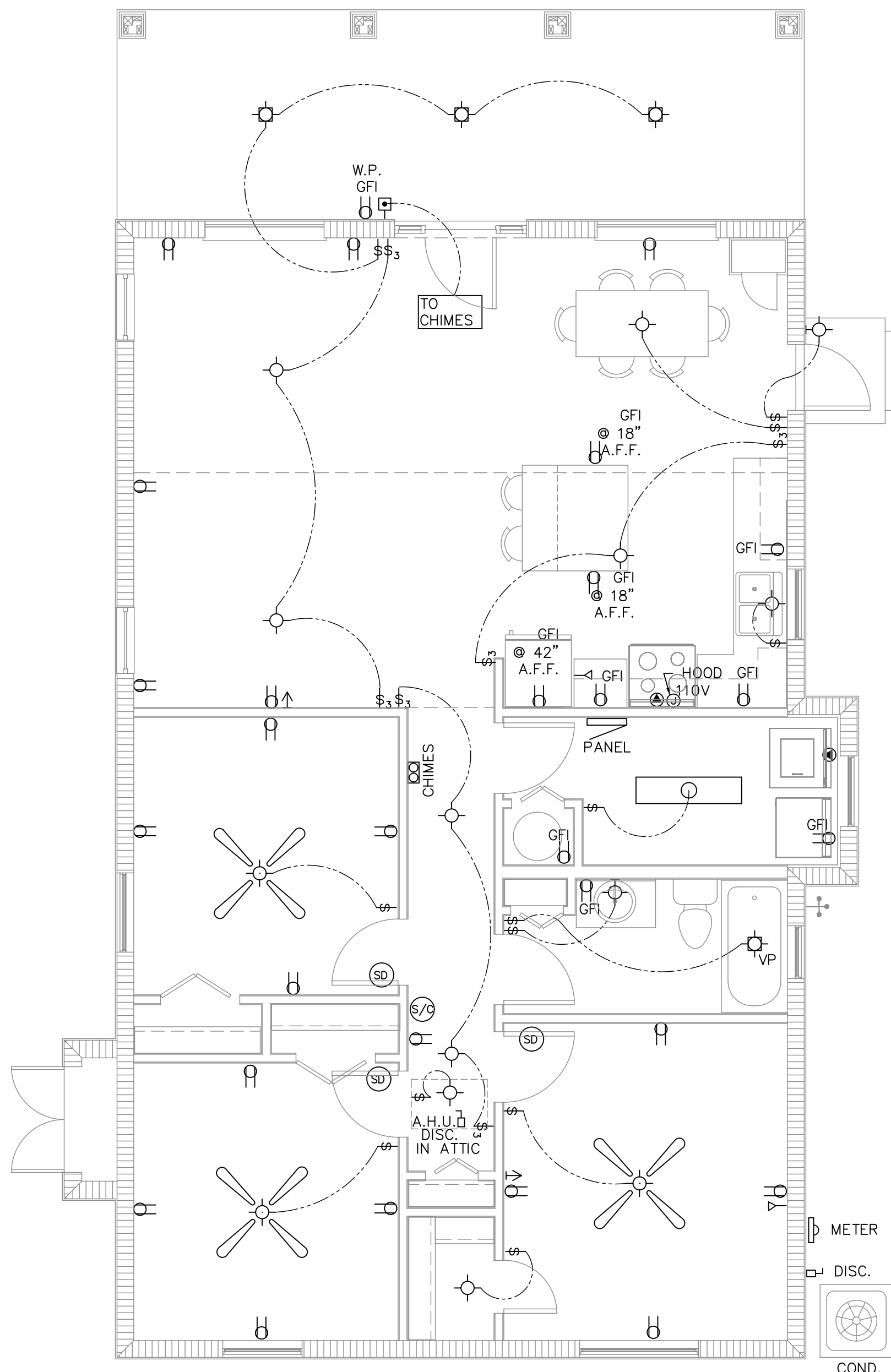
OF SHEETS

General Notes :

- Contractor shall verify all dimensions in field before ordering materials.
- All details and sections shown on the drawings are intended to be typical and shall be construed to apply to any similar situation elsewhere on the project.
- Soil boring has not been made. Footings have been designed for allowable soil bearing pressure of 2,000 PSF. Any lesser soil bearing value shall be the responsibility of the owner.
- Concrete shall have an unconfined compressive strength of 2,500 PSI at 28 days. Beams and columns: 3000 PSI
- All structural steel shall meet requirements of ASTM A-36. All bolts shall meet requirements of ASTM A325. Bolts shall be 3/4" diameter except where shown otherwise.
- All welding shall be done by certified welders in accordance with AWS "Code for Arc and Gas Welding in Building Construction", latest edition. Use E-70XX electrodes for all welding.
- Metal accessories for use in exterior wall construction and not directly exposed to the weather shall be galvanized in accordance with ASTM 153, Class B-2. Metal accessories for use in interior wall construction shall be mill galvanized in accordance with ASTM A641, Class 1.
- All reinforcing steel shall be new billet steel conforming to ASTM A615 grade. New code minimum grade 40.
- All framing shall be fabricated and installed as per AISC, TPI and National design specifications for wood construction.
- All wood structural members shall be controlled stress grade lumber having a fiber stress of at least 1,200 PSI.
- All wood members exposed to weather and concrete shall be pressure treated.
- Studs shall be stress graded Standard American Lumber species.
(Fb= 625 PSI, Fc= 400 PSI minimum
E= 1,000,000 PSI with 19% Min. MC) +2 Southern Yellow Pine
- Fill to be placed in 12" lifts, compacted with mechanical compactor.
- Truss diagrams to be furnished by manufacturer, signed and sealed by a Florida Registered Structural Engineer.
- All work shall conform to the 2004 Florida Building Codes and Ordinances.
- Do not scale drawing.
- All concrete blocks shall be standard weight blocks conforming to ASTM C-90, grade N-1 with f'm = 1,900 PSI (minimum) laid in running bond with M or S type mortar in accordance with ASTM C270.
- Where shown, cores of block masonry shall be filled with grout or (PEA Gravel Concrete) with minimum compressive strength of 2,000 PSI at 28 days. Grout Slump = 8" to 11"

- Spread footing shall bear on soil compacted to a density of at least 98% of Standard Proctor maximum density (AASHTO T99). The soil shall be compacted to this density to a depth of at least three feet below the bottom of the footings.
- Fill under floor slabs shall be compacted to a density of at least 98% of Standard Proctor maximum density (AASHTO T99)
- General contractor shall check architectural, mechanical and electrical drawings for opening sleeves, anchors, hangers, slab depressions, pitch and any other items related to concrete work, and assume responsibility for their proper location before pouring concrete.
- All slabs on grade shall be 4" thick and reinforced with 6x6 W1.4xW1.4 WWF. Unless otherwise noted, lap mesh 8" at edges and ends and provide additional reinforcement where shown on drawings. Place mesh in center of slab. Moisture barrier beneath floor slabs shall be 6 mil "Visqueen" or equal.
- All continuous vertical or horizontal reinforcing bars in footing, foundation walls, slab and other concrete shall be lap-spliced, where necessary or desirable, by wiring together in contact. Length of all laps shall be 40 bar diameters or 25" for #5 bar and 35" for #7 bar.
- In all concrete beams, lap bottom bars at support and top bars at midspan.
- All steel surfaces embedded in concrete shall be clean and free of paint.

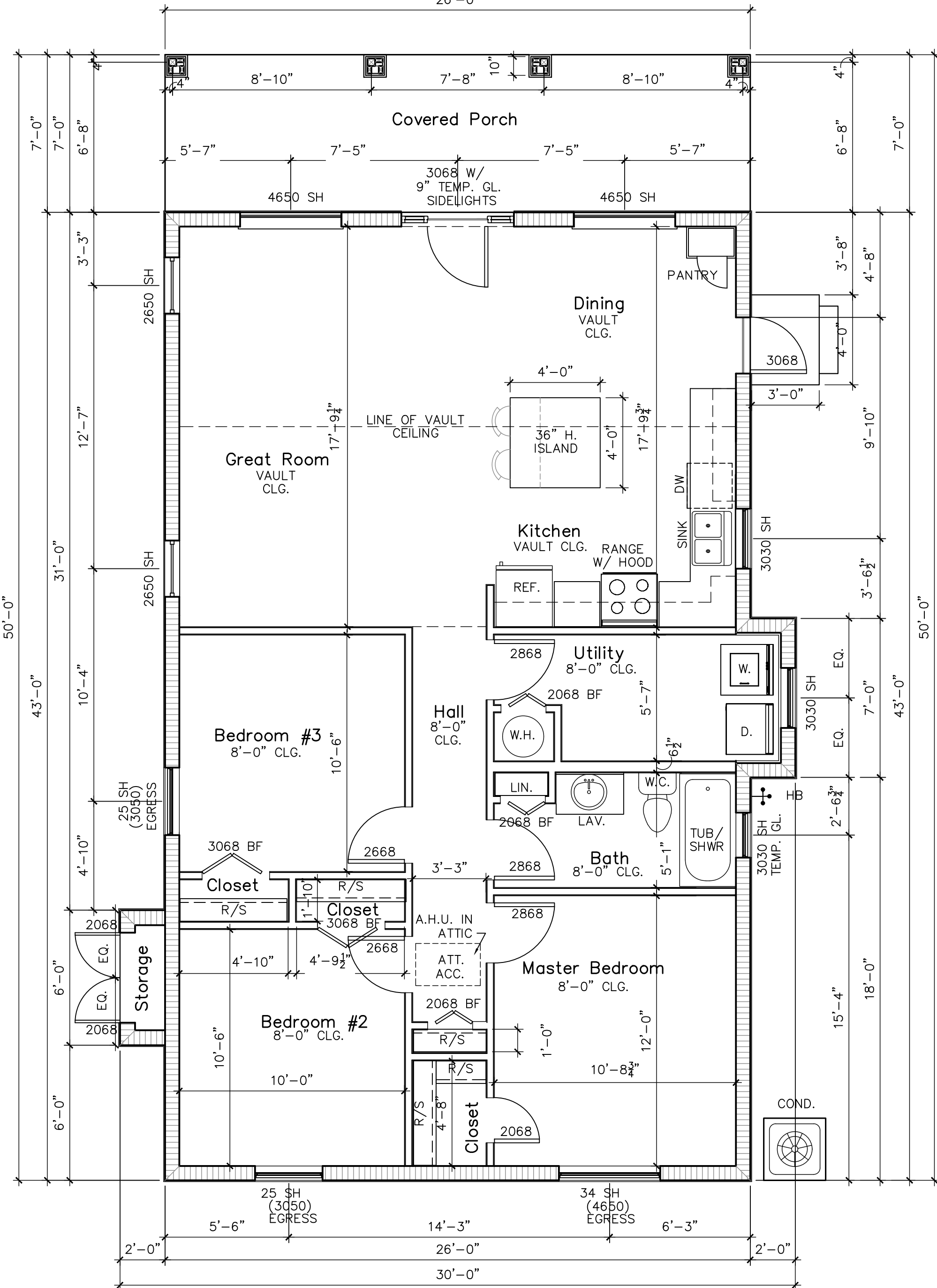
FRONT (SOUTH ELEVATION)



ELECTRICAL FLOOR PLAN

SCALE: 1/4" = 1'-0"

FRONT (SOUTH ELEVATION)



FLOOR PLAN - 1,144 S.F.

SCALE: 1/4" = 1'-0"



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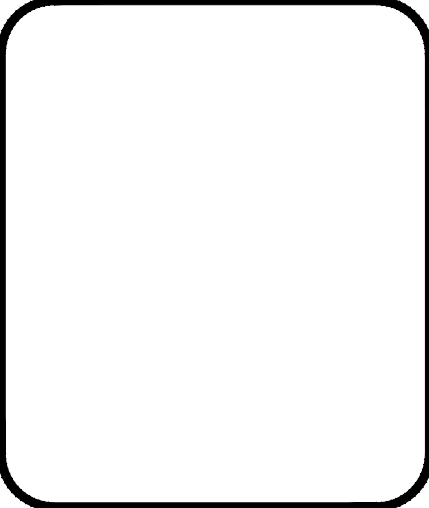
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1	12-14-22 B.D.C.

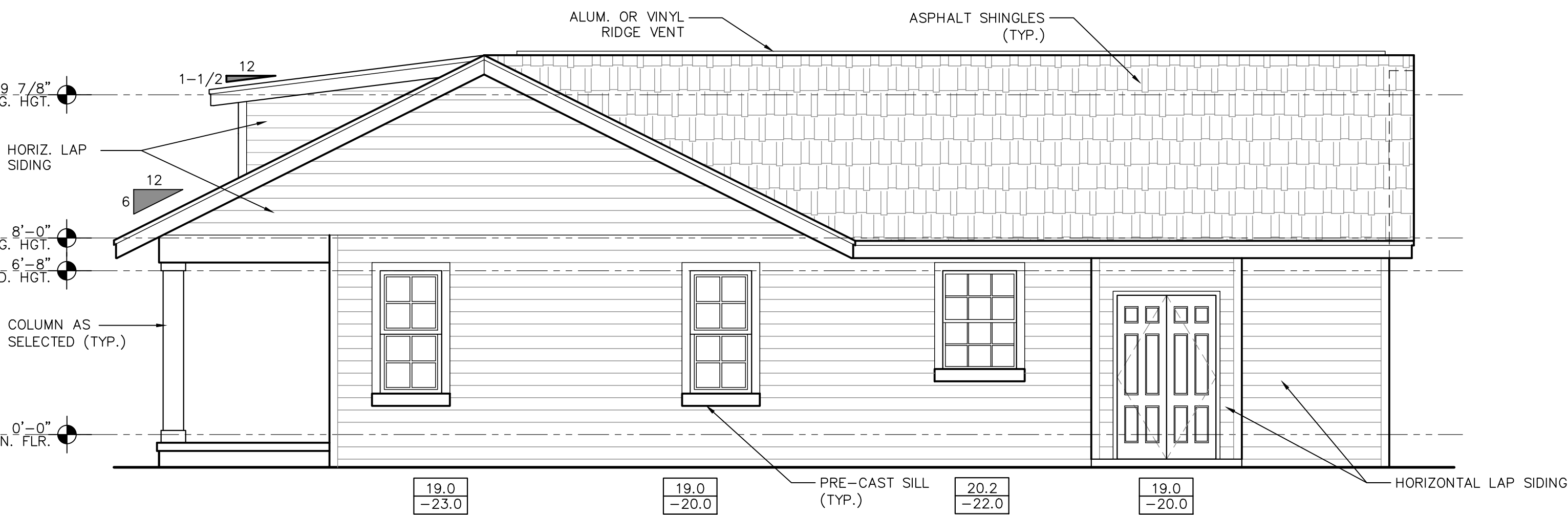
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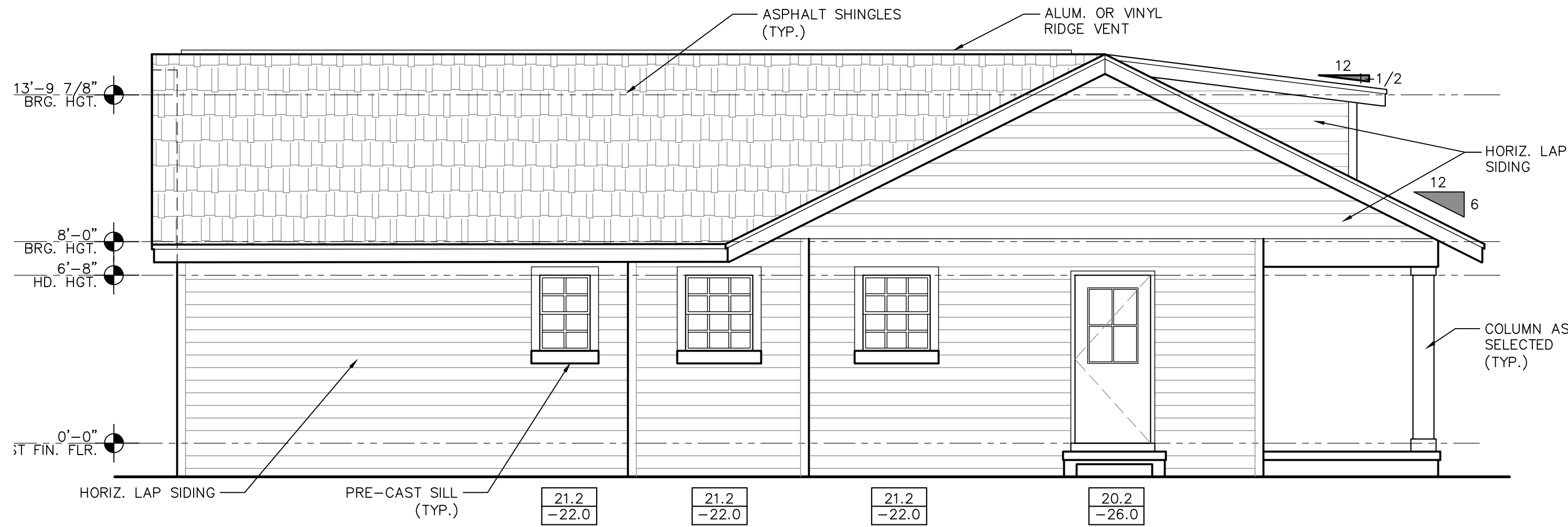
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A-1
OF SHEETS



LEFT SIDE (EAST) ELEVATION

SCALE: 1/4" = 1'-0"



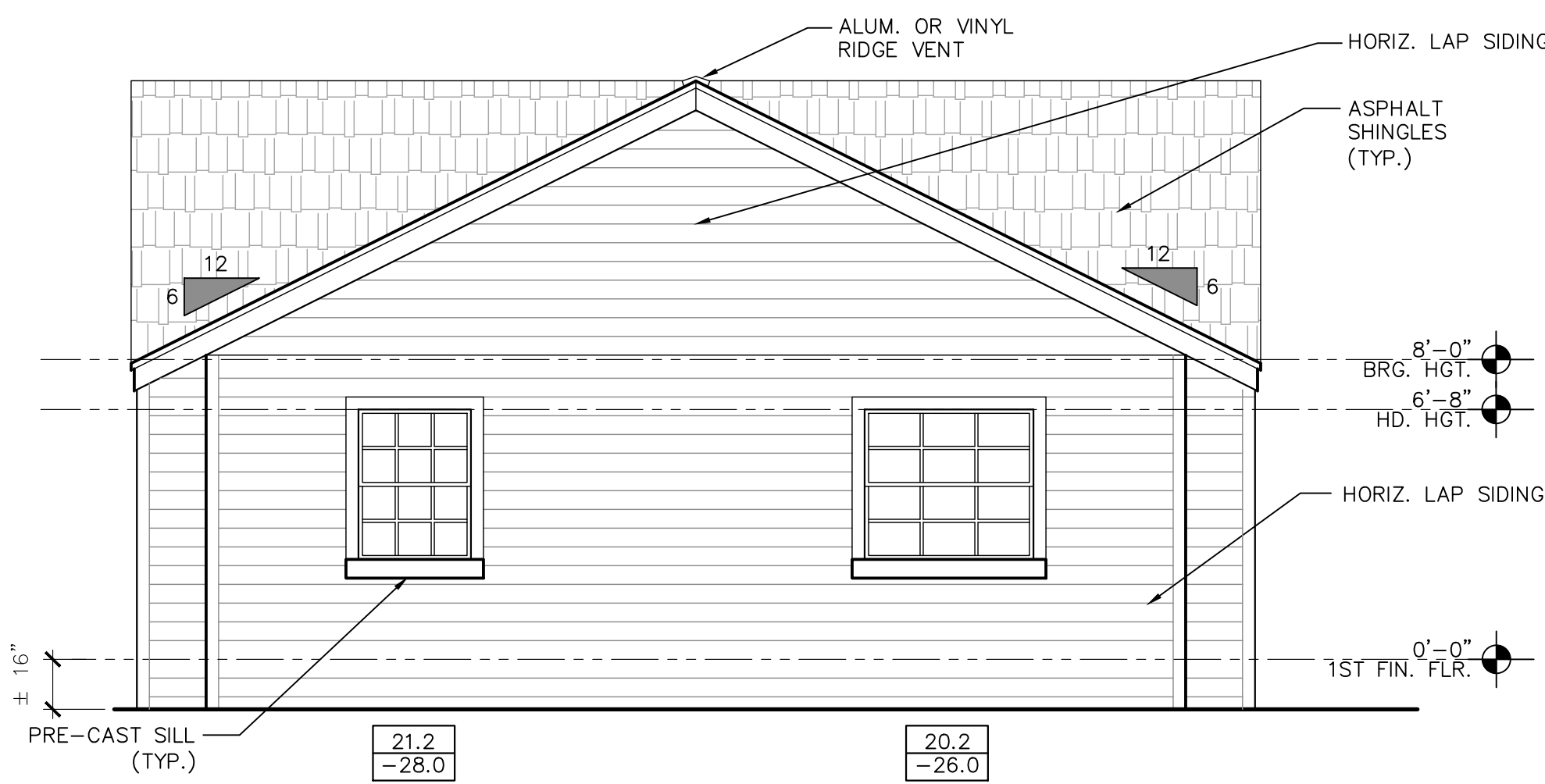
RIGHT SIDE (WEST) ELEVATION

SCALE: 1/4" = 1'-0"



FRONT (NORTH) ELEVATION

SCALE: 1/4" = 1'-0"



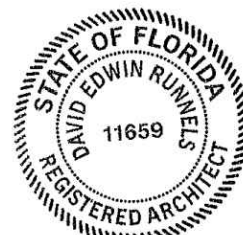
REAR (SOUTH) ELEVATION

SCALE: 1/4" = 1'-0"

WIND LOAD CRITERIA:

CODE: SECTION 301, F.B.C. 2023 - RESIDENTIAL
ULTIMATE WIND SPEED (VULT): 140 MPH (3 SECOND GUST)
NOMINAL WIND SPEED (VASD): 108 MPH
IMPORTANCE FACTOR: 1.0
BUILDING CATEGORY: ENCLOSED
WIND EXPOSURE CATEGORY: D
RISK CATEGORY: 2

SEE ELEVATION DRAWINGS FOR APPLICABLE DESIGN WIND PRESSURES TO BE USED FOR EXTERIOR WINDOW & DOOR COMPONENTS.



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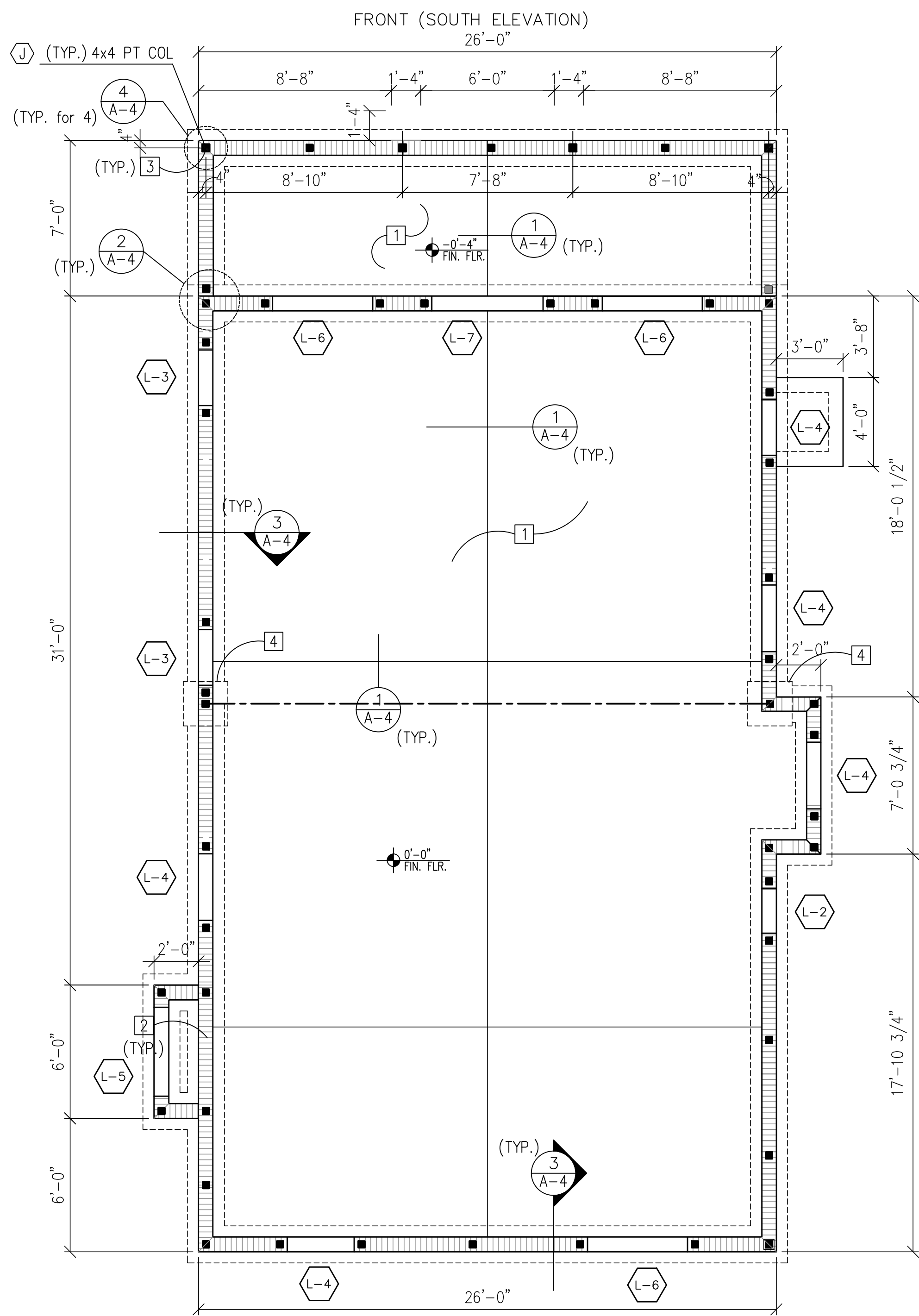
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A-2

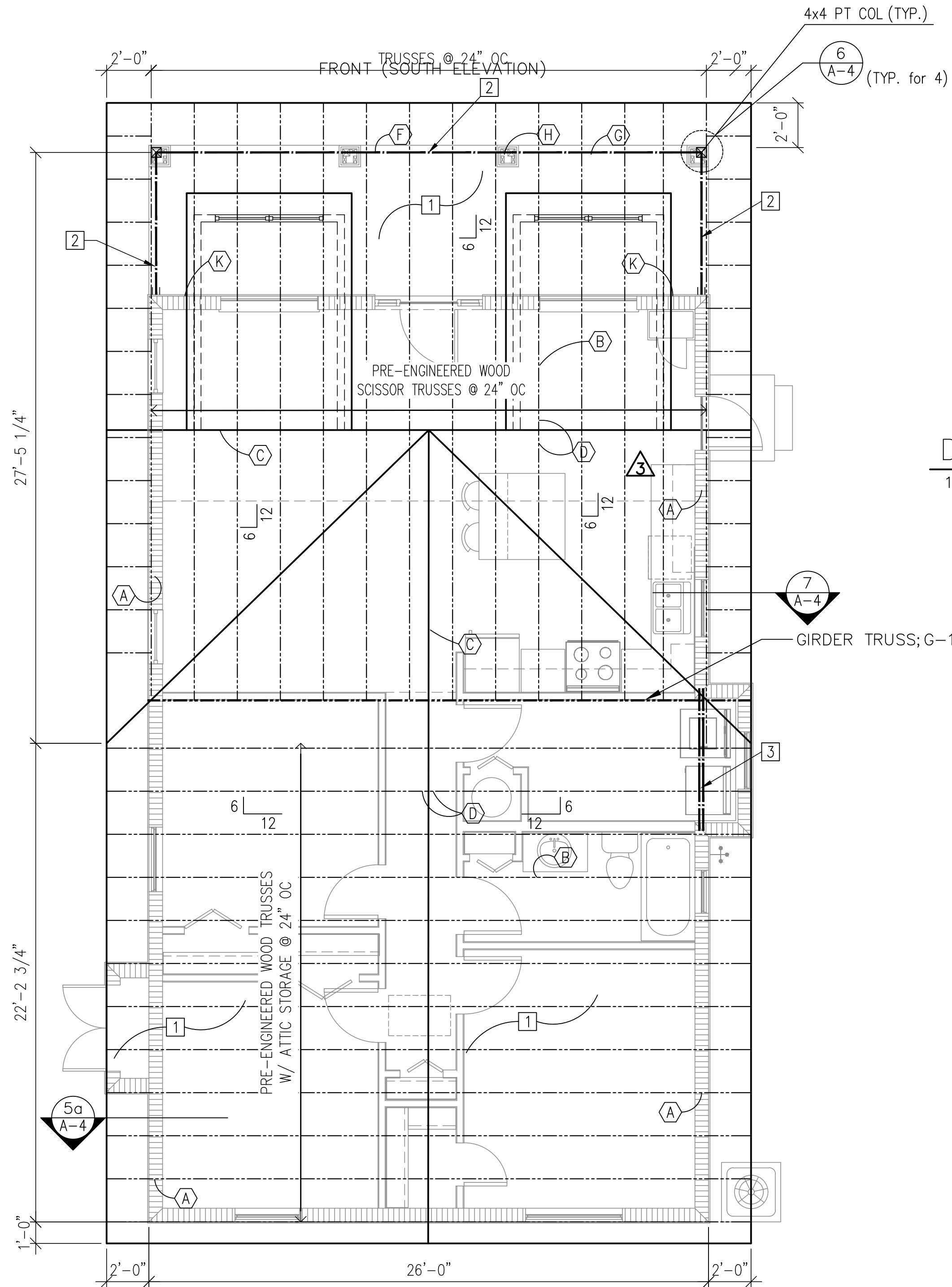
OF SHEETS



FOUNDATION / SLAB PLAN
SCALE: 1/4" = 1'-0"
NORTH

FOUNDATION NOTES:

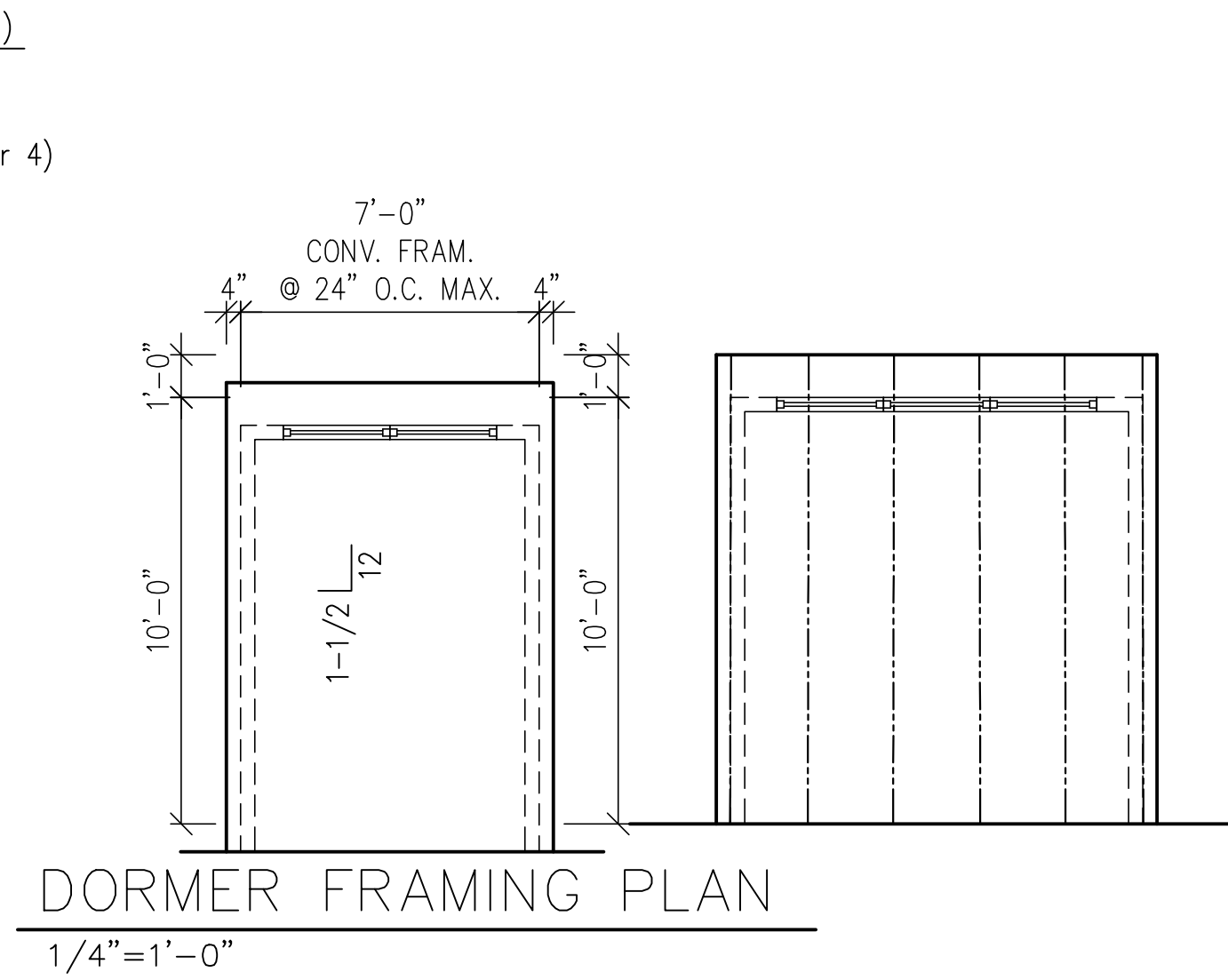
- 4" (ACTUAL DEPTH) CONC. SLAB REINF w/ POLYPROPYLENE FIBERS ON VAPOR RETARDER OVER COMPACTED SUBGRADE. COORD SLOPES, RECESSES, FINISHES, JOINTS, ETC. w/ ARCH DWGS.
- 8" CMU WALL REINF w/ #5 VERT & MATCHING DWL IN GROUT FILLED CELL @ 48" O.C. & AT CORNERS, INTERSECTIONS & EACH SIDE OF WALL OPENINGS.
- INDICATES REINF. FILLED CELL TO PORCH SLAB, PROVIDE ONE BELOW EACH POST, SEE NOTE [2]
- 24" X 24" X 12" DP. W/3 - #5'S E.W.



ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"
NORTH

ROOF FRAMING NOTES:

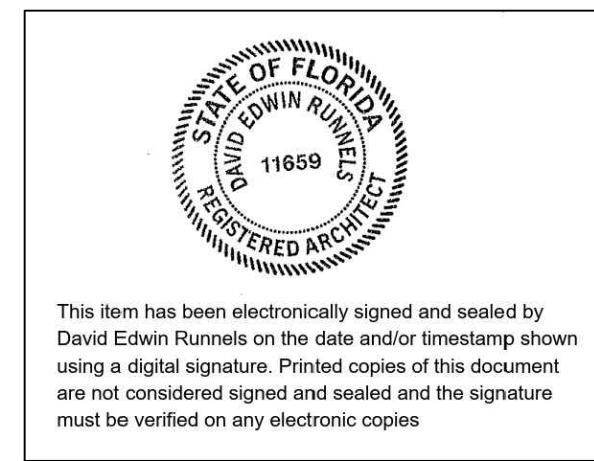
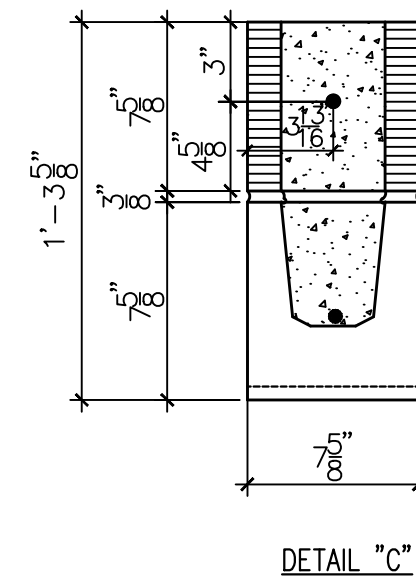
- 19/32" THICK, 32/16 SPAN RATING, EXPOSURE I, EXTERIOR GRADE PLYWOOD SHEATHING, OR EXTERIOR GRADE 1x10's.
- BUILT-UP BEAM (3 1/2" WIDE) w/ (2)-2x12 & 1/2" PLYWOOD FILLER. SPLICE BM AT CENTERLINE OF COLUMN.
- LGUM 28-2-SDS EA. END OF (2) 2" X 12" W/ 1/2" PLYWD.



Precast Lintel
(8"X16" composite)

Mark No.	Nominal Clear Span	Total Lintel Span	Filled (1)#5 T&B C
L-1	1'6"	2'10"	12374
L-2	2'2"	3'6"	8488
L-3	2'8"	4'0"	6868
L-4	3'2"	4'6"	5772
L-5	4'0"	5'4"	4546
L-6	4'6"	5'10"	4028
L-7	5'2"	6'6"	3382
L-8	6'2"	7'6"	2908
L-9	7'0"	8'4"	2548
L-10	8'0"	9'4"	2215
L-11	9'2"	10'6"	1918
L-12	10'0"	11'4"	1749
L-13	11'2"	12'6"	1554
L-14	12'0"	13'4"	1438
L-15	12'8"	14'0"	1356
L-16 (P.S.)	13'4"	14'8"	1395
L-17 (P.S.)	14'0"	15'4"	1326
L-18 (P.S.)	16'0"	17'4"	1153
L-19 (P.S.)	18'0"	19'4"	1019
L-20 (P.S.)	18'8"	20'0"	980
L-21 (P.S.)	20'8"	21'4"	880
L-22 (P.S.)	22'8"	24'0"	740

Note: (P.S.) represent precast lintels prestressed using (2) 7/16" Diameter Prestressing Strands.

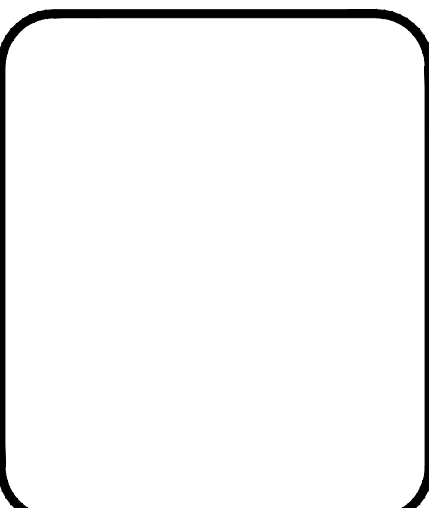


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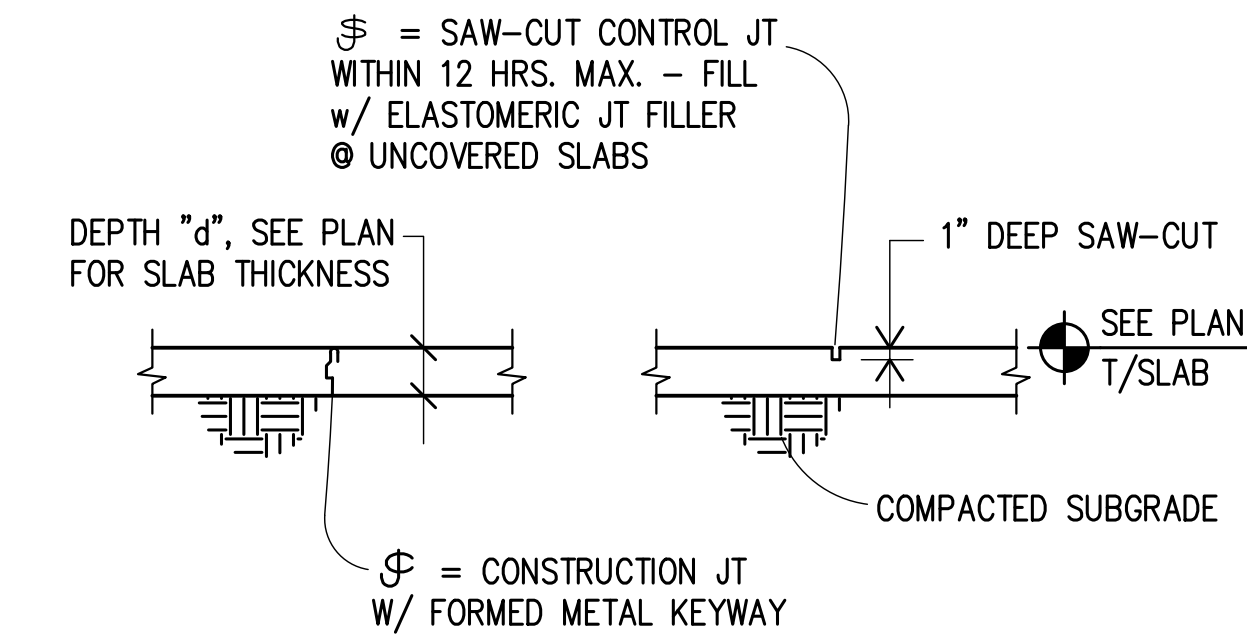
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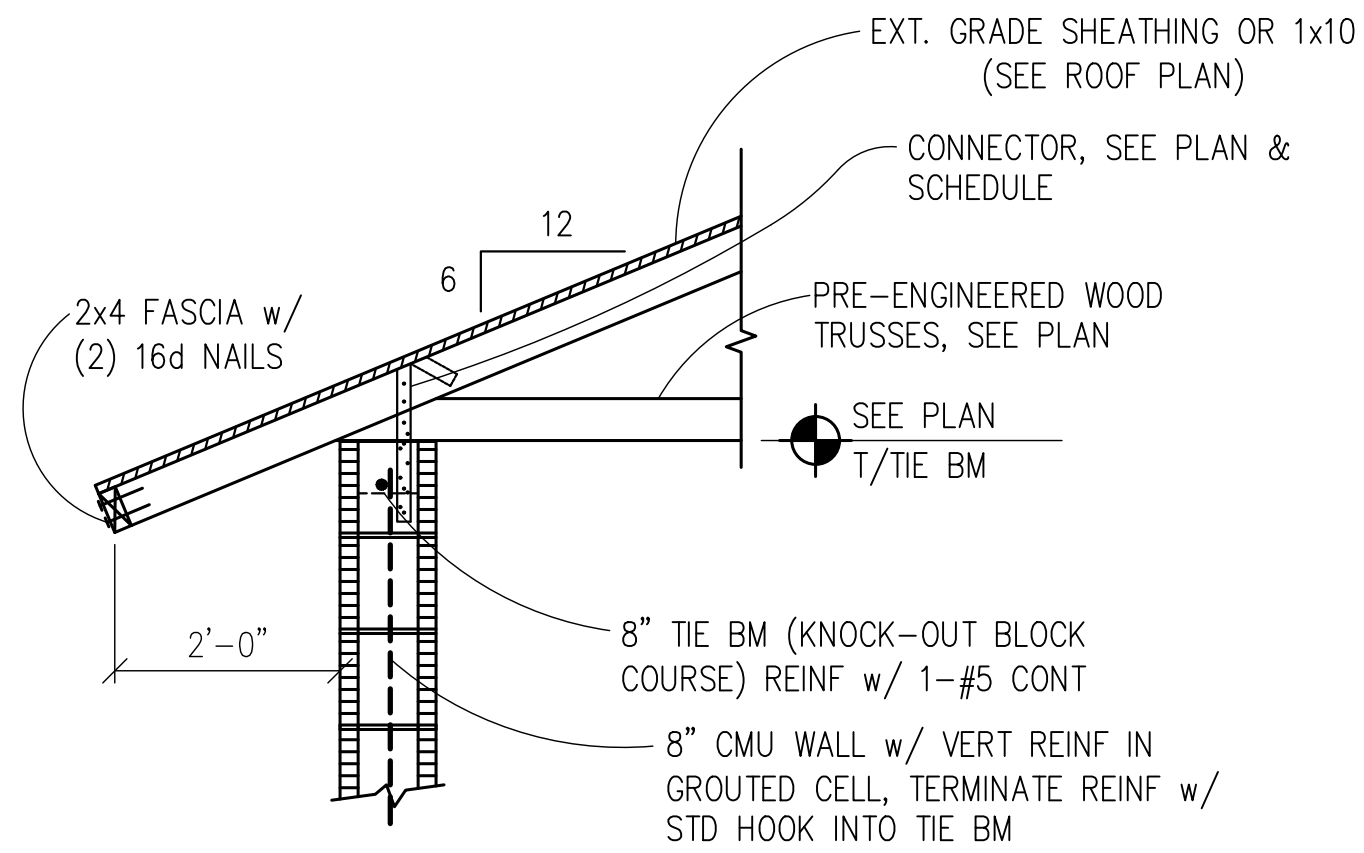


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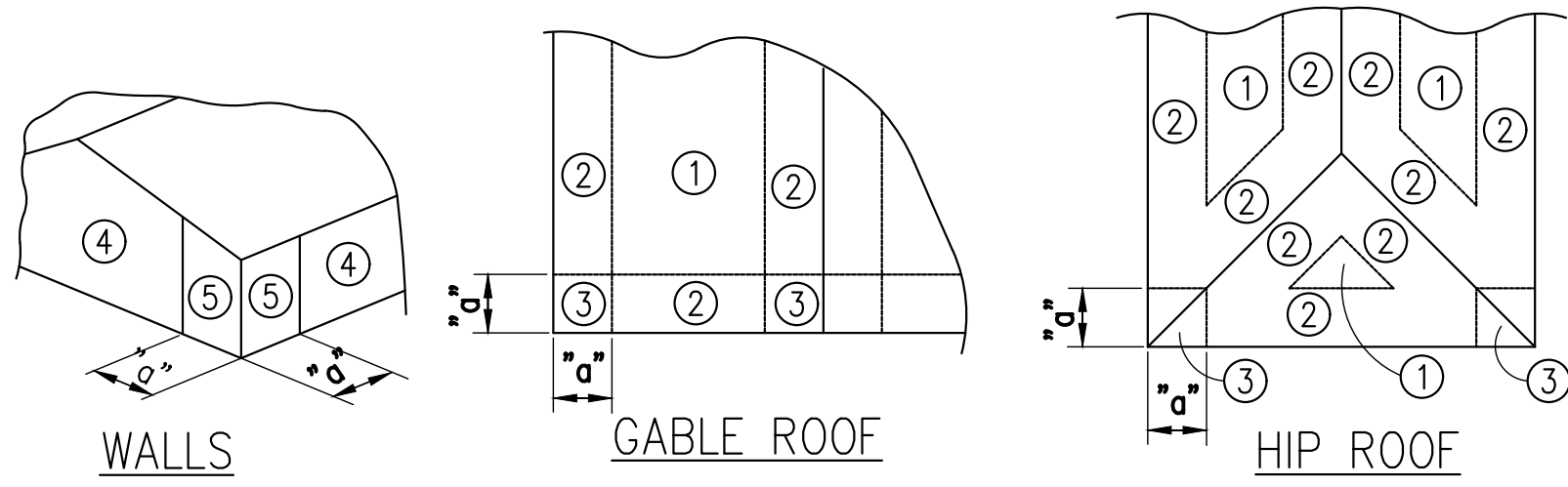
TYP SLAB CONST/CONTROL JT DET 1
3/4"=1'-0" A-4



TRUSS BRG DETAIL 5a
3/4"=1'-0" A-4

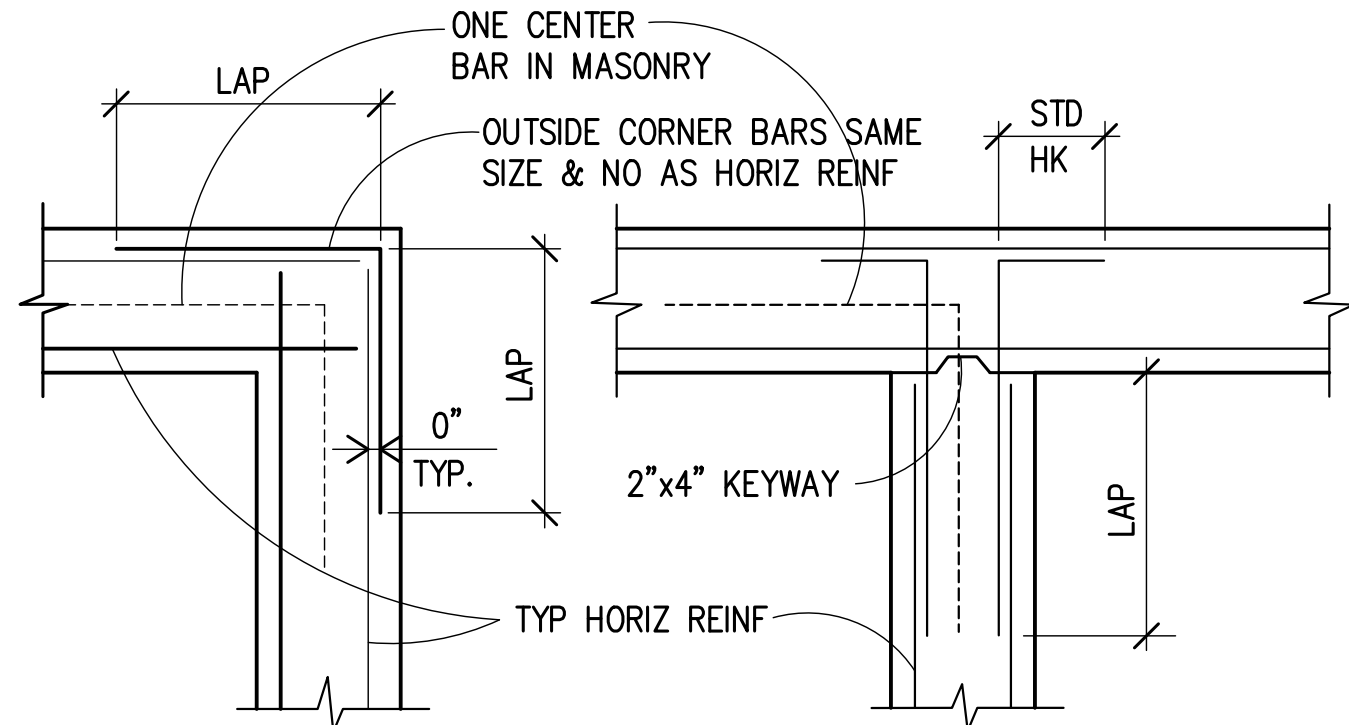
WIND PRESSURE FOR COMPONENTS CLADDING

CODE: ASCE 7-05
DESIGN WIND SPEED: 139 MPH
RISK CATEGORY 2
IMPORTANCE: 1.00
EXPOSURE: B
INTERNAL PRESSURE COEFFICIENT: ±0.18



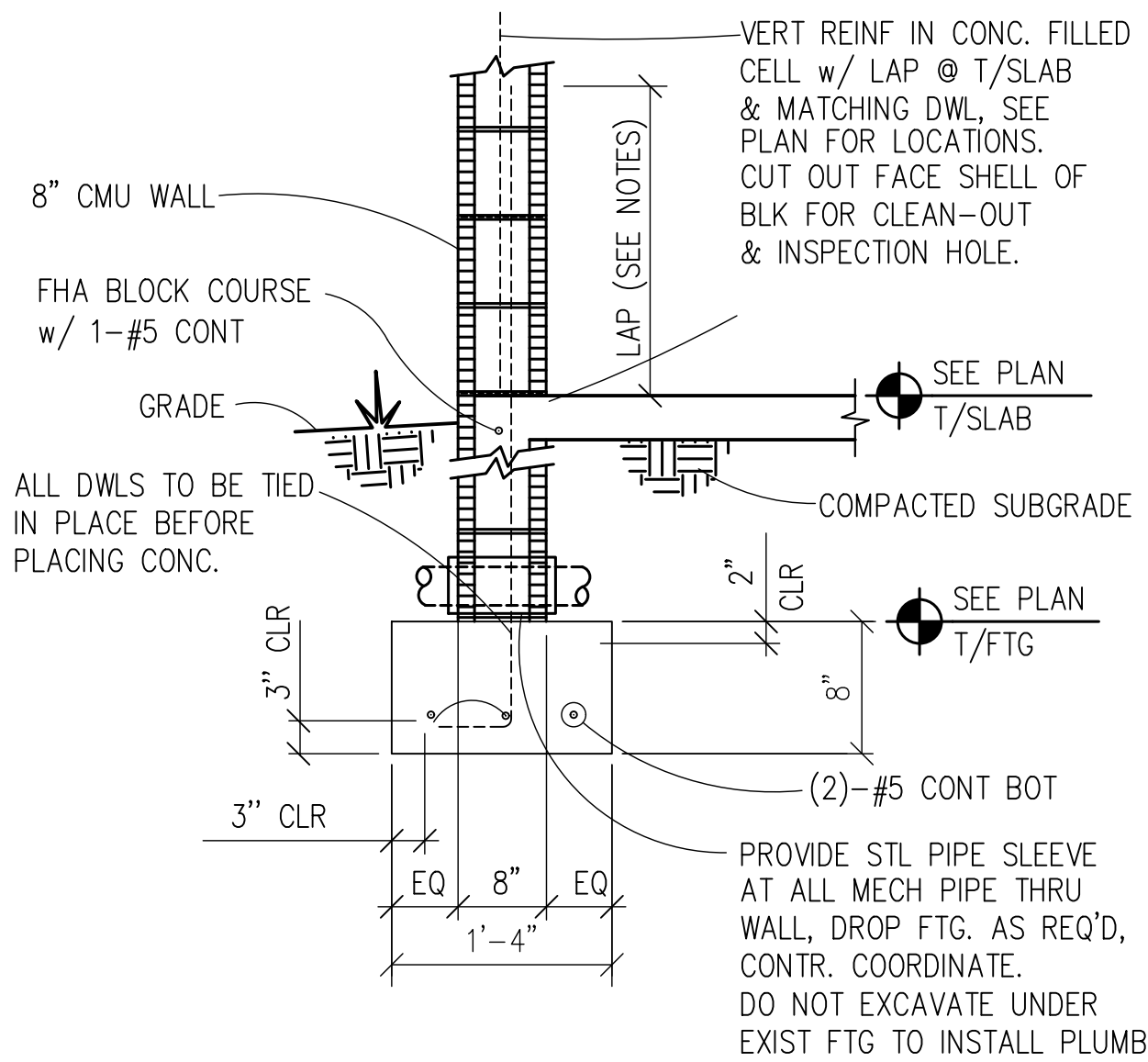
TRIB AREA (SQ FT)	ZONE	WIND PRESSURE AND SUCTION (PSF)	
		PRESSURE	SUCTION
10	④	26.5	-28.7
50	④	23.7	-26.0
500	④	19.8	-22.0
10	⑤	26.5	-35.5
50	⑤	23.7	-29.9
500	⑤	19.8	-22.0
10	①	15.3	-24.2
100	①	10.8	-22.0
10	②	15.3	-42.2
100	②	10.8	-31.0
10	③	15.3	-62.4
100	③	10.8	-48.9
10	②H	-----	-49.4
10	③H	-----	-83.1

- NOTES:
- a = 3 FT.
 - THE WIND DIRECTIONALITY FACTOR (kd) IS INCLUDED IN THE CALCULATION OF THESE PRESSURES.
 - H DENOTES OVERHANG VALUES.

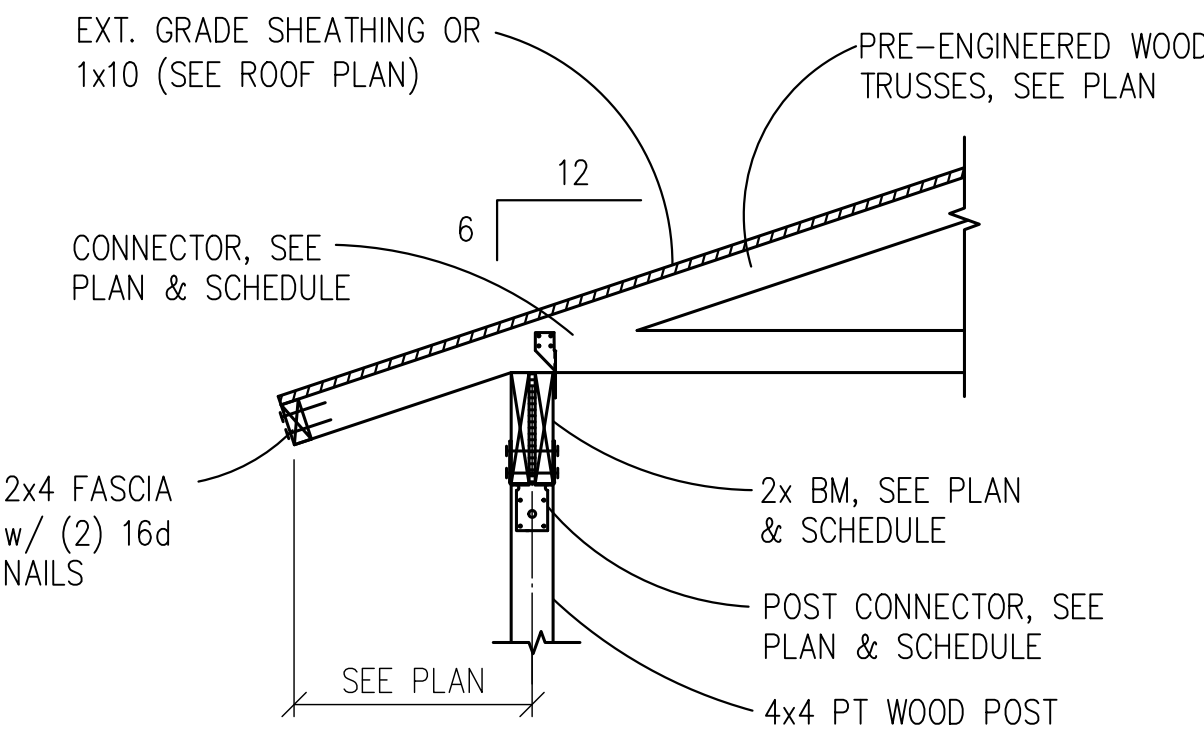


CORNERS INTERSECTIONS

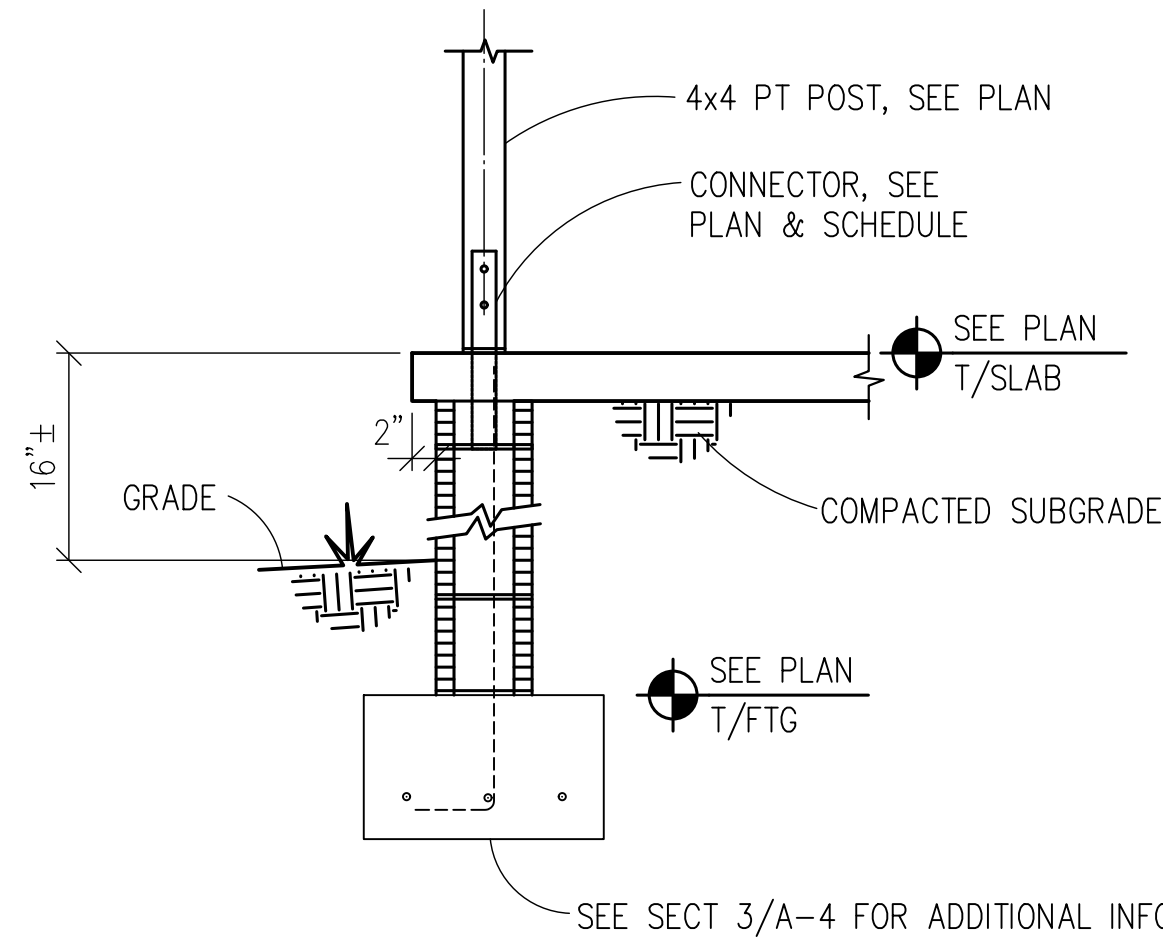
TYP HORIZ REINF IN
BMS, WALLS AND FTGS 2
3/4"=1'-0" A-4



EXTERIOR BLOCK WALL AT FTG 3
3/4"=1'-0" A-4



PORCH ROOF SECTION 6
3/4"=1'-0" A-4



SLAB AT PORCH AREA 4
3/4"=1'-0" A-4

WOOD CONNECTOR SCHEDULE

MARK	TYPE	RATED UPLIFT CAPACITY (LBS) IN SOUTHERN PINE/DOUG FIR-LARCH	FASTENERS TO MEMBER	FASTENERS TO SUPPORT	REMARKS
Ⓐ	HETA 20	1520	(7)-10d x 1 1/2	CAST INTO CMU	
Ⓑ	HUC 28	575	(4)-10d x 1 1/2	(6) 1/4 x 2 3/4 TITEN	
Ⓒ	M8HA1.10/11.25	3475	(18) - 10d	(1) ATR 3/4 INTO FACE & TOP OF CMU	
Ⓓ	LSU 26	535	(5)-10d x 1 1/2	(6) - 10d	SLOPE DOWN AT 22.6°
Ⓔ	HHUS 5.50/10	3430	(10)-16d	(30) - 16d	
Ⓕ	HCP2	605	(6)-10d x 1 1/2	(6)-10d x 1 1/2	
Ⓖ	H3	455	(4) - 8d	(4) - 8d	
Ⓗ	PC44	1700	(6) - 16d	(4) - 16d	
Ⓙ	CB44	4200	(2) 5/8"Ø MACHINE BOLTS	CAST INTO CONCRETE	

ANCHORAGE NOTES:

- ALL ANCHORS ARE SIMPSON STRONG-TIE BRAND. SUBSTITUTIONS MUST BE APPROVED IN WRITING PRIOR TO INSTALLATION.
- CONTRACTOR SHALL CAREFULLY COORDINATE LOCATION OF EMBEDDED ANCHORS WITH FRAMING PLAN. INSTALL IN ACCORDANCE WITH MANUFACTURERS PUBLISHED INSTRUCTIONS.
- INSTALL ALL ANCHORS IN ACCORDANCE W/ MANUFACTURERS RECOMMENDATIONS USING NUMBER OF NAILS/SCREWS NOTED IN THIS TABLE.
- PROVIDE GALVANIZED SEAT OR APPROVED VAPOR BARRIER FOR WOOD BEARING ON MASONRY OR CONCRETE.
- CONNECTORS FOR INTERIOR APPLICATIONS AND DRY SERVICE USE SHALL HAVE A STANDARD G90 ZINC COATONG CONTAINING 0.90 OZ OF ZINC PER SQUARE FOOT OF SURFACE AREA (TOTAL BOTH SIDES). CONNECTORS FOR PRESSURE TREATED WOOD OR WET SERVICE SHALL BE GALVANIZED (G185) 1.85 oz OF ZINC PER SQUARE FOOT OF SURFACE AREA (HOT-DIPPED GALVANIZED PER ASTM A653 TOTAL BOTH SIDES), WITH BOTH HOT-DIP GALVANIZED FASTENERS PER ASTM A153.
- ALL NAIL TYPE FASTENERS SHALL BE HOT-DIPPED GALVANIZED.
- ALL TRUSS ANCHORS MUST BE VERIFIED BY ENGINEER OF RECORD FOR CAPACITY AND SUITABILITY W/ UPLIFT LOADS SUBMITTED BY TRUSS SPECIALTY ENGINEER, SEE NOTE WT-11 ON SHEET S-1.



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OF SHEETS

STRUCTURAL DESIGN CRITERIA

- D-1 CODES: - FLORIDA BUILDING CODE 7th EDITION (2023) RESIDENTIAL ASCE 7-05
- D-2 DESIGN LIVE LOADS: ROOF 20 PSF
- D-3 DESIGN WIND SPEED (ULTIMATE) 139 MPH
IMPORTANCE FACTOR 1.0
BUILDING CATEGORY II
ENCLOSURE CLASSIFICATION: ENCLOSED
EXPOSURE CATEGORY B
INTERNAL PRESSURE C_{pi}: ± 0.18
COMPONENTS & CLADDING DESIGN WIND PRESSURE: SEE WIND LOAD CHART
- D-4 ALLOWABLE SOIL BEARING PRESSURE 2000 PSF (ASSUMED)

GENERAL NOTES

- G-1 REVIEW ALL PROJECT DOCUMENTS PRIOR TO FABRICATION AND START OF CONSTRUCTION. REPORT ANY DISCREPANCIES TO ARCHITECT OR STRUCTURAL ENGINEER PRIOR TO PROCEEDING WITH WORK. DIMENSIONS RELATING TO EXISTING CONSTRUCTION ARE TO BE FIELD VERIFIED.
- G-2 THE STRUCTURE IS DESIGNED TO BE Viable IN ITS FINAL, FULLY ERECTED CONFIGURATION. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO ENSURE THE SAFETY AND STABILITY OF THE BUILDING AND ITS COMPONENT PARTS DURING THE CONSTRUCTION PHASE OF THE PROJECT.
- G-3 THE EXTENT OF UNDERGROUND UTILITIES IS UNKNOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROTECT ALL EXISTING CONSTRUCTION DURING EXCAVATION.
- G-4 NO STRUCTURAL MEMBER SHALL BE CUT, NOTCHED OR OTHERWISE REDUCED IN SIZE OR STRENGTH WITHOUT PRIOR APPROVAL IN WRITING FROM THE STRUCTURAL ENGINEER.
- G-5 COORDINATE STRUCTURAL AND OTHER DRAWINGS THAT ARE PART OF THE CONTRACT DOCUMENTS FOR ANCHORED, EMBEDDED OR SUPPORTED ITEMS WHICH MAY AFFECT THE STRUCTURAL DRAWINGS.
- G-6 ALL DETAILS AND SECTIONS ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL BE CONSTRUED TO APPLY TO ANY SIMILAR SITUATION ELSEWHERE ON THE PROJECT EXCEPT WHERE A SEPARATE DETAIL IS SHOWN.
- G-7 THE INTENTION OF THE PLANS AND SPECIFICATIONS IS TO PROVIDE ALL NECESSARY DETAILS TO CONSTRUCT A COMPLETE STRUCTURE. WHEN SPECIFIC INFORMATION IS MISSING OR IS IN CONFLICT, THE CONTRACTOR SHALL USE A SIMILAR DETAIL AND/OR THE MORE COSTLY ITEM OF CONFLICT. THE CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- G-8 THE ENGINEER SHALL NOT BE RESPONSIBLE FOR LAYOUT, DIMENSIONAL ERRORS OR DISCREPANCIES RESULTING FROM THE REPRODUCTION AND USE OF CONTRACT DRAWINGS FOR ERECTION AND SHOP DRAWINGS. USE OF CONTRACT DRAWINGS REPRODUCED IN WHOLE OR IN PART IN SHOP DRAWINGS SHALL NOT RELIEVE THE CONTRACTOR NOR SUBCONTRACTORS FROM THEIR RESPONSIBILITY TO ACCURATELY LAYOUT, COORDINATE, DETAIL, FABRICATE AND INSTALL A COMPLETE STRUCTURE.
- G-9 REVIEW ALL SHOP DRAWINGS FOR CONFORMANCE WITH THE CONTRACT DOCUMENTS AND FOR COMPLETENESS AND ANSWER ALL CONTRACTOR RELATED QUESTIONS. STAMP AND INITIAL ALL SHEETS PRIOR TO SUBMITTING SHOP DRAWINGS TO ARCHITECT FOR REVIEW. NON-COMPLIANCE WITH THIS REQUIREMENT SHALL RESULT IN REJECTION OF SUBMITTAL.
- G-10 ALL SHOP DRAWING SUBMITTALS SHALL CONSIST OF 4 COPIES. ADDITIONAL COPIES WILL NOT BE REVIEWED OR MARKED UP.

SHALLOW FOUNDATIONS

- SF-1 SOIL SHALL BE STRIPPED, COMPACTED AND TESTED TO 95% MODIFIED PROCTOR (ASTM D-1557) TO A DEPTH OF 1'-0" BELOW FOOTING BOTTOMS, SLABS, RAMPS AND WITHIN 5'-0" OF THE BUILDING PERIMETER.
- SF-2 CENTER ALL FOOTINGS UNDER THEIR RESPECTIVE COLUMNS OR WALLS UNLESS OTHERWISE SHOWN ON PLANS. MAXIMUM MISPLACEMENT OR ECCENTRICITY - 2". TOLERANCE FOR MISLOCATION OF COLUMN DOWELS OR ANCHOR BOLTS TO BE PER ACI OR AISC STANDARDS.
- SF-3 HORIZONTAL JOINTS IN FOOTINGS WILL NOT BE PERMITTED.
- SF-4 WHERE VERTICAL CONSTRUCTION JOINTS OCCUR IN CONTINUOUS FOOTINGS, PROVIDE A MINIMUM CONTINUOUS 2" x 4" KEYWAY ACROSS JOINT FOR EACH 12" OF DEPTH.
- SF-5 CONTRACTOR TO NOTIFY ENGINEER IF SOIL CONDITIONS ARE UNCOVERED THAT PREVENT THE REQUIRED SOIL BEARING PRESSURE FROM BEING OBTAINED.
- SF-6 COORDINATE PLUMBING LINES WITH FOOTING LOCATIONS FOR INTERFERENCE. INDIVIDUAL FOOTINGS SHOULD BE LOWERED WITH THE PRIOR APPROVAL OF THE STRUCTURAL ENGINEER. CONTINUOUS WALL FOOTINGS SHOULD BE STEPPED AS DETAILED ON THE DRAWINGS.
- SF-7 EXCAVATING UNDER OR NEAR IN-PLACE FOOTINGS/FOUNDATIONS WHICH DISTURBS THE COMPACTED SOIL BENEATH THE FOOTINGS/ FOUNDATIONS SHALL NOT BE PERMITTED.
- SF-8 REINFORCING SHALL BE SUPPORTED ON PRECAST CONCRETE PADS. DOWELS FOR COLUMNS AND FILLED CELLS SHALL BE SECURED IN PLACE PRIOR TO PLACING CONCRETE. USE TEMPLATES FOR SETTING COLUMN DOWELS AND ANCHOR BOLTS.**REINFORCED CONCRETE**
- RC-1 ALL CONCRETE DESIGN AND PLACEMENT SHALL BE IN STRICT ACCORDANCE

WITH THE ACI "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE," ACI 318.

- RC-2 STRUCTURAL CONCRETE SHALL CONFORM TO ACI 301 SPECIFICATIONS AND SHALL DEVELOP A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS.
- RC-3 USE REGULAR WEIGHT CONCRETE. SUBMIT DESIGN MIX FOR REVIEW PRIOR TO PLACEMENT OF CONCRETE. ALL MIX DESIGNS MUST CLEARLY INDICATE INTENDED USE AND LOCATION.
- RC-4 STRUCTURAL CONCRETE SHALL HAVE #57 COURSE AGGREGATE WITH A SLUMP RANGE OF 3" TO 5". HIGHER SLUMPS ARE ACCEPTABLE WITH THE ADDITION OF A HIGH RANGE WATER REDUCING ADMIXTURE.
- RC-5 FLYASH, WHEN USED, SHALL BE LIMITED TO 20% OF THE CEMENTITIOUS MATERIAL.**RC-6 ALL PUMPED CONCRETE WITH #57 AGGREGATE IS TO CONTAIN A HIGH RANGE WATER REDUCING AGENT. MINIMUM SIZE OF DISCHARGE TO BE 4" I.D.**
- RC-7 A 2" I.D. DISCHARGE MAY BE USED WITH #89 AGGREGATE. USE HIGH RANGE WATER REDUCING ADMIXTURE IF NECESSARY TO INCREASE SLUMPS BEYOND THAT NOTED ABOVE.
- RC-8 CHAMFER ALL EDGES OF EXPOSED CONCRETE 3/4" UNLESS NOTED OTHERWISE.
- RC-9 ALL REINFORCING STEEL SHALL BE DETAILED, FABRICATED AND INSTALLED IN ACCORDANCE WITH ACI 318 AND ACI DETAILING MANUAL, ACI-315 MOST CURRENT EDITIONS.
- RC-10 REINFORCING STEEL SHALL BE NEW DEFORMED BARS THAT ARE FREE FROM RUST, SCALE AND OIL AND CONFORM TO ASTM A615, GRADE 60, WITH MINIMUM YIELD STRENGTH = 60,000 PSI.
- RC-11 SHOP DRAWINGS FOR PLACEMENT SHALL BE SUBMITTED FOR REVIEW PRIOR TO REBAR FABRICATION.
- RC-12 ALL SLABS ON GRADE SHALL BE REINFORCED WITH POLYPROPYLENE FIBERS IN ACCORDANCE WITH MANUFACTURER'S WRITTEN RECOMMENDATIONS AND SPECIFICATIONS.
- RC-13 TERMINATE ALL DISCONTINUOUS TOP BARS WITH STANDARD 90 DEGREE HOOK (PLACED VERTICALLY) UNLESS NOTED OTHERWISE.
- RC-14 AT CHANGES IN DIRECTION OF STRIP FOOTINGS, PROVIDE CORNER BARS OF SAME SIZE AND QUANTITY (U.N.O.) AS HORIZONTAL STEEL. REFER TO TYPICAL DETAIL.
- RC-15 PROVIDE THE FOLLOWING CONCRETE COVERAGES OVER REINFORCING:
- FOOTINGS: BOTTOM AND UNFORMED EDGES 3" CLR.

- RC-16 FOOTING SIZES SHOWN ARE FOR FOOTINGS CONSTRUCTED WITH SIDE FORMS. IF SOIL MATERIAL CAN HOLD A VERTICAL SHAPE, THE SOIL CAN BE USED AS AN EARTH FORM PROVIDED OVERALL FOOTING WIDTH AND REINFORCING COVER IS INCREASED 2". ALL SLOUGHED MATERIAL SHALL BE REMOVED FROM EXCAVATION BEFORE AND DURING PLACEMENT OF CONCRETE.
- RC-17 USE THE STRUCTURAL DRAWINGS, INCLUDING REVISIONS AND ADDENDA, IN CONJUNCTION WITH REVIEWED SHOP DRAWINGS FOR PLACEMENT OF REINFORCING.
- RC-18 SLEEVE ALL PENETRATIONS THROUGH BEAMS AND SLABS INDIVIDUALLY. CORE DRILLING SHALL NOT BE PERMITTED. SUBMIT LOCATION AND SIZE OF SLEEVES THROUGH BEAMS TO ENGINEER FOR REVIEW PRIOR TO CASTING CONCRETE.
- RC-19 NO REINFORCING BARS SHALL BE CUT TO ACCOMMODATE THE INSTALLATION OF ANCHORS, EMBEDS OR OTHER ITEMS.
- RC-20 ALL EMBEDDED ITEMS SHALL BE SECURELY TIED IN PLACE PRIOR TO CONCRETE PLACEMENT.
- RC-21 PLACEMENT OF CONDUIT AND PIPES IN CONCRETE SHALL CONFORM TO ACI 318 (6.3).
- RC-22 PLACE CONCRETE PER ACI 304. USE INTERNAL MECHANICAL VIBRATION FOR ALL CONCRETE. FOR ALL CONCRETE LIMIT FREE FALL DROP TO 3'-0". ALL PRECAUTIONS SHOULD BE TAKEN TO AVOID SEGREGATION OF CONCRETE DURING PLACEMENT.
- RC-23 CONCRETE SCREWS SHALL BE SIMPSON TITEN, TITEN HD OR APPROVED EQUAL.
- RC-24 CONTINUOUSLY CURE FRESH CONCRETE IN A MOIST ENVIRONMENT FOR SEVEN DAYS. SUBMIT CURING METHOD FOR APPROVAL BY THE ENGINEER PRIOR TO PLACING CONCRETE.

MASONRY

- M-1 MASONRY CONSTRUCTION SHALL CONFORM TO ACI "BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES" (ACI 530-02/ASCE 5-02) AND "SPECIFICATIONS FOR MASONRY STRUCTURES" (ACI 530.1-02/ASCE 6-02), EXCEPT AS AMENDED BELOW.
- M-2 STRUCTURE HAS BEEN DESIGNED AS A BEARING WALL STRUCTURE. ALL MASONRY UNITS SHALL BE LAID PRIOR TO CONCRETE PLACEMENT OF COLUMNS, BEAMS AND SLABS FOR THE SAME STORY.
- 3 USE TYPE "S" MORTAR WITH MINIMUM COMPRESSIVE STRENGTH OF 1800 PSI.
- M-4 MASONRY UNITS SHALL BE LAID IN RUNNING BOND AND (UNO) CONFORM TO ASTM C90 WITH A MINIMUM COMPRESSIVE STRENGTH OF 1900 PSI ON

NET SECTION TO PROVIDE NET AREA COMPRESSIVE STRENGTH OF MASONRY (F'm) OF 1500 PSI.

- M-6 PROVIDE FILLED CELLS AS SHOWN ON PLANS. IN ADDITION, PROVIDE FILLED CELLS ADJACENT TO ALL OPENINGS AND AT ANCHORAGE OF CONNECTIONS. GROUT SHALL BE IN ACCORDANCE WITH ASTM C476, HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI AT 28 DAYS AND BE TESTED IN ACCORDANCE WITH ASTM C1019. GROUT SLUMP SHALL BE BETWEEN 8 AND 11". THE MAXIMUM AGGREGATE SIZE SHALL BE #89 PEAROCK.
- M-7 USE METAL LATH OR CAVITY CAPS BELOW TIE BEAMS OR KNOCK-OUT COURSES TO BLOCK UNFILLED CELLS. FELT OR OTHER BOND BREAKING MATERIAL SHALL NOT BE USED.
- M-8 PROVIDE FULL MORTAR BEDDING AROUND ALL FILLED CELLS WITH VERTICAL REINFORCING.
- M-9 REINFORCING FOR FILLED CELLS SHALL CONFORM TO ASTM A615, GRADE 60. PROVIDE THE FOLLOWING LAP SPLICES FOR REINFORCING:
- #5 BARS 32"
- M-10 ALL FILLED CELLS SHALL BE POURED AT LEAST TWO (2) HOURS PRIOR TO POURING BEAMS AND LINTELS.
- M-11 REINFORCE WALL WITH LADDER TYPE REINFORCEMENT ("DUR-O-WALL" OR EQUAL) IN BED JOINTS AT 16" O.C. MEASURED VERTICALLY. LAP SPLICE ALL HORIZONTAL WALL REINFORCING 6". PROVIDE PREFABRICATED "TEE" OR CORNER SECTIONS AT ALL INTERSECTING WALLS.
- M-12 REFER TO TYPICAL WALL SECTIONS FOR MAXIMUM CONSTRUCTION HEIGHT OF MASONRY WALLS. PROVIDE CLEAN-OUT HOLES AT BASE OF FILLED CELL WHEN THE CONCRETE POUR EXCEEDS 5 FEET IN HEIGHT.**M-13 CONCRETE FOR FILLED CELLS SHALL BE VIBRATED DURING PLACEMENT USING A "PENOL" TYPE VIBRATOR.**
- M-14 REFER TO LINTEL SCHEDULE FOR LENGTH AND UPLIFT REQUIREMENTS.
- M-15 UNLESS NOTED OTHERWISE, EXTEND ALL NON-BEARING MASONRY WALLS MINIMUM 8" ABOVE CEILING. CAP WALL WITH KNOCK-OUT LINTEL COURSE. REINFORCE WITH 1-#5 CONT. AND FILL SOLID WITH CONCRETE.
- M-16 PROVIDE A SINGLE CORNER BAR FOR EACH MASONRY TIE BEAM OR BOND BEAM COURSE THAT CHANGES DIRECTION OR INTERSECTS OTHER CONCRETE OR MASONRY BEAMS. BAR SIZE TO BE SAME AS LARGEST HORIZONTAL BAR.

PRE-ENGINEERED WOOD TRUSSES

- WT-1 DESIGN OF METAL CONNECTED ROOF TRUSSES TO COMPLY WITH:
- APPLICABLE BUILDING CODE (SEE NOTE D-1).
- NFPA'S "NATIONAL DESIGN SPECIFICATION FOR STRESS GRADED LUMBER AND ITS FASTENINGS."
- TRUSS PLATE INSTITUTE'S "NATIONAL DESIGN STANDARD FOR METAL PLATE CONNECTED WOOD TRUSS CONSTRUCTION" (ANSI/TP11).
- WT-2 PRE-ENGINEERED, PRE-FABRICATED WOOD TRUSSES AND THEIR CONNECTIONS TO EACH OTHER SHALL BE DESIGNED FOR THE LOADS INDICATED IN NOTE WT-7 BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF FLORIDA. DESIGN OF TRUSSES AND CONNECTIONS IS TO BE AS COMPONENTS AND CLADDING.
- WT-3 SIGNED AND SEALED SHOP DRAWINGS WITH SUPPORTING CALCULATIONS SHOWING TRUSS CONFIGURATION WITH MEMBER SIZES AND CONNECTIONS, TRUSS LAYOUT WITH PIECE MARKS, REQUIRED TRUSS TO TRUSS CONNECTIONS, DESIGN LOADS, DURATION FACTORS AND ERECTION DETAILS MUST BE SUBMITTED FOR REVIEW PRIOR TO FABRICATION. IF REQ., SUBMIT COPIES TO THE BUILDING DEPARTMENT AT TIME OF PERMITTING.
- WT-4 PRE-FABRICATED WOOD TRUSSES SHALL BE FABRICATED FROM SOUTHERN PINE (SPIB) KILN DRIED #2 OR BETTER FOR CHORDS AND #3 GRADE OR BETTER FOR WEBS.
- WT-5 NO WANE, SKIPS OR OTHER DEFECTS SHALL OCCUR IN THE PLATE CONTACT AREA OR SCARFED AREA OF WEB MEMBERS. PLATES SHALL BE CONNECTED WITH ONE REQUIRED EACH SIDE OF TRUSS.
- WT-6 NUMBER OF PANELS AND DIRECTION OF WEB MEMBERS TO SUIT CONTINUOUS OR SIMPLE SPAN TRUSS DESIGN REQUIREMENTS. SEE STRUCTURAL AND ARCHITECTURAL DRAWINGS FOR OUTLINE SHAPE AND ANY SPECIAL CONDITIONS/LOCATIONS OF PANEL JOINTS. PROVIDE TRUSSES AT 2'-0" O.C. MAX.
- WT-7 TRUSS DESIGN PER GENERAL NOTES AND LOADS AS FOLLOWS:
- SLOPED TOP CHORD TRUSSES, 5:12
- | | |
|------------------------------|------------------|
| TOP CHORD DEAD LOAD | 10 PSF |
| LIVE LOAD | 20 PSF |
| BOTTOM CHORD | DEAD LOAD 10 PSF |
| LIVE LOAD | 10 PSF |
| TOTAL LOAD - DURATION FACTOR | 1.33 |
- PROVIDE DESIGN CALCULATIONS, SIGNED AND BEARING THE EMBOSSED SEAL OF AN ENGINEER REGISTERED IN THE STATE OF FLORIDA, VERIFYING DESIGN FOR UPLIFT STRESSES.
- WT-8 HANDLING, ERECTION AND BRACING OF WOOD TRUSSES SHALL BE IN ACCORDANCE WITH BUILDING COMPONENT INFORMATION BCSI 1-03 "GUIDE TO GOOD PRACTICE FOR HANDLING, INSTALLATION & BRACING OF METAL

PLATE CONNECTED WOOD TRUSSES", JOINTLY PRODUCED BY WOOD TRUSS COUNCIL OF AMERICA AND TRUSS PLATE INSTITUTE.

- WT-9 PERMANENT TRUSS BRACING OR BRIDGING MEMBERS SHALL BE 1" x 4" MINIMUM SOUTHERN PINE WITH MINIMUM LOCATIONS AS NOTED ON PLANS. ADDITIONAL BRACING REQUIRED TO STRENGTHEN TRUSS COMPONENTS SHOULD BE NOTED ON THE ERECTION DRAWINGS IN ACCORDANCE WITH TRUSS MANUFACTURER'S RECOMMENDATIONS.

WT-10 MINIMUM PERMANENT BRIDGING CRITERIA FOR PRE-ENGINEERED TRUSSES:

PROVIDE 2" x 4" CONTINUOUS HORIZONTAL BRIDGING AT TOP AND BOTTOM CHORDS AT RIDGE AND 10'-0" CENTERS MAXIMUM. ADD DIAGONAL CROSS BRACING (12:12 SLOPE) AT EACH BRIDGING LINE ON 8'-0" CENTERS.

PROVIDE CONTINUOUS 2" x 4" @ 48" O.C. PERPENDICULAR TO TRUSSES AT TOP CHORD WHERE ROOF PLYWOOD IS NOT RIGIDLY ATTACHED TO TOP CHORD OF TRUSS.

PROVIDE CONTINUOUS 2" x 4" @ 48" O.C. AT BOTTOM CHORD WHERE A RIGID CEILING IS NOT FIRMLY ATTACHED DIRECTLY TO THE BOTTOM CHORD.

- WT-11 SUBMIT ROOF TRUSS FRAMING PLAN WITH TRUSS DESIGN. INDICATE MARK NUMBER OF ALL TRUSS TO TRUSS CONNECTIONS. VERIFY THAT UPLIFT ANCHOR CAPACITY MEETS OR EXCEEDS UPLIFT INDICATED IN APPROVED TRUSS SHOP DRAWINGS.

- WT-12 PROVIDE COMPLETE TRUSS PACKAGE INCLUDING TRUSSES, GIRDERS, JACKS, HEADERS, VALLEY TRUSSES AND OVERFRAMING AS REQUIRED TO FRAME THE ROOF PROFILE AS SHOWN ON ARCHITECTURAL AND STRUCTURAL PLANS AND DETAILS.**WOOD**

- WD-1 ALL WOOD CONSTRUCTION AND CONNECTIONS SHALL CONFORM TO AITC "AMERICAN INSTITUTE OF TIMBER CONSTRUCTION" MANUAL, LATEST EDITION, AND THE "NATIONAL DESIGN SPECIFICATIONS" FOR WOOD CONSTRUCTION, 2001 EDITION, AND FLORIDA BUILDING CODE 2014 EDITION, CHAPTER 23.

- WD-2 ALL SAWN WOOD SHALL BE SOUTHERN PINE NO. 2 GRADE OR BETTER, BASED ON 2002 SPIB GRADING RULES UNLESS NOTED OTHERWISE.

- WD-3 ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.

- WD-4 ALL BOLTS FOR BOLTED CONNECTIONS SHALL CONFORM TO ASTM A307. USE WASHERS BETWEEN WOOD AND ALL BOLT HEADS AND NUTS.

- WD-5 ALL METAL WOOD CONNECTORS SHALL BE MANUFACTURED BY SIMPSON STRONG TIE CO., OR APPROVED EQUAL.

A. CONNECTORS FOR INTERIOR APPLICATIONS AND DRY SERVICE USE, SHALL HAVE A STANDARD G90 ZINC COATING CONTAINING 0.90 OZ. OF ZINC PER SQUARE FOOT OF SURFACE AREA (TOTAL BOTH SIDES).

B. CONNECTORS FOR PRESSURE TREATED WOOD OR WET SERVICE USE, SHALL BE GALVANIZED (G185) 1.85 OZ. OF ZINC PER SQUARE FOOT OF SURFACE AREA (HOT-DIPPED GALVANIZED PER ASTM A653 TOTAL BOTH SIDES). THESE CONNECTORS REQUIRE HOT-DIP GALVANIZED FASTENERS PER ASTM A153.

- WD-6 ALL JOISTS SHALL BE Laterally SUPPORTED AT ENDS BY SOLID BLOCKING.

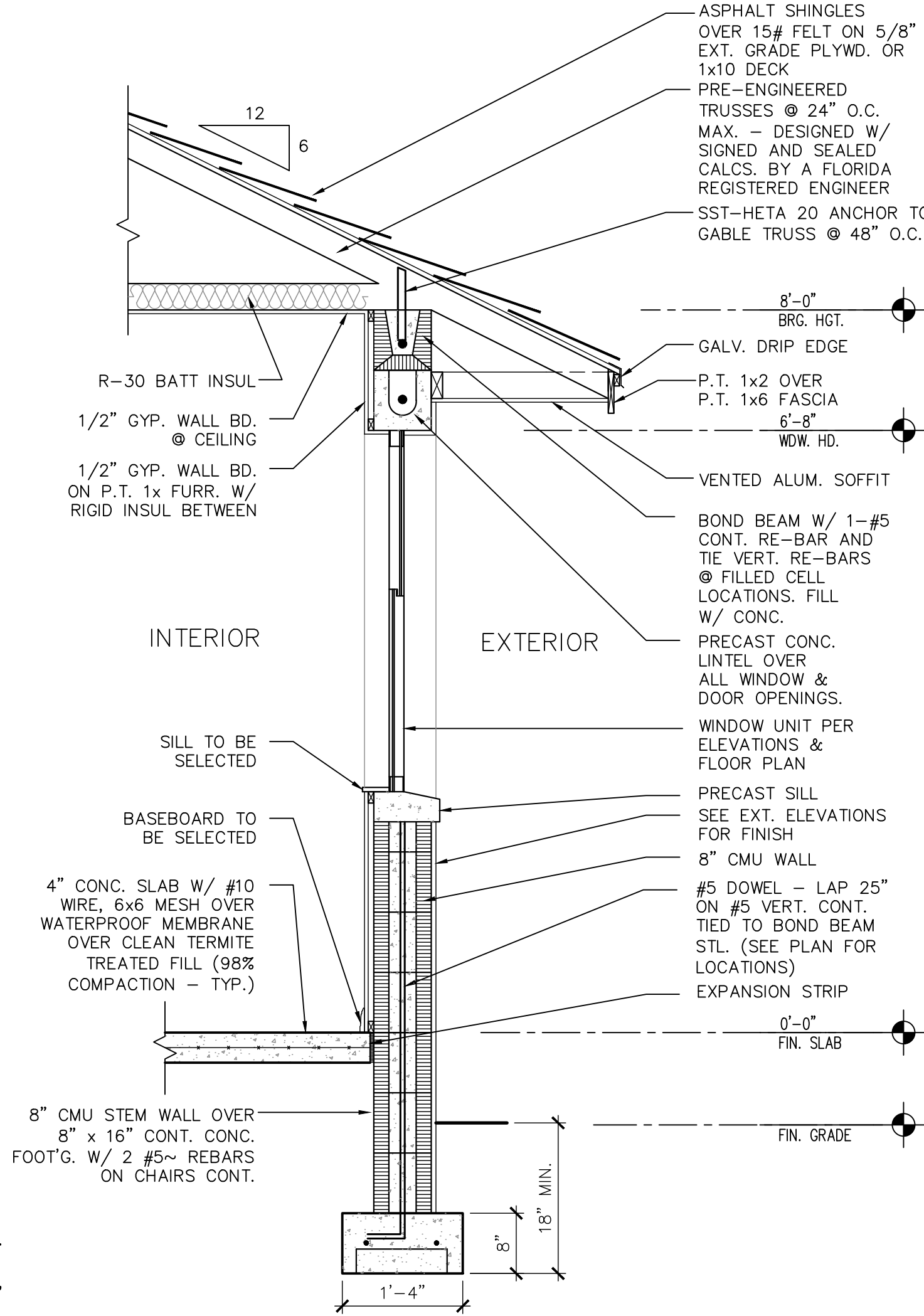
- WD-7 WHERE BEAMS OR COLUMNS ARE FORMED OF TWO (2) OR MORE MEMBERS, THEY SHALL BE FULL LENGTH AND FASTENED TOGETHER PER CHAPTER 23 (TABLE 2306.1) OF THE FLORIDA BUILDING CODE.

- WD-8 ROOF PLYWOOD SHALL BE 19/32" THICK, 32/16 SPAN RATED EXPOSURE 1 WITH 10d NAILS @ 6" O.C. MAXIMUM AT ALL SUPPORTED EDGES. SPACE NAILS 12" O.C. ALONG INTERMEDIATE FRAMING MEMBERS.

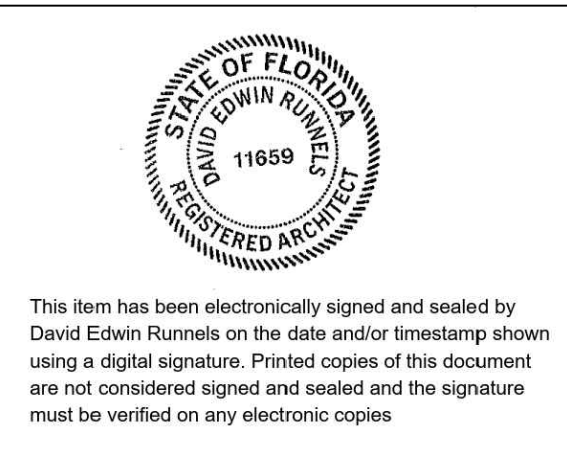
- WD-9 ALL PARALLEL STRAND TIMBER MEMBERS ARE SHOWN ON DRAWINGS. PROVIDE THE FOLLOWING MINIMUM PROPERTIES:

MEMBER	F _b (KSI)	F(KSI)
BEAMS	2.9	2.0 X 10

A/C #08093



A Wall Section
3/4"-1'0"



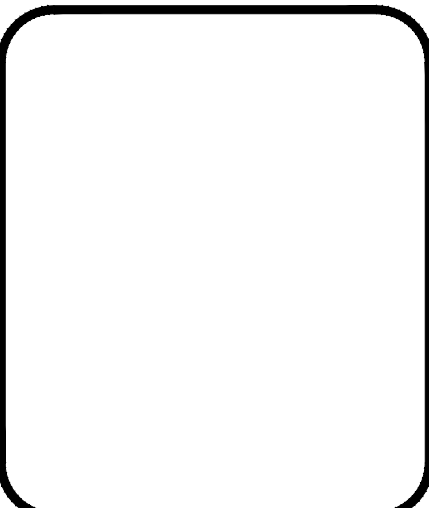
CODE INFORMATION/PLANS REVIEW:

THIS STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE FLORIDA BUILDING CODE 8th EDITION (2023) RESIDENTIAL

REV. NO.	REV. DATE

David E. Runnels, AIA, P.A.
Architect
233 West Park Avenue
Winter Park, FL 32789
State License No. AR 0011659

Habitat for Humanity
of Winter Park - Matland, Inc.



DRAWN CD
CHECKED DR
DATE August 2024
SCALE AS NOTED
JOB NO. HH-2024
SHEET

A-5

OF SHEETS



PLAN SNAPSHOT REPORT BOA-2025-0002 FOR CITY OF WINTER PARK

Plan Type: Board of Adjustments
Work Class: Board of Adjustments/Variance Application
Status: Fees Due
Valuation: \$0.00
Description: Variance for front setback from 21' to 16'

Project:
District: Winter Park
Square Feet: 0.00
Assigned To: Lewis, Nick

App Date: 01/27/2025
Exp Date: NOT AVAILABLE
Completed: NOT COMPLETED
Approval Expire Date:

Parcel: 302205940046050	Main	Address: 860 W New England Ave Winter Park, FL 32789-4102	Main	Zone:
Owner HABITAT FOR H WINTER PARK/MAITLAND INC 860 W NEW ENGLAND AVE WINTER PARK, FL 32789-4102	Applicant Renata Minoga 401 S PARK AVE WINTER PARK, FL 32789-4319 Business: (407) 335-8685 Mobile: (407) 335-8685			

Plan Custom Fields

Is the property on waterfront?	No	Section	58-65	Subsection	(f)(6)
Zoning	R-1(A)	Is this property on historic registry or district?	No	Describe variance	Request to reduce the required front setback from 21' to 16'.
How long have you owned the property?	1 year	How long have you occupied the property?	1 year	Special Condition	The lot is very shallow and all the houses in the neighborhood have the same setbacks at 16'. The zoning code was changed in 2023, to a city-wide new rule that applies to all lots no matter the nature of the neighborhood, and in this case the setback will be different from every other house in the street because of the unique characteristics of the lots.
Rights/Priv	All the lots in the street have the same setback at 16' feet.	Hardship	Standardized calculation method. The front yard setback shall be calculated using 20 percent of the lot depth or the setback of the existing or most recently demolished home, whichever is greater. The house will look out of character and alignment with all the houses in the neighborhood.	Limited Variance	yes.

Attachment File Name	Added On	Added By	Attachment Group	Notes
form.pdf	01/27/2025 12:36	Minoga, Renata		Signed Checklist
habitat site plan.pdf	01/27/2025 12:36	Minoga, Renata		Site Plan
Signature_Renata_Minoga_1/27/2025.jpg	01/27/2025 12:36	Minoga, Renata		Uploaded via CSS
860 W New England Ave - Plan Set.pdf	01/28/2025 10:00	Lewis, Nick		Plan Set

PLAN SNAPSHOT REPORT (BOA-2025-0002)

860 W New England Ave - Survey.pdf

01/28/2025 10:00 Lewis, Nick

Survey

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00057139	Residential Variance Application Fee	\$200.00	\$0.00
Total for Invoice INV-00057139		\$200.00	\$0.00
Grand Total for Plan		\$200.00	\$0.00

Submittal Name	Status	Received Date	Due Date	Complete Date	Resubmit	Completed
Board of Adjustments Review v.1	Approved	01/27/2025	01/29/2025	01/28/2025	No	Yes
Item Review Name	Department	Assigned User	Status	Assigned Date	Due Date	Completed Date
Zoning Review	Building & Permitting Services	Lewis, Nick	Approved	01/27/2025	01/29/2025	01/28/2025

Workflow Step / Action Name	Action Type	Start Date	End Date
Review v.1		01/28/2025 10:00	01/28/2025 10:00
Board of Adjustments Review v.1	Receive Submittal	01/27/2025 0:00	01/28/2025 9:58
Issue Invoice v.1	Generic Action		01/28/2025 10:00
Final Decision v.1			
Board of Adjustments Decision v.1	Generic Action		