



Planning & Zoning Board Regular Meeting

Agenda

January 7, 2025 @ 6:00 PM

City Hall Commission Chambers
401 S. Park Avenue

welcome

Agendas and all backup material supporting each agenda item are accessible via the city's website at cityofwinterpark.org/meetings/ and include virtual meeting instructions.

assistance & appeals

Persons with disabilities needing assistance to participate in any of these proceedings should contact the City Clerk's Office ([407-599-3277](tel:407-599-3277)) at least 48 hours in advance of the meeting.

"If a person decides to appeal any decision made by the Board with respect to any matter considered at this hearing, a record of the proceedings is needed to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based." (F.S. 286.0105).

please note

Times are projected and subject to change.

- 1. Call to Order**
- 2. Consent Agenda**
 - a. Approve the minutes of December 3, 2024. 1 minute
- 3. Public Comments (for items not on the agenda): Three minutes allowed for each speaker**
- 4. Public Hearings (Public participation and comment on these matters must be in person.)**
 - a. SPR #24-13. Request of Mark Nasrallah for approval to construct a new, two-story, 4,339 square-foot single-family home located at 1400 Elizabeth Drive on Lake Osceola, zoned R-1AAA. 10 minutes
- 5. Action Items**
- 6. Non-Action Items**
- 7. Staff Updates**
- 8. Board Comments**
- 9. Upcoming Agenda Items**
- 10. Adjournment**



Planning & Zoning Board

agenda item 2.a

item type

Consent Agenda

meeting date

January 7, 2025

prepared by

Mary Bush, Administrative Coordinator III

approved by**subject**

Approve the minutes of December 3, 2024.

motion | recommendation**background****alternatives | other considerations****fiscal impact****attachments**

1. Draft Planning & Zoning Board Regular Meeting Minutes



Planning & Zoning Board Regular Meeting Minutes

December 3, 2024 at 6:00 PM

City Hall Commission Chambers
401 S. Park Avenue

Present

David Bornstein, Jim Fitch, Warren Lindsey, Michael Spencer, Jason Johnson, Bill Segal

Absent

Alex Stringfellow

Staff Present

Director of Planning and Zoning Allison McGillis, Planning Consultant Jeff Briggs, Planner II Nicholas Lewis, Planner I Corinna Lundgren, Administrative Coordinator Mary Bush

1. Call to Order

Chairman Bornstein called the meeting to order at 6:00 p.m.

2. Public Comments (for items not on the agenda): Three minutes allowed for each speaker

The Board heard public comment from the following resident:

Bob Barnett of Austin's Coffee at 929 Fairbanks Avenue, Winter Park, FL 32789 addressed the Board and asked if the city had plans to relocate the small businesses at and around the Austin's Coffee location and when the results of the city's due diligence survey would be published.

No one else from the public wished to speak. The public hearing was closed.

3. Consent Agenda

- a. Approve the minutes of October 1, 2024.

Motion made by Warren Lindsey, seconded by Jim Fitch, to approve the October 1, 2024 meeting minutes.

The motion carried unanimously by a 6-0 vote. (Alex Stringfellow was absent from the meeting.)

4. Public Hearings (Public participation and comment on these matters must be in person.)

- a. SPR #24-14. Request of Mark Nasrallah for approval to construct a new, two-story, 4,334 square-foot home located at 1400 Elizabeth Drive on Lake Osceola, zoned R-1AAA. **THIS ITEM HAS BEEN CONTINUED TO THE JANUARY 7TH, 2025 REGULAR HEARING.**

Mr. Lewis announced that the item had been continued to the January 7, 2025 regular meeting.

- b. SPR #24-02. Request of Z Properties for approval to demolish the existing, two-story, 858 square-foot accessory structure and replace it with a new, single-story, 1,494 square-foot accessory structure located at 1602 Summerland Avenue on Lake Maitland, zoned R-1AAA.

Mr. Lewis provided a summary of the item. He noted that in February of this year a request for the principal structure had been approved by the Board. He then noted that staff had received three neighbor letters in favor of the current request for the accessory structure and none in opposition. He indicated that floor area ratio and the impervious lot coverage for the request had been increased by the applicant but was still well below the code requirements. He also indicated that the applicant was seeking a 10-foot front setback for the proposed accessory structure in lieu of the existing structure's 4.5-foot front setback. Mr. Lewis explained that the justification provided for the request was that the required 20-foot setback would necessitate the removal of an existing oak tree and the applicant's remaining buildable area had been greatly diminished by a recently recorded easement across the property for city water and wastewater facilities. He then noted that there were no windows being proposed along the neighbor's lot line, no trees would be removed, the stormwater requirement was being met by multiple swales on the property, and no views from the lake and the neighbors would be infringed upon.

Staff recommendation was for approval.

A brief discussion ensued regarding the history behind the recently recorded easement across the property, and how the lift station in the easement is and will be accessed by the city.

The applicant, Zane Williams of 1333 Alberta Drive, Winter Park, FL 32789 addressed the Board. Mr. Williams noted that the mother of the homeowners would be moving into the property and the existing two-story structure is not accommodating to the mother's needs.

No one from the public wished to speak. The public hearing was closed.

Motion made by Jim Fitch, seconded by Michael Spencer, for approval to demolish the existing, two-story, 858 square-foot accessory structure and replace it with a new, single-story, 1,494 square-foot accessory structure located at 1602 Summerland Avenue on Lake Maitland, zoned R-1AAA.

The motion carried by a 6-0 vote. (Alex Stringfellow was absent from the meeting.)

- c. SPR #24-12. Request of Stuart and Christina Kirscht for approval to rebuild a new two-story single-family home in the location of the existing lakefront structure at 999 Genius Drive, on Lake Mizell, zoned R-1AAA.

Mr. Briggs provided a summary of the item. He noted that there were three individual detached single-family homes on the property. He explained that one of the three homes is located on the edge of Lake Maitland and had flooding issues in 2022 during Hurricane Ian. He added that the homeowners were considering the options of restoring or rebuilding the home due to the flooding. He noted that to rebuild the home would require variances from the code for the lakefront and side setbacks. He explained that the applicant wanted to tear down the existing home and build another matching two story home that would be slightly smaller in square footage within the same footprint of the existing home but moved further away from the adjacent neighboring property. Mr. Briggs indicated that no trees would be removed and the views from the lake and neighbors would not be infringed upon. He also noted that staff had spoken with the adjacent neighbor to the property and from that discussion certain conditions of approval were created to resolve concerns of the neighbor.

Staff recommendation was for approval with the following conditions:

- That no above ground accessory structures, such as generators, fuel tanks, or AC compressors shall be located within a 6-foot side setback and that any gas line or switch gear must be located at least 5-feet from the side property line;
- That no storm water drainage from this structure will flow onto the adjacent property; and
- That the property owner shall enter into a development agreement with the City to memorialize that this approval is based solely on replacement of an existing non-conforming structure, and such approval is based upon providing a specific remedy for the flooding experienced from a hurricane event, and that the replacement structure is slightly smaller in terms of square footage and footprint and provides an increase in the side setbacks to the adjacent neighbor. Additionally, the replacement structure generally conforms to the same architectural styling of the existing structure, and any approval shall not be

precedent setting in any manner for the current or future property owners to allow any future replacement structure, or additions to the structure unless done so in compliance with the zoning code regulations.

Discussion ensued regarding where the property's stormwater would flow, the city departments that would need to provide approval for the project, clarification of the adjacent neighbor's consent to the request based on the conditions of approval, what the applicant could do with the home if the request was denied, and how much smaller the rebuild would be compared to the existing home.

The applicant, Zane Williams of 1333 Alberta Drive, Winter Park, FL 32789 addressed the Board. Mr. Williams noted that most of the Board members had individually walked the property and that he was available for any questions.

The Board inquired as to whether new pilings of a different composition would be used for the deck going into the lake.

No one from the public wished to speak. The hearing was closed.

The Board shared their thoughts on the request and expressed favor for it.

Motion made by Jason Johnson, seconded by Bill Segal, for approval to rebuild a new, two-story, single-family home in the location of the existing structure at 999 Genius Drive, on Lake Mizell, zoned R-1AAA, subject to the following conditions:

- **That no above ground accessory structures, such as generators, fuel tanks, or AC compressors shall be located within a 6-foot side setback and that any gas line or switch gear must be located at least 5-feet from the side property line;**
- **That no storm water drainage from this structure will flow onto the adjacent property; and**
- **That the property owner shall enter into a development agreement with the City to memorialize that this approval is based solely on replacement of an existing non-conforming structure, and such approval is based upon providing a specific remedy for the flooding experienced from a hurricane event, and that the replacement structure is slightly smaller in terms of square footage and footprint and provides an increase in the side setbacks to the adjacent neighbor. Additionally, the replacement structure generally conforms to the same architectural styling of the existing structure, and any approval shall not be precedent setting in any manner for the current or future property owners to allow any future replacement structure, or**

additions to the structure unless done so in compliance with the zoning code regulations.

The motion carried by a 6-0 vote. (Alex Stringfellow was absent from the meeting.)

- d. APP #1-24. Request of the Windereedle Law Firm on behalf of Jonathan Cole for: An Appeal pursuant to City Code Section 58-94 (b) of the determination that the landscaping currently in place is in violation of a condition of approval for the redevelopment of the property granted by the Planning and Zoning Board on May 4, 2021 on Lake Virginia, zoned R-1AAA.

Mr. Briggs provided a summary of the item. He gave a brief background of the request and noted that the lakefront review for the applicant's new home had been approved by the Planning & Zoning Board on May 4, 2021. He indicated that at the 2021 meeting there had been significant discussion with regard to the Board's purview of trying to maintain the traditional views of the lake and not have them unduly impaired. He explained that two of the neighbors on the east side of the applicant's property felt that the new home would unduly impair their views of the lake. In order to remedy some of the neighbor concerns about their views, the Board utilized their authority to grant a variance to move the home six feet closer to the street and imposed other conditions of approval related to lake front landscaping not exceeding six feet in height. Since that meeting it was determined by staff that landscaping at the property had been planted in excess of six feet and therefore was in violation of the condition of approval. He noted that the property owner did not agree with the determination and thus had applied for the appeal. Mr. Briggs briefly explained the process of the appeal noting that the applicant could also further appeal to the City Commission. He then reviewed and discussed photos and the view radius of the property as well as the Board's motion that was made at the May 2021 hearing. A brief discussion ensued regarding why a hearing on the initial request was tabled by the Board prior to the May 2021 hearing. Mr. Briggs then played for the Board an audio clip of the May 4, 2021 Planning & Zoning Board's meeting discussion to assist them in understanding and confirming the intent of the conditions of approval that were granted for the original request. City Attorney Langley requested that staff inform the Board of what was placed in the staff report about the applicant's attorney and what that attorney had stated on the record regarding accepting the condition that was offered as heard on the audio clip. A brief discussion ensued. The Board also inquired about whether public comments were made at the initial hearing, clarification of the specific violations regarding the landscaping, whether the applicant's original house was one foot lower than the neighbor's house in 2021, clarification on what was referenced in the original Board motion, and which property a black fence was located on.

The applicant's attorney, Trippe Cheek of Windereedle, Haines, Ward and Woodman,

P.A. at 250 N. Park Avenue, Winter Park, FL 32789 addressed the Board. Attorney Cheek noted that he felt the issue was too ambiguous for it to be a code enforcement issue, that the Board was not restricted on what they could do to address the appeal, that there was no substantial competent evidence to support the ruling for the six-foot limitation, and that traditional lake views to the extent of the Board's 2021 ruling did not exist on the property prior to the applicant's purchase of the property. He also noted that the reason for the appeal was that based on a complaint from a neighbor, city staff believed that the applicant's landscaping was inconsistent with the conditions of approval, but he and the applicant thought it was appropriate and proper and reasonable in context and not in violation of the spirit of the conditions of approval and asked the Board to find that the landscaping was not in violation of the conditions. He then reviewed the city's code regarding the Board's authority under Section 58-87 (a) with regard to lakefront lots and noted that he and the applicant did not believe the eastern neighbor's views of the lakefront were unduly impaired. He then continued discussion on the applicant's position with regard to the matter and what the Board should do to address it. He indicated that the biggest concern he and the applicant had was privacy and wanted it to be noted on the record that the applicant was entitled to have reasonable privacy protection landscaping that extends towards the lake as far as the pool deck and the applicant was not asking to go any further than that.

The applicant, Jonathan Cole of 721 Virginia Drive, Winter Park, FL 32789 addressed the Board. Mr. Cole indicated that he attempted to honor the six-foot landscaping limitation. He also expressed his concerns with privacy at his pool and felt that the views of the eastern neighbors were not impacted by the landscaping

The Board inquired about what the applicant believed they were entitled to do along the property line based on the conditions that were approved at the May 4, 2021 Planning & Zoning Board hearing. A brief discussion ensued with Attorney Cheek.

The Board heard public comment from the following residents:

In favor of the request:

Richard Lewin of 1360 Chestnut Avenue, Winter Park, FL 32789.

In opposition to the request:

Michelle Randolph of 741 Virginia Drive, Winter Park, FL 32789; John Randolph of 741 Virginia Drive, Winter Park, FL 32789.

No one else from the public wished to speak. The public hearing was closed.

Attorney Cheek addressed the Board and noted that the applicant did not get

everything that he wanted at the initial hearing in 2021 and that there had been no agreement put in place, only conditions of approval. He added that neither of these were relevant to the appeal.

A brief discussion ensued about whether the applicant's attorney at the 2021 hearing had consented to the conditions of the approval on behalf of the applicant.

City Attorney Langley explained that the Board did not have to make the determination that there was a violation of the condition, they just needed to interpret the condition that was before them that was being challenged. He further explained that the hearing was not an appeal of the condition itself, but a matter of whether staff's interpretation of the landscaping condition was or was not correct.

A brief discussion ensued regarding tabling the item for the Board to review the entire audio of the applicant's hearing item from the May 4, 2021 hearing.

The Board expressed their thoughts on the matter and overall did not feel that the matter should be tabled and felt that staff's interpretation was correct.

A brief discussion ensued regarding the Board reviewing the May 2021 hearing item audio individually, during a work session, or at a public hearing.

Motion made by Warren Lindsey, seconded by Jason Johnson, to table the item until the January 7, 2024 regular meeting.

The motion failed by a 2-4 vote. (In favor: Warren Lindsey and Jason Johnson. Opposed: Jim Fitch, Michael Spencer, David Bornstein, and Bill Segal. Alex Stringfellow was absent from the meeting.).

A brief discussion ensued regarding how a motion for the appeal would be made.

Motion made by Jason Johnson, seconded by Warren Lindsey, for denial of an Appeal pursuant to City Code Section 58-94 (b) of the determination that the landscaping currently in place is in violation of a condition of approval for the redevelopment of the property granted by the Planning and Zoning Board on May 4, 2021 on Lake Virginia, zoned R-1AAA. In addition, the Planning & Zoning Board interpreted and clarified the landscaping condition of approval at issue as follows:

- **There shall be no vegetation or landscaping planted or maintained such that it grows and is not trimmed back to no taller than six feet in height located anywhere on the property from the edge of the rear of the single-family home going down to the water's edge of Lake**

Virginia.

The motion carried unanimously by a 6-0 vote. (Alex Stringfellow was absent from the meeting.)

5. Action Items

6. Non-Action Items

7. Staff Updates

Mrs. McGillis noted that the next scheduled work session would be canceled since it falls on Christmas Eve.

8. Board Comments

A brief discussion ensued about having a work session to discuss requiring a specific landscape plan for applications, determining standards or a clarification of what is considered a reasonable clear view of a lake, and being more specific with regard to the conditions of approval for applications.

9. Upcoming Agenda Items

10. Adjournment

The meeting adjourned at 7:30 p.m.

ATTEST:

/s/ Mary Bush, Recording Secretary



Planning & Zoning Board

agenda item 4.a

item type

Public Hearings (Public participation and comment on these matters must be in person.)

meeting date

January 7, 2025

prepared by

Nicholas Lewis, Planner II

approved by

John Harbilas, Senior Planner

subject

SPR #24-13. Request of Mark Nasrallah for approval to construct a new, two-story, 4,339 square-foot single-family home located at 1400 Elizabeth Drive on Lake Osceola, zoned R-1AAA.

motion | recommendation

Staff recommendation is for approval.

background

The applicant, Mark Nasrallah, on behalf of the homeowners, is requesting approval to construct a new, two-story, 4,399 square-foot single-family home located at 1400 Elizabeth Drive on Lake Osceola. The property is zoned R-1AAA and the unsubmerged portion of the property is 10,849 square feet in size. The proposed impervious lot coverage of 5,274 square feet is 48.6% of the total lot, which is under the maximum 50% as the code allows. The maximum Floor Area Ratio (FAR) for properties 12,500 square feet in size or less is 40% of the lot area. The applicant is proposing a 4,399 square-foot home which equates to a FAR of 40%, meeting this requirement.

The lot is assumedly difficult being a narrow, pie-shaped lot. The lot is only 90-feet wide at the front of the lot and then narrows to about 50-feet wide at the lakefront side. There is also affectively one neighbor as the property abuts a 30-foot strip of land owned by the City for utilities to the west and Elizabeth Drive dead-ends at the City-owned piece of land.

At 180-feet in depth, the 25-foot front setback and 71-foot lakefront setback take a significant amount of setback area and yields only 64-feet of depth for the buildable area of the lot. To help alleviate such a tight building pad, the applicant is requesting an 8-foot first-floor side setback and a 14.5-foot second-story side setback on the western side of the property, adjacent to the City-owned parcel, in lieu of the required setbacks of 12-feet and 16-feet respectively. The applicant has also pushed the design away from the neighbor to the east by an additional half-foot over the required side setbacks.

Additionally, the applicant is requesting a lakefront setback of 67-feet in lieu of the required 71-foot lakefront setback. As discussed further in the Views of the Neighbors portion of the staff report, the applicant amended their original site plan which met the 25-foot front setback and had a 62-foot lakefront setback, shifting the structure 5-feet away from the lake and towards the street. The result is that the lakefront request is now 67-feet, which is much closer to the average and the front setback is now 20-feet in lieu of the required 25-foot setback.

Lakefront Review Criteria:

Tree Preservation

The purpose and intent of the lakefront lots section of the code states that existing trees shall be preserved to the degree reasonably possible. No specimen trees are being removed as part of this request and therefore, the applicant meets this criterion.

Views from the Lake

The code direction is to minimize the height and extent of stem walls or retaining walls facing the lake. Generally, the policy does not permit walls/swimming pool decks facing the lake in excess of 3-feet in height. This plan complies with that provision. The lot is very flat and the proposed pool deck meets this requirement.

Traditional Views of Neighbors

The code direction is to minimize the degradation of traditional views across properties by new houses, additions, second-story additions, etc., alongside property lines toward the lake that may block traditional views of the neighbors.

The required lakefront setback is made up of the average of the two waterfront structures neighboring the lakefront property. In this instance the average of 71-feet is derived solely off the neighbor to the east. The neighbor to the west beyond the City-owned parcel has a significantly deeper lot and taking their lakefront setback into consideration would render the subject property unbuildable. The required setback for swimming pool areas is 50-feet.

The applicant is proposing a 67-foot lakefront setback to the structure and is proposing a 50-foot setback to the swimming pool. The pool meets the required minimum setback but the structure does not. The applicant's original request was for a 62-foot lakefront setback, which was 9-feet in front of the average. This original proposal also met the required 25-foot front setback. Based on conversations between the applicant, staff, and the neighbor, the applicant adjusted their site plan by shifting the structure 5-feet towards the street. The result is that the lakefront setback is much closer to the average at 67-feet to the closest point and 68.5-feet from the corner adjacent to the neighbor to the east while the applicant is able to keep the desired footprint within the restrictive building pad. The resulting 20-foot front setback in lieu of the required 25-foot front setback by only a portion of the side loaded garage meets this setback and the carport from the previous structure had a 20-foot front setback.

Stormwater Retention

The code requires the retention of stormwater. The amount of impervious surface on the lot determines the needed depth/size of the retention. In this case, the applicants are proposing multiple swale retention areas on the property to meet the required stormwater storage. The two proposed lakefront swales are also located to avoid damage to the two large specimen cypress trees along the lakefront portion of the property.

Summary

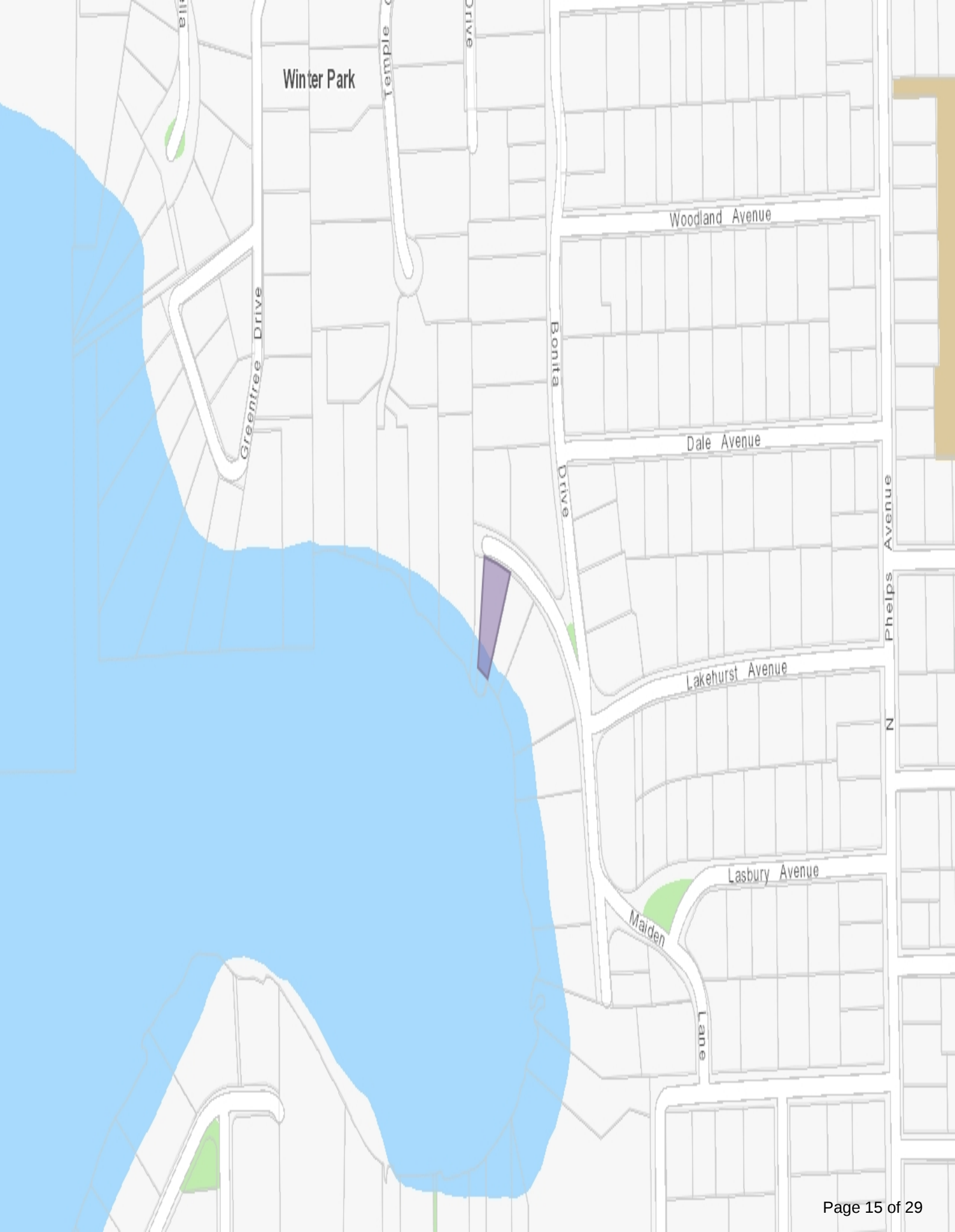
Overall, the the plans meet the intent of the lakefront review criteria and the requested variances are in line with the four lakefront review criteria.

alternatives | other considerations

fiscal impact

attachments

1. 1400 Elizabeth Drive - Area Map
2. 1400 Elizabeth Drive - Aerial Map
3. 1400 Elizabeth Drive - Lakefront Table
4. 1400 Elizabeth Drive - Survey
5. 1400 Elizabeth Drive - Site Plan
6. 1400 Elizabeth Drive - Plan Set
7. 1400 Elizabeth Drive - Neighbor Non Objection





Lakefront Site Plan Review: 1400 Elizabeth Drive

	R-1AAA Requirements	Existing	Proposed
Zoning	N/A	R-1AAA	R-1AAA
Future Land Use	N/A	SFR	SFR
Lot Width	150 ft.	80 ft.	80 ft.
Lot Depth	N/A	150 ft. (avg.)	150 ft. (avg.)
Lot Area	25,000 sf	10,849 sf	10,849 sf
Floor Area Ratio	40% (4,339 sf)	-	40% (4,339 sf)
Impervious Lot Coverage	50% (5,424 sf)	-	48.6% (5,274 sf)
Front Setback	25 ft.	25 ft.	20 ft.
Side Setbacks (1st floor/2nd floor)	12 ft./16 ft.	0 ft./-- ft. (east) 9.2 ft./-- ft. (west)	12.5 ft./16.5 ft. (east) 8 ft./14.5 ft. (west)
Lakefront Setbacks	71 ft. (avg.) /50 ft. (min.)	82 ft.	67 ft.

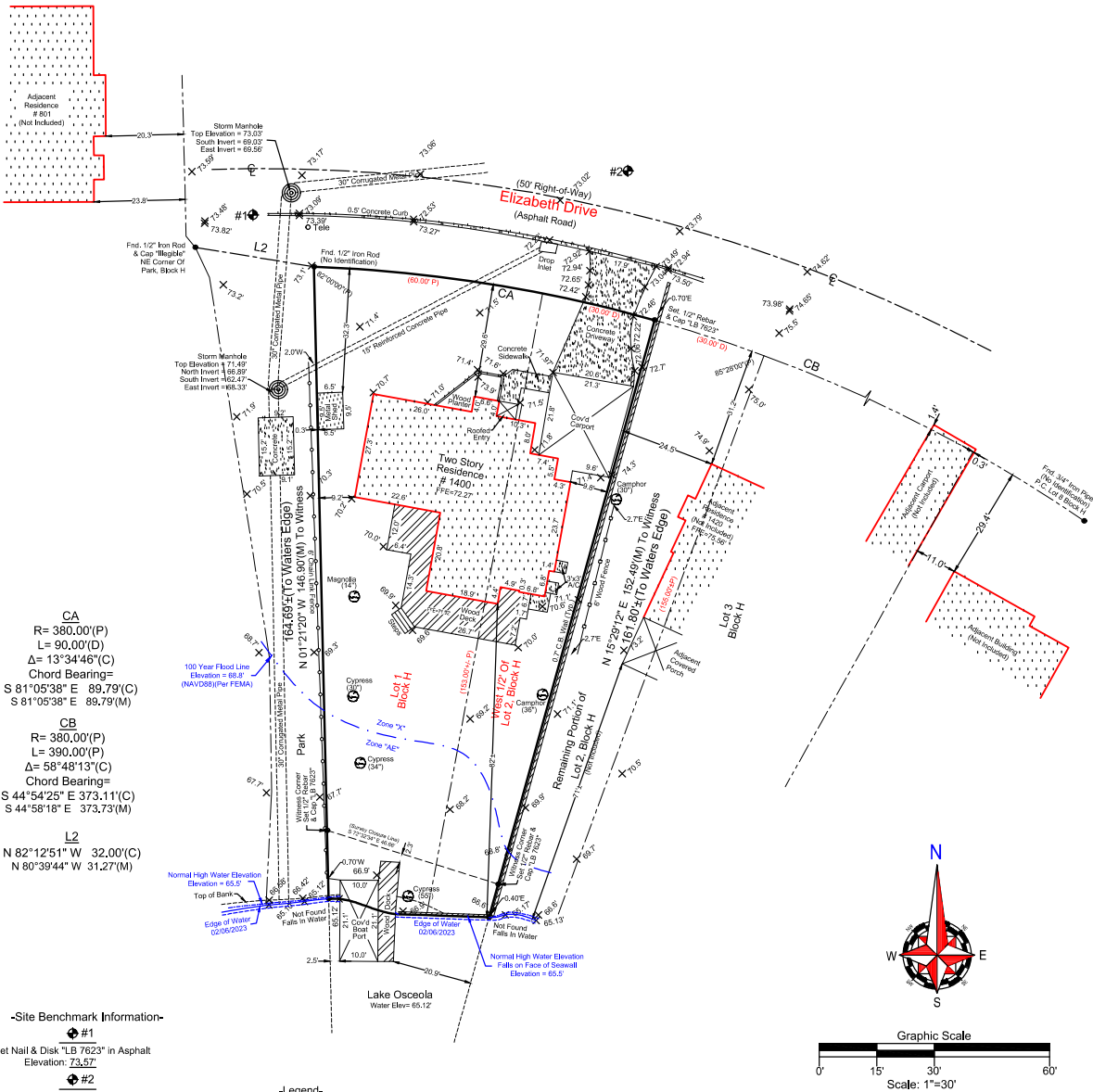
Boundary Survey

Legal Description:

LOT 1, THE WEST 1/2 OF LOT 2, BLOCK H, COMSTOCK PARK, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK K, PAGE 87, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

BY PERFORMING A SEARCH WITH THE LOCAL GOVERNING MUNICIPALITY OR WWW.FEMA.GOV, THE PROPERTY APPEARS TO BE LOCATED IN ZONE X500 AE X. THIS PROPERTY WAS FOUND IN CITY OF WINTER PARK, COMMUNITY NUMBER 120188, DATED 2014-03-07.

CERTIFIED TO:
Z PROPERTIES



-Site Benchmark Information-

#1
Set Nail & Disk "LB 7623" in Asphalt
Elevation: 73.57'

#2
Set Nail & Disk "LB 7623" in Asphalt
Elevation: 73.88'

-Benchmark Information-

Orange County Datum
Benchmark No. L1161004
Benchmark Elevation: 94.21'
(Elevations are based upon NAVD 88 Datum)

-Legend-

Tree Note
Cypress - Denotes Tree Type
(12") - Diameter of Tree measured at Chest Height

Note:
All Bearings Shown
Hereon Are Assumed

Revision: Revised Normal High Water Line - 08/26/24 - AWW
Revision: Adjusted 100 Year Flood - 03/11/24 - AWW
Revision: Revised Trees - 05/09/23 - BMJ
Revision: Added Additional Dimensions - 03/06/23 - AWW
Revision: Added Adjacent Setbacks - 02/16/23 - AWW

Field Date: 02/06/23 Date Completed: 02/10/23
Drawn By: SMT File Number: IS-114330

Legend	
C	- Calculated
CB	- Centerline
CM	- Concrete Block
Conc.	- Concrete
DE	- Description
Drainage	- Drainage Easement
Easmt.	- Easement
F.E.M.A.	- Federal Emergency Management Agency
FFE	- Finished Floor Elevation
Find.	- Found
IP	- Iron Pipe
L	- Length (Arc)
M	- Measured
N&D	- Nail & Disk
N.R.	- Non-Radial
ORB	- Official Records Book
P	- Plat
P.B.	- Plat Book
W	- Wood Fence
PC	- Point of Curvature
Pg.	- Page
PI	- Point of Intersection
P.O.B.	- Point of Beginning
P.O.L.	- Point on Line
PP	- Power Pole
PRM	- Permanent Reference Monument
PT	- Point of Tangency
R	- Radius
Rec.	- Recovered
R&C	- Rebar & Cap
Reb.	- Rebar
Rfd.	- Roofed
Set	- Set 1/2" Rebar & Cap "LB 7623"
Typ.	- Typical
UE	- Utility Easement
WM	- Water Meter
WM	- Delta (Central Angle)
—O—	- Chain Link Fence

-Notes-
>Survey is Based upon the Legal Description Supplied by Client.
>Abutting Properties Deeds have NOT been Researched for Gaps, Overlaps and/or Hiatus.
>Subject to any Easements and/or Restrictions of Record.
>Bearing Basis shown hereon, is Assumed and Based upon the Line Denoted with a "BS".
>Building Ties are NOT to be used to reconstruct Property Lines.
>Fence Ownership is NOT determined.
>Roof Overhangs, Underground Utilities and/or Footers have NOT been located UNLESS otherwise noted.
>Septic Tanks and/or Drainfield locations are approximate and MUST be verified by appropriate Utility Location Companies.
>Use of This Survey for Purposes other than Intended, Without Written Verification, Will be at the User's Sole Risk and Without Liability to the Surveyor. Nothing Hereon shall be Construed to give ANY Rights or Benefits to Anyone Other than those Certified.
>Flood Zone Determination Shown Hereon is Given as a Courtesy, and is Subject to Final Approval by F.E.M.A. This Determination may be affected by Flood Factors and/or other information NEITHER known by NOR given to this Surveying Company at the time of this Endeavor.
Ireland & Associates Surveying Inc. and the signing surveyor assume NO Liability for the Accuracy of this Determination.

I hereby Certify that this Boundary Survey of the above Described Property is True and Correct to the Best of my Knowledge and Belief as recently Surveyed under my Oath on the Date Shown. Based on Information Furnished to Me as Noted and Conforms to the Standard of Practice for Land Surveying in the State of Florida in accordance with Chapter 54-17.052 Florida Administrative Codes, Pursuant to Section 472.027 Florida Statutes.

Patrick K. Ireland, P.S., P.L., P.S.W. 6637, LB 7623
This Survey is intended ONLY for the use of Said Certified Parties.
This Survey NOT VALID UNLESS signed and Embossed with Surveyor's Seal.
Ireland & Associates Surveying, Inc.
800 Currency Cir, Suite #1020
Lake Mary, Florida 32746
www.irelandsurveying.com
Office-407.678.3366 Fax-407.320.8165

☑ NDS 12"x12" Drain box
 ⊕ TOW = top of wall elevation
 ⊖ BOW = bottom of wall elevation
 TOS = top of swale
 BOS = bottom of swale
 HP = High point
 → Drainage arrow indicates direction of flow for surface water runoff
 1160 = Proposed contour
 - 1166 = Existing contour



TOTAL FRONT YARD AREA	100%	2,165 SQ FT
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DRIVEWAY AREA	37.9%	821 SQ FT
GREEN SPACE	62.1%	1,344 SQ FT

BACK YARD IMPERVIOUS

TOTAL BACK YARD AREA	100%	2,425 SQ FT
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3' WIDE WALKWAY	4.3%	104 SQ FT
GREEN SPACE	95.7%	2,321 SQ FT

AREA SUMMARY

TOTAL LOT AREA	100%	10,849 SQ FT
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DRIVEWAY, WALKS, AND WALLS 1,449 SQ FT

POOL AND POOL DECK	941 SQ FT
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AREA 1ST FLOOR 2,884 SQ FT

TOTAL IMPERVIOUS	48.6%	5,274 SQ FT
TOTAL PERVIOUS	51.4%	5,575 SQ FT

STORMWATER RETENTION CALCULATIONS:

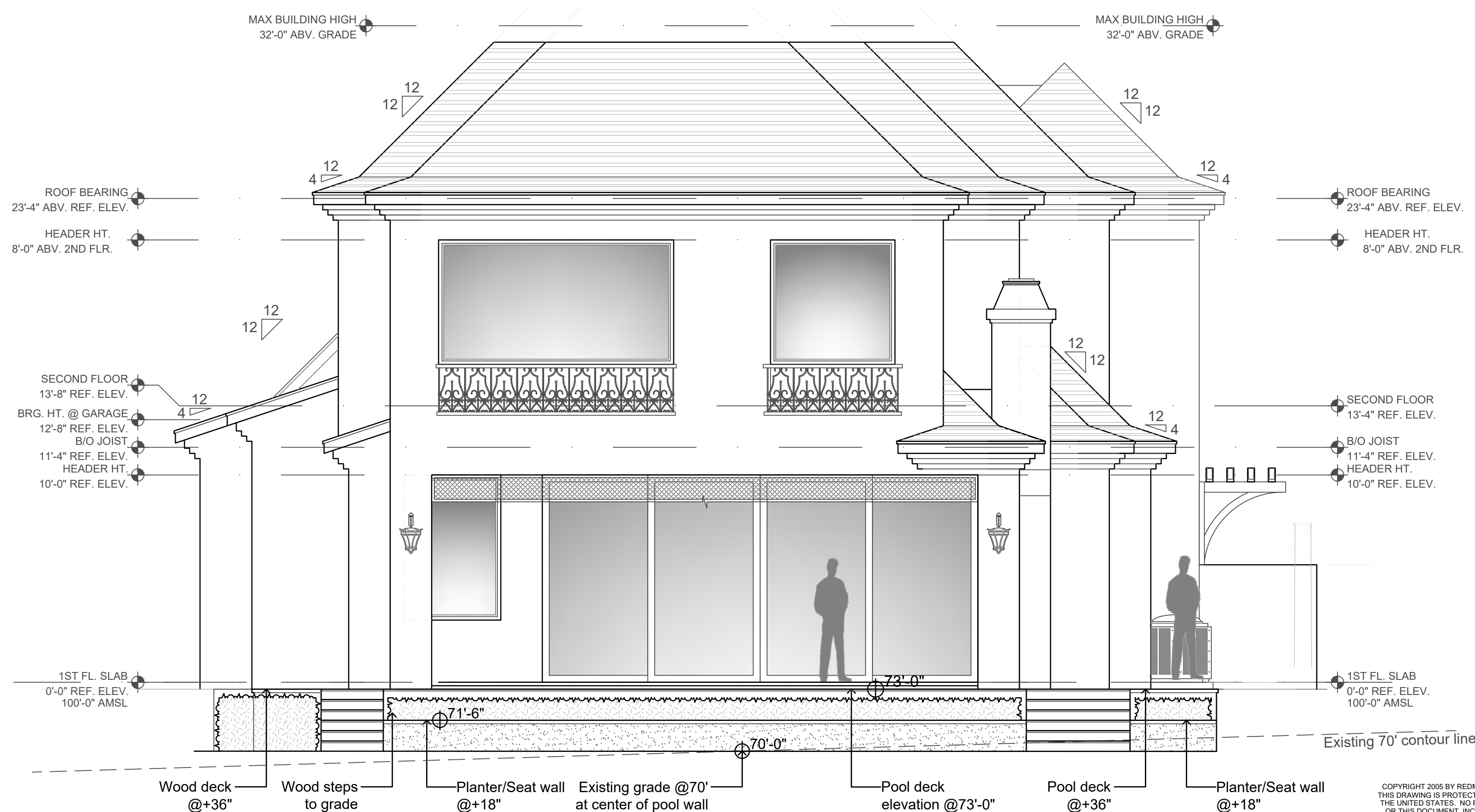
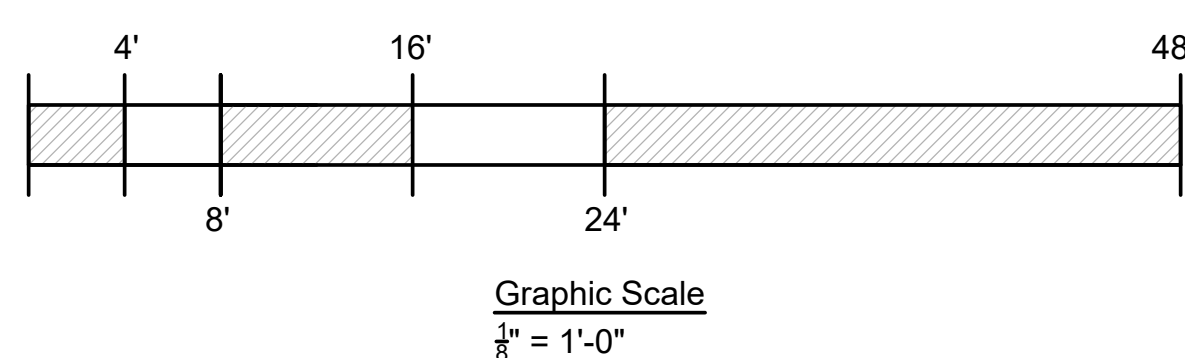
Retention Breakdown
 1" (.083') x 5,383 sq. ft. (impervious area) =
446 CU. FT. ADDITIONAL REQUIRED RETENTION

$$\frac{\text{Retention Area \#1}}{378 \text{ sq.ft. } 8" (.66')} = 249 \text{ cu.ft.}$$

Retention Area #2 =
112 sq ft @ 8" (.66') = 74 cu. ft.

$$\frac{\text{Retention Area \#3}}{404 \text{ sq ft @ } 6" (0.5')} = 202 \text{ cu. ft.}$$

= 525 TOTAL CU. FT. PROVIDED



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Maitland, FL
32751

Revisions	
Date	By
11/01/24	BG
11/12/24	BG
11/15/24	BG
12/2/24	BG
12/16/24	BG
12/17/24	BG

Leavitt Residence
Grading and Drainage Plan
1400 Elizabeth Drive, Winter Park, FL

10/29/2024
Date

1/8" = 1'-0"
Scale

S. REDMON
Designed By

A. Fabi
Drawn By

Job #

Shee

LA-1)

Of 1 Sheets

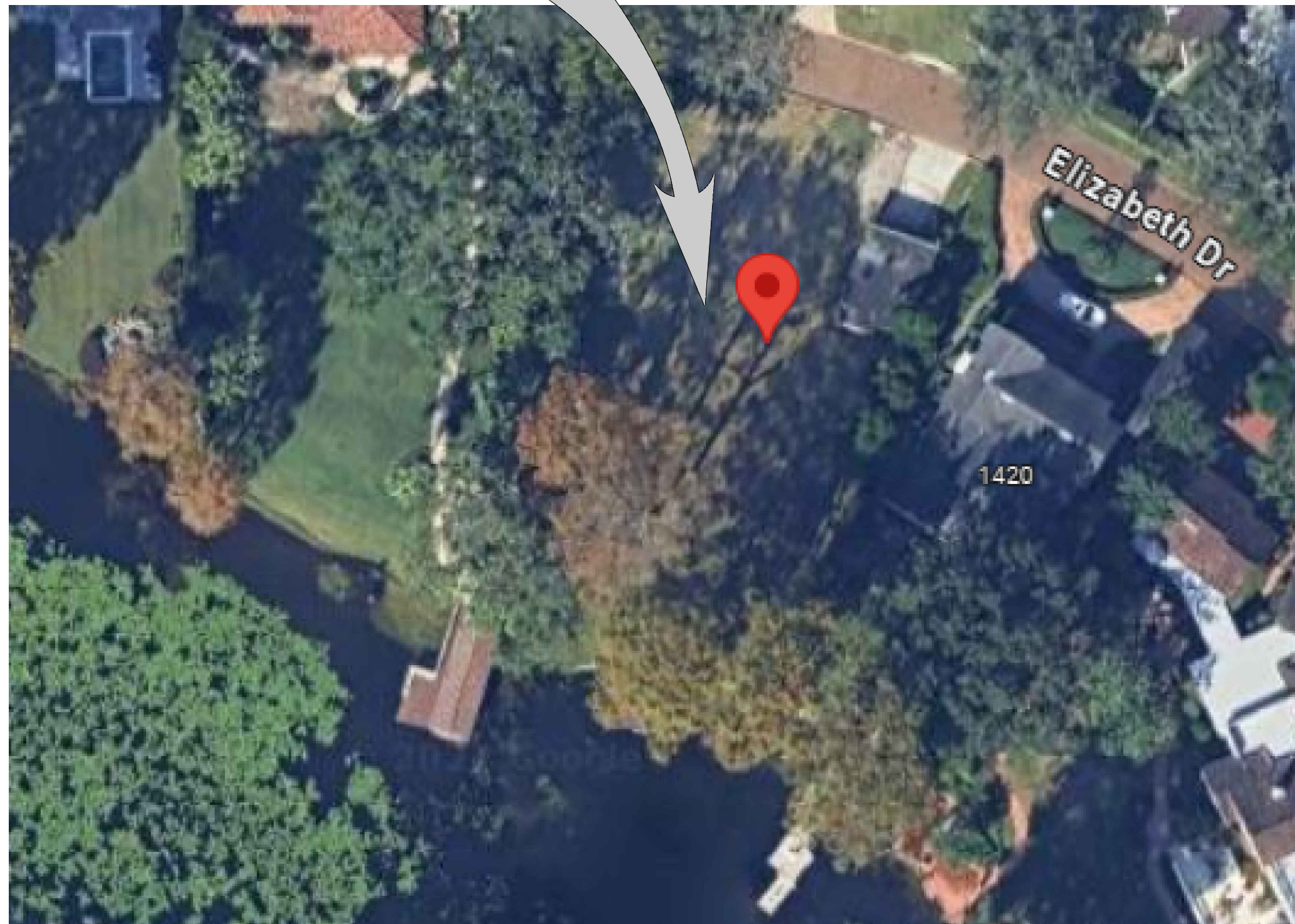
A Custom Residence for the: The Leavitt Family

1400 Elizabeth Dr
Winter Park, Florida

DRAWING INDEX		
REVISION	SHEET NO.	DESCRIPTION
		GENERAL NOTES
	A0.1	COVER SHEET, DRAWING INDEX, PROJECT TEAM
	A0.2	CODE INFORMATION, GENERAL NOTES
		LANDSCAPE ARCHITECTURE
	LA-1	GRADING AND DRAINAGE PLAN
	LA-2	HARDSCAPE PLAN
	LA-3	HARDSCAPE PLAN
		SITE PLAN
	SP1.1	SITE PLAN
		ARCHITECTURAL
	A1.0	OVERALL FLOOR PLANS / AREA CALCULATIONS
	A1.1	FIRST FLOOR PLAN
	A1.2	SECOND FLOOR PLAN
	A2.1	ROOF PLAN
	A3.0	OVERALL ELEVATIONS
	A3.1	ELEVATIONS - FRONT / RIGHT SIDE
	A3.2	ELEVATIONS - REAR / LEFT SIDE
	A4.1	BUILDING SECTIONS
	A4.2	STAIR DETAIL

REVISION	SHEET NO.	DESCRIPTION
	A6.1	WINDOW & DOOR DETAILS
	A6.2	WINDOW & DOOR DETAILS
	A7.1	WALL SECTIONS
	A7.2	WALL SECTIONS / CHIMNEY SECTION
		ELECTRICAL
	MEP0.1	GENERAL ELECTRICAL / MECH. / PLUMBING NOTES
	E1.1	FIRST FLOOR POWER AND LIGHTING PLAN
	E1.2	SECOND FLOOR POWER AND LIGHTING PLAN
		STRUCTURAL
	S.0	NOTES AND SCHEDULES
	S.1	FOUNDATION PLAN
	S.2	LOW ROOF AND FLOOR FRAMING PLAN
	S.3	HIGH ROOF FRAMING PLAN
	L1	LINTEL PLAN
	SN	NOTES AND SCHEDULES
	D1	FOUNDATION DETAILS
	D2	FRAMING DETAILS
	D3	FRAMING DETAILS
	D4	FRAMING DETAILS

PROJECT SITE

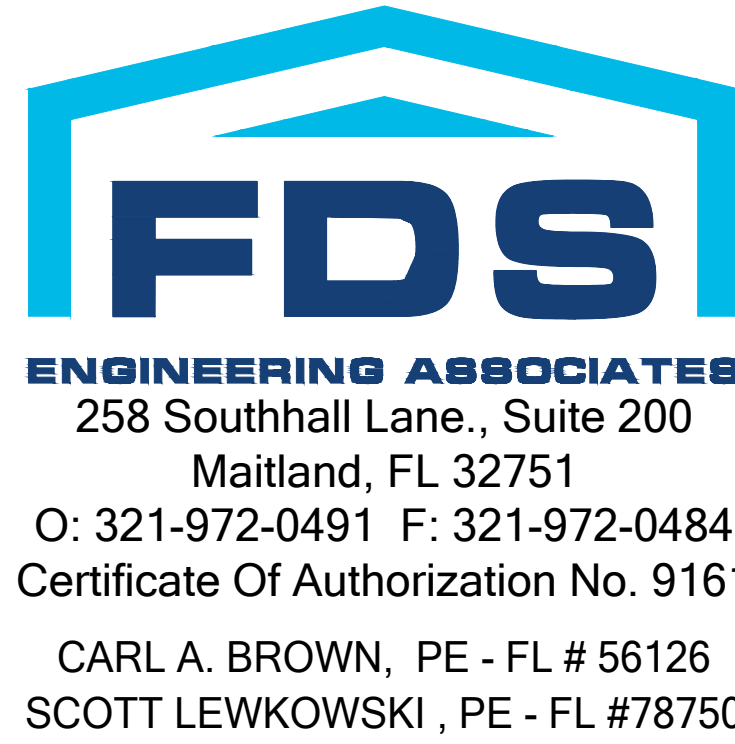


BUILDER

LANDSCAPE ARCHITECT

STRUCTURAL ENGINEER

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1400 Elizabeth Dr
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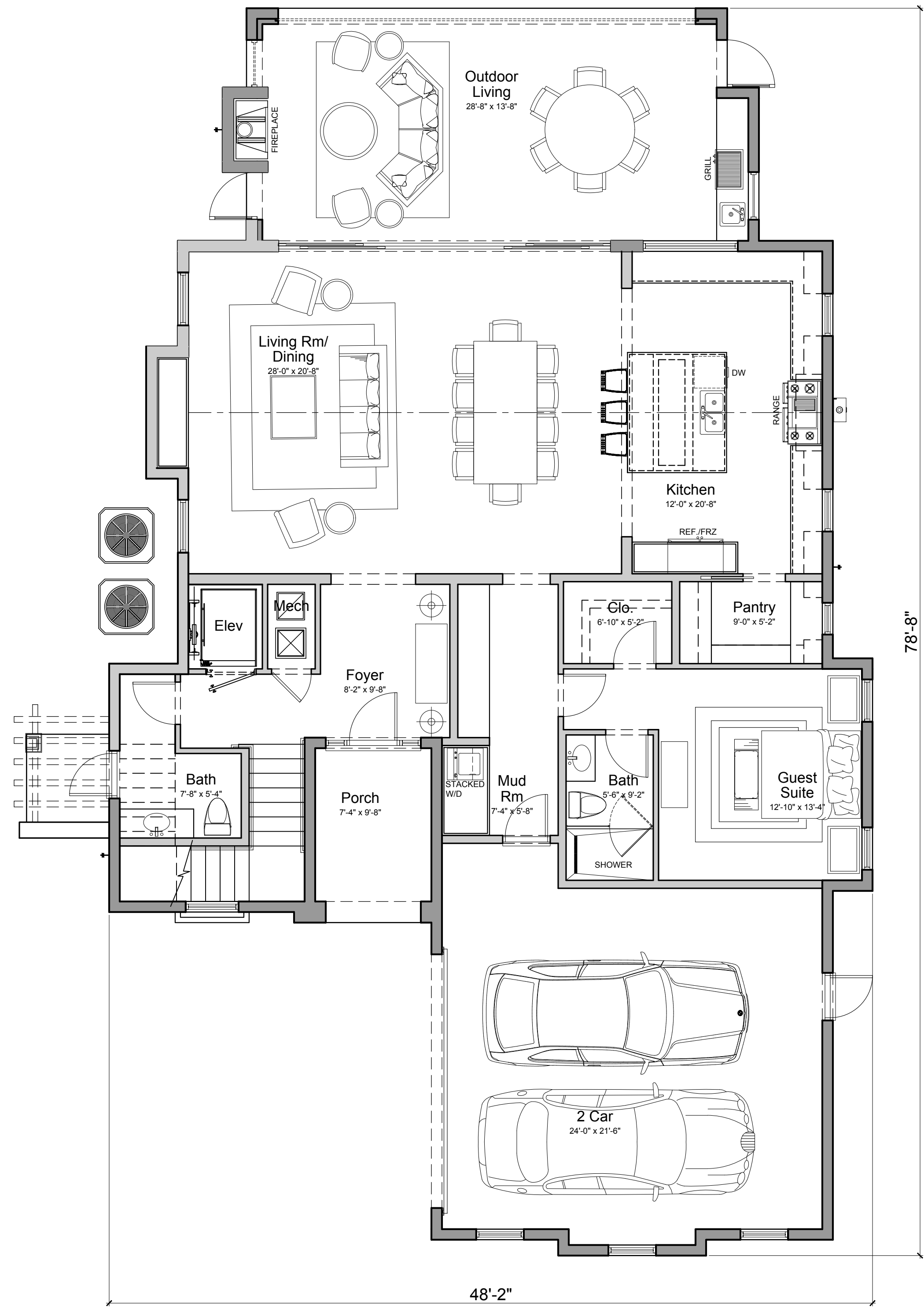
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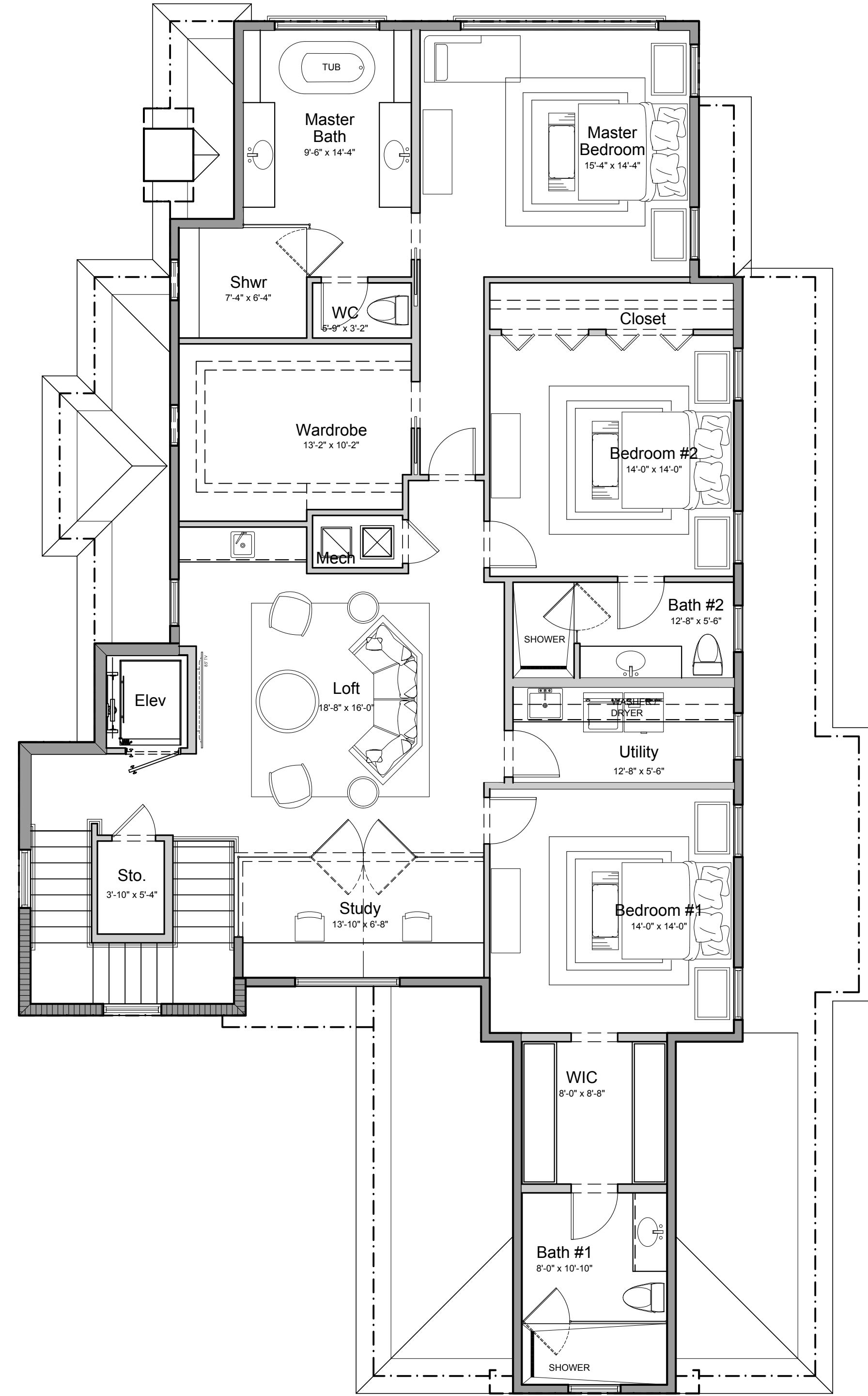
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1 OVERALL - FIRST FLOOR PLAN
A1.0 SCALE: 3/16" = 1' - 0"



2 OVERALL - SECOND FLOOR PLAN
A1.0 SCALE: 3/16" = 1' - 0"

BUILDING AREA CALCULATIONS			
	CONDITIONED AREA	NON-CONDITIONED AREA	
FIRST FLOOR			
MAIN HOUSE	1735		
GARAGE		593	
COVERED PORCH		80	
COVERED LANAI (OUTDOOR LIVING)		472	
SECOND FLOOR			
MAIN HOUSE	2042		
AREA SUBTOTALS	3,777 SF	1,145 SF	
TOTAL AREA UNDER ROOF			4,922 SF
TOTAL CONSTRUCTED AREA			4,922 SF

FAR SUMMARY			
City of Winter Park			
LOT AREA	10,849	S.F.	
MAX FAR = 40% BASE LOT AREA	4,339	S.F.	
TOTAL UNDER ROOF	4,339	S.F.	
BONUS RM (MAX 3% FAR)	130	S.F.	
COVERED LANAI (0 S.F. actual less 500 s.f. excluded)	0	S.F.	
COVERED ENTRY (0 S.F. actual less 400 s.f. excluded)	0	S.F.	
TOTAL FAR AREA	4,469	S.F.	

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SHEET NO

A Custom Residence For:
The Leavitt Family
1400 Elizabeth Dr
Winter Park, Florida

DATE

DESIGNED BY

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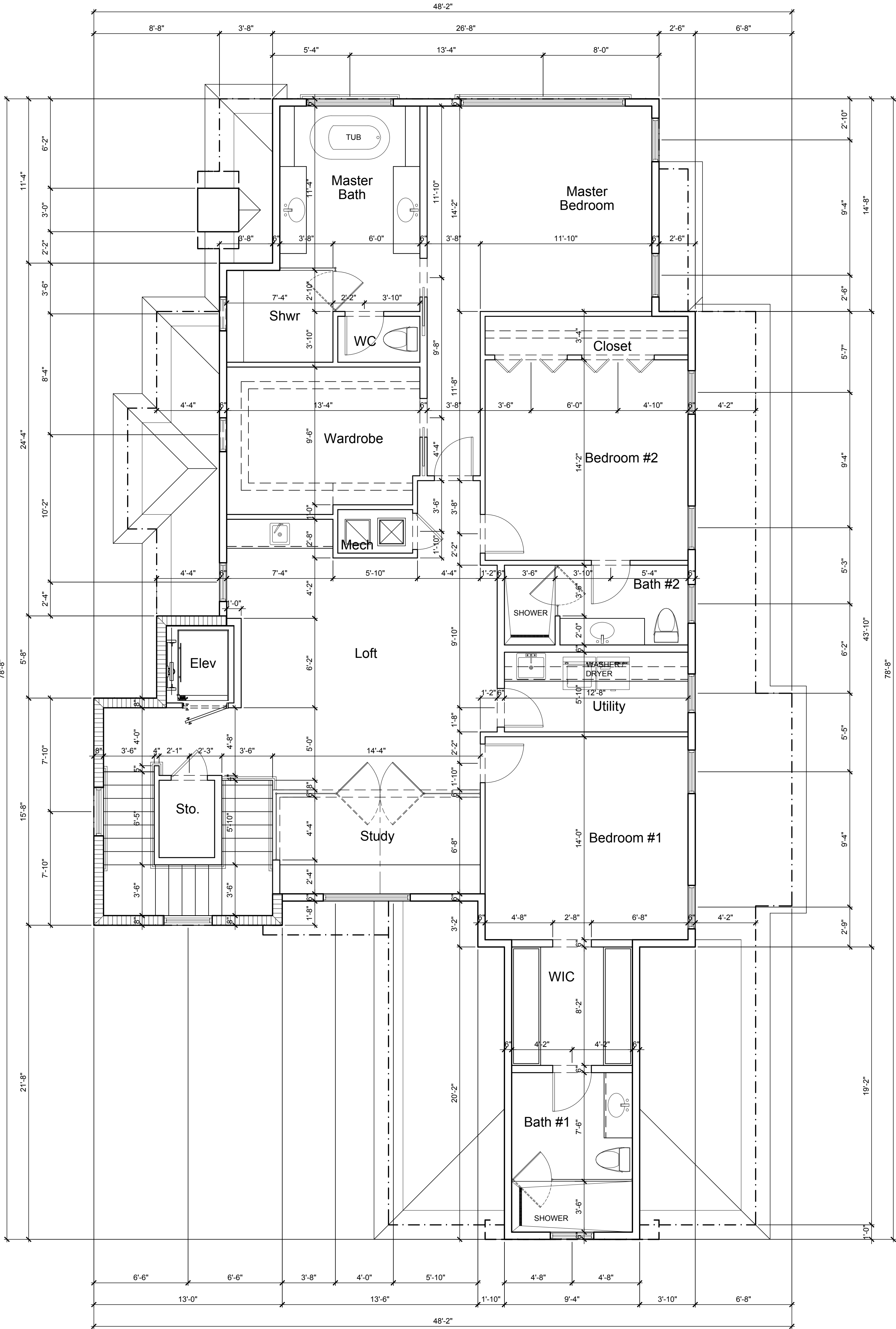
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Fla. Reg. AR 0008136
Page 22 of 29



2 SECOND FLOOR PLAN

SCALE: 1/4" = 1' - 0"

FLOOR PLAN TYPICAL NOTES:

- GENERAL:
VERIFY FINISH FLOOR ELEVATIONS W/ LANDSCAPE, GRADING, AND DRAINAGE PLANS.
ALL EXTERIOR WINDOWS & DOORS ARE DIMENSIONED TO CENTER LINE U.N.O.
ALL GLAZING IN HAZARDOUS LOCATIONS AS IDENTIFIED BY FBC R308.4 TO BE SAFETY GLAZING IN ACCORDANCE WITH THE REQ. OF FBC R308.3.1
ALL HANDRAILS AND GUARD RAILS TO BE 36" AFF U.N.O. W/ VERTICAL PICKETS/BALUSTRADES SPACED SO AS TO NOT ALLOW THE PASSAGE OF A 4" SPHERE. PROVIDE TOE RAILING AS REQD. MAX 2" A.F.F. COORD. FINAL MATERIAL, DESIGN, AND FINISH WITH ID/OWNER. HANDRAILS AND GUARDS MUST COMPLY WITH THE REQUIREMENTS OF THE FBC R311.7.8 HANDRAILS (STAIRS), R311.8.3 HANDRAILS (RAMPS), R312 GUARDS.
PROVIDE 1" CLEARANCE BETWEEN FIREPLACE AND MASONRY WALL AND 2" MIN. CLEAR SPACE BETWEEN FIREPLACE AND FRAME WALL, AND 2" MIN. CLEAR SPACE BETWEEN FLUE AND CHIMNEY FRAMING. COORD. WITH FIREPLACE & FLUE MANUF. FOR ADDITIONAL REQ. OR SPECS. FBC R1001.1.1, R1003.1B
PROVIDE METAL THRESHOLD (MT) AT DOORS LEADING TO THE GARAGE, ELEVATOR DOOR AND ALL EXTERIOR DOORS, TYP. U.N.O.
COORDINATE ATTIC ACCESS LOCATIONS W/ FINAL TRUSS LAYOUT
SEE STRUCTURAL DRAWINGS FOR ALL LOAD BEARING WALL, COLUMN AND FILLED CELL LOCATIONS.
EXTEND SLAB EDGE @ DOORS 1 1/2" TYP. BEYOND STEM WALL
ALL INTERIOR FACE OF DOOR JAMBS TO BE A MINIMUM OF 6" OFF ADJOINING WALL FOR TRIM, CORD. W/ ID/OWNER. TYPICAL. U.N.O.
PROVIDE A 6" WALL AT ALL W.C. & VENT AT ALL WASHER & DRYER LOCATIONS. V.T.E CLOTHES DRYER SHOULD COMPLY WITH FBC R M1501
VERIFY ELECTRIC AND A/C CHASE LOCATIONS W/ ELECTRICAL AND MECHANICAL CONTRACTOR. COORD. W/ CABINETRY PACKAGE.
VERIFY APPLIANCES W/ CABINETRY PACKAGE.
FOR WALLS THAT ABUT NON-CONDITIONED SPACE USE FIBERGLASS BACKED DRYWALL
FOR WALLS THAT ARE IN DIRECT CONTACT WITH AREAS OF HIGH MOISTURE/HUMIDITY (BATHROOMS & UTILITY-LAUNDRY ROOMS): USE FIBERGLASS BACKED DRYWALL
FOR WALLS AND CEILING AT A TUB/SHOWER USE CEMENT BOARD SHEATHING W/ TILE FINISH AS SELECTED BY OWNER.
SITE:
MECHANICAL SCREEN WALLS: T.O. WALL TO BE 5'-0" (IF REQD BY HOA OR AHJ) ABOVE FINAL GRADE. VERIFY FINAL GRADING WITH GRADING PLANS.
SEE FOUNDATION PLAN FOR RETAINING WALL DIMENSIONS. SEE LANDSCAPE ARCHITECT'S DRAWINGS FOR WALL HEIGHT ABOVE GRADE.
REFER TO LANDSCAPE PLANS FOR POOL LOCATION.
COORDINATE GUTTER DOWNSPOUT LOCATIONS W/ LANDSCAPE CONSULTANT.

FLOOR PLAN KEY NOTES:

- A: APPLIANCES
A1 WASHER
A2 DRYER - VENT TO EXTERIOR
A3 REFRIG./FREEZER - SEE ID/OWNER APPLIANCE PACKAGE- VERIFY ELEC. REQ. WITH SELECTION, COORD. WITH CABINETRY CONSULTANT
A4 48" TO 60" GAS STOVE/OVEN - FINAL SIZE TBD - W/ HOOD AND EXHAUST FAN, V.T.E. COORD. EXHAUST FAN OPENING THROUGH MASONRY WALL - VERIFY FINAL OPENING HEIGHT AND DIAMETER WITH HOOD AND EXHAUST FAN SPECS. INSTALL PER MFR'S WRITTEN INSTRUCTIONS. COORD. W/ ID/OWNER
OR 48" TO 60" GAS STOVE/OVEN W/ HOOD V.T.E. - KITCHEN HOOD FLUE VENT, 2" MIN. CLEARANCE TO COMBUSTIBLES. SEE MFR'S WRITTEN INSTRUCTIONS.
A5 DISHWASHER - COORD. WITH CABINETRY CONSULTANT & OWNER FOR FINAL LOCATION. - SEE PLUMBING NOTES, SEE ELECTRICAL KEY NOTES.
A6 UNDER COUNTER REFRIGERATOR - SEE ID/OWNER APPLIANCE PACKAGE- VERIFY ELEC. REQ. WITH SELECTION, COORD. WITH CABINETRY CONSULTANT
A7 STACK OVEN - COORD. WITH OWNER/ CABINETRY CONSULTANT FOR SINGLE OR DOUBLE OVEN.
A8 GAS GRILL (SIZE TBD) - PROVIDE EXHAUST HOOD. V.T.E. COORD. WITH ID/OWNER & CABINETRY CONSULTANT.
A9 UNDER COUNTER ICE MAKER(SIZE TBD)
A10 CENTRAL VACUUM SYSTEM - COORD. WITH OWNER & CONTRACTOR.
B: BATH SHOWER
NOTE: SEE ALSO, PLUMBING BELOW.
PROVIDE CEMENT BOARD SHEATHING AND HYDRO BAN WATERPROOFING AT ALL TUB/SHOWER AND WET AREAS W/ TILE FINISH @ WALLS AND CEILING. COORD. FINISH W/ ID/OWNER
B1 COORD. FINAL SHOWER HEAD LOCATION, TYPE AND QUANTITY WITH ID/OWNER. ALSO, COORD. LOCATION AND SIZE OF ANY WALL NICHE, TOWEL BAR, OR SHELF. V.I.F. W/ OWNER.
B2 RECESS SHOWER SLAB 6" AT FIRST FLOOR U.N.O. ROLL-IN SHOWER SLOPE TO FLOOR DRAIN. OR PROVIDE 4" HIGH CURB. VIF WITH ID/OWNER.
B3 PROVIDE TEMP. GL. DOOR / ENCLOSURE.
B4 SOFFIT AT 8'-0". VERIFY HEIGHT WITH ID/OWNER.
B5 PROVIDE RAISED TUB-DECK W/ ACCESS AND VENTILATION TO SPA MOTOR PER MFR.'S WRITTEN INSTRUCTIONS. COORD. W/ ID PACKAGE/ OWNER.
B6 SEAT
B7 TILE SHELF
B8 PROVIDE SHOWER VALVE ACCESS PANEL. COORD. WITH ID/ OWNER.
E: ELECTRICAL
E1 ALLOW FOR ELEC. CHASE TO KITCHEN ISLAND. SEE ELECTRICAL NOTES ON ELECTRICAL SHEETS.
F: FIRE RATING/ FIRE SAFETY (SEE SHT. A0.2) & OPENING PROTECTION
F1 FBC R302.5 OPENING PROTECTION. SEE FIRE RATING NOTES.
F2 FBC R302.6 SEPARATION REQUIRED. SEE FIRE RATING NOTES.
F3 CMU WALL. PROVIDE MIN. EQUIVALENT FIRE SEPARATION PER FBC R TABLE R302.6. SEE FIRE PROOFING NOTES.
F4 FBC R302.7 UNDER STAIR PROTECTION. SEE FIRE RATING NOTES.
F5 ESCAPE AND RESCUE OPENING. MUST MEET REQUIREMENTS OF FBC R 310.
F6 PROVIDE 1/2" TYPE 'X' DRYWALL TO THE CEILING OF THE GARAGE UNDER THE LIVING UNIT ABOVE PER FBC R302
F7 OPENING PROTECTION NOT REQUIRED - GRADE/AND/OR SURFACE EXISTS WITHIN 72" OF WDW SILL OR THE WDW SILL IS A MINIMUM OF 24" ABOVE THE FINISHED FLOOR FBC R312.2.1
G: GENERAL
G1 ALL GLAZING IN HAZARDOUS LOCATIONS AS IDENTIFIED BY FBC R308.4 TO BE SAFETY GLAZING IN ACCORDANCE WITH THE REQ. OF FBC R308.3.1.
G2 BUILT-IN UNIT
A. ENTERTAINMENT CENTER
B. BUILT-IN UNIT ENCASES WINDOW.
C. PARTITION
G3 ROD AND SHELF. COORD. WITH OWNER/ ID.
G4 48" ISOKERN PREFAB FIREPLACE SET ON SLAB WITH SURROUND AS SELECTED BY OWNER. FOR TV INSTALLATIONS ABOVE FP OPNG. PROVIDE A MANTEL (HEAT DEFLECTOR) OR RECESSES TV NICHE MIN. 6" FOR HEAT DEFLECTION.
G5 VENTING: ECO-STEEL (WOOD) / BVETTO (GAS ONLY). - VERIFY W/ OWNER_ID_GC
GUARD AND DECORATIVE HANDRAILING SYSTEM 36" AFF W/ 1-1/2" DIA. TOP-HANDRAIL. SEE FLOOR PLAN TYPICAL NOTES. FINAL MATERIAL, DESIGN, AND FINISH WITH OWNER/ ID.
G6 HANDRAIL. 1 1/2" DIA. HANDRAIL 36" AFF.
G7 SCREEN DOOR. 3'-0" X 6'-8" V.I.F.
G8 RETRACTABLE SCREEN. SEE DETAILS.
G9 POWDER COATED ALUMINUM FENCE AND GATE. PAIR 2'-6" X 5'-0". VERIFY WITH OWNER. COURTYARD WALL. SEE SITE DRAWINGS. SEE STRUCTURAL DRAWINGS.
M: MECHANICAL
M1 A/C COMPRESSOR. COORD. W/ MECH. CONTRACTOR
M2 AIR HANDLING UNIT. COORD. W/ MECH. CONTRACTOR. SEE HVAC GENERAL NOTES ON SHEET MEP P.1.
A. HORIZONTAL UNIT IN ATTIC/SOFFIT
B. HORIZONTAL UNIT SUSPENDED FROM CEILING
M3 POOL EQUIPMENT. COORD. WITH POOL CONTRACTOR
M4 MECHANICAL DUCT CHASE.
M5 ATTIC ACCESS
A. 22" X 54" w/ PULL DOWN STAIR
B. 30" x 54" w/ PULL DOWN STAIR (V.I.F. & TRUSS LAYOUT)
C. 22" x 30" ACCESS (NO EQUIPMENT)
D. 22" x 30" (EQUIPMENT ACCESS FBC R M1305.1.3)
M6 MECHANICAL SCREENS: PROVIDE LANDSCAPE SCREEN PER AHJ.
P: PLUMBING
P1 SINK WITH DISPOSAL. COORD. FINAL LOCATION OF MAIN KITCHEN SINK WITH ID/OWNER.
P2 18" SINK
P3 LAUNDRY TUB
P4 TANKLESS GAS WATER HEATER.
P5 HOSE BIB. V.I.F. COORD. PROJECTION FROM WALL WITH FINAL WALL FINISH.

LEAVE OPEN SPACE FOR DIGITAL SIGNATURE

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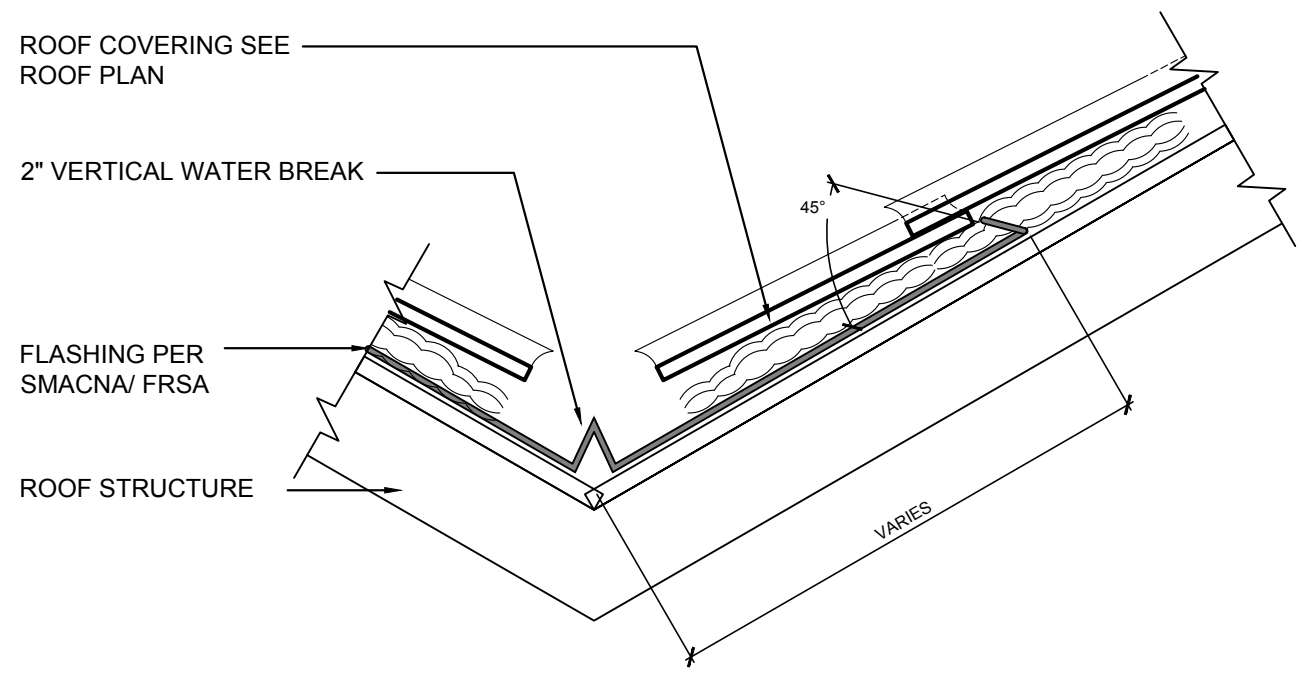
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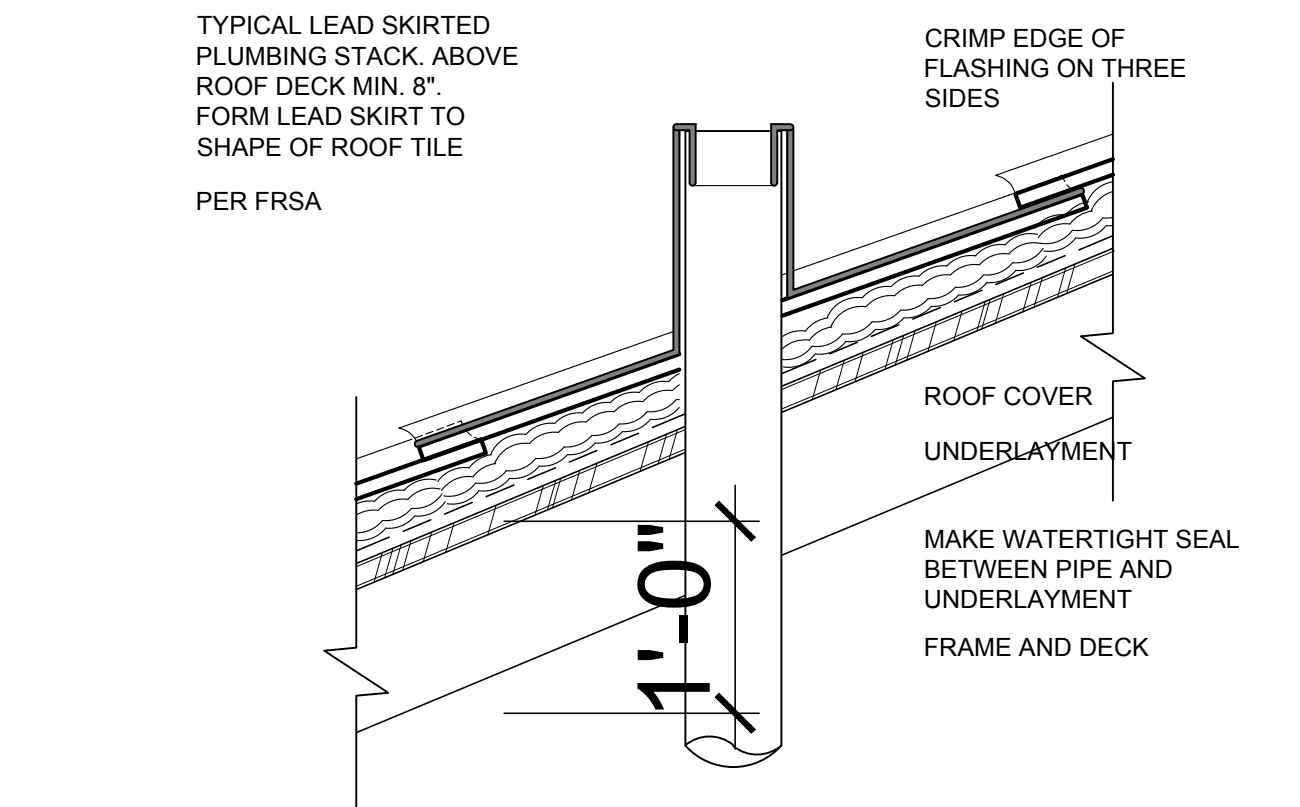
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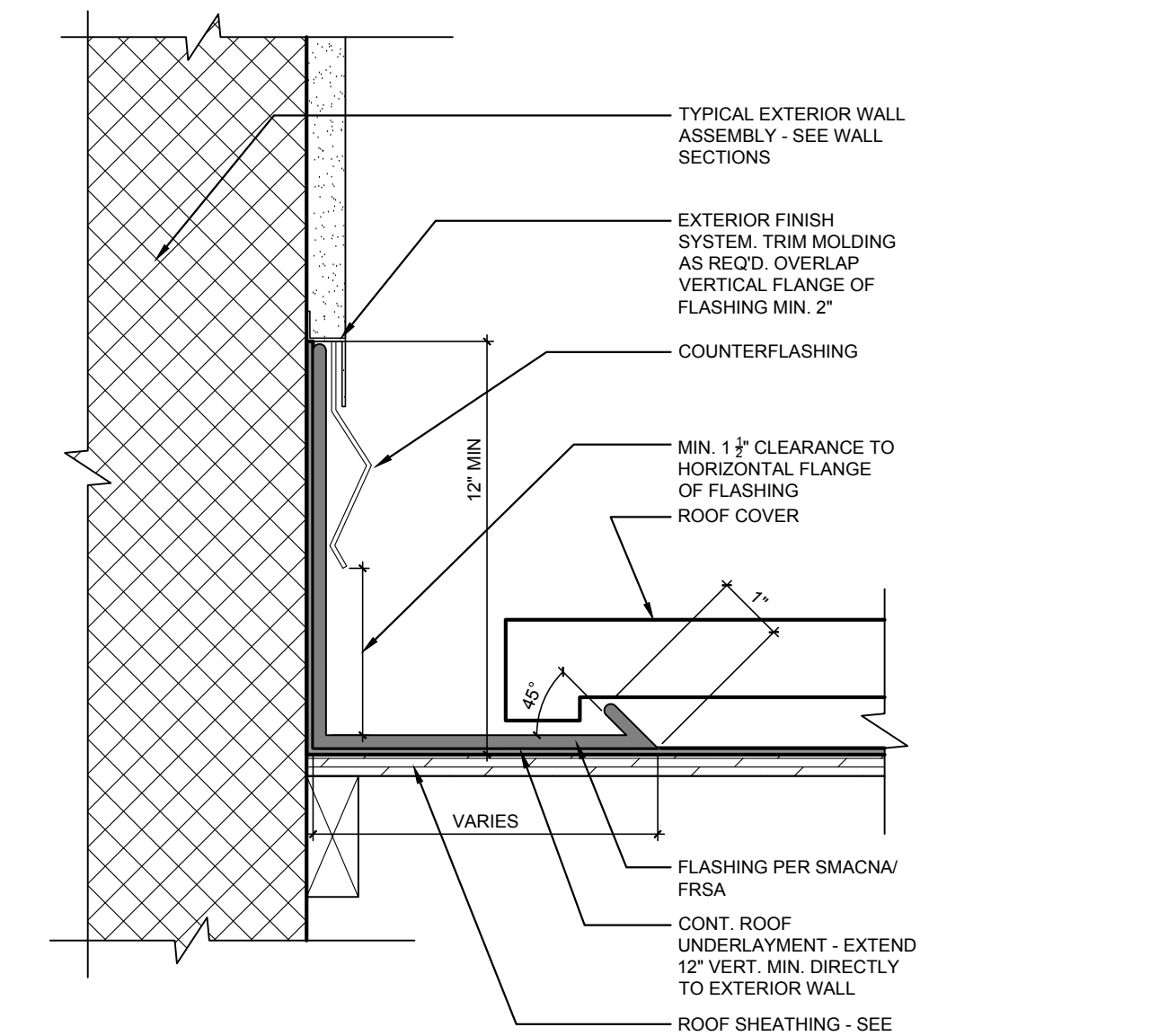
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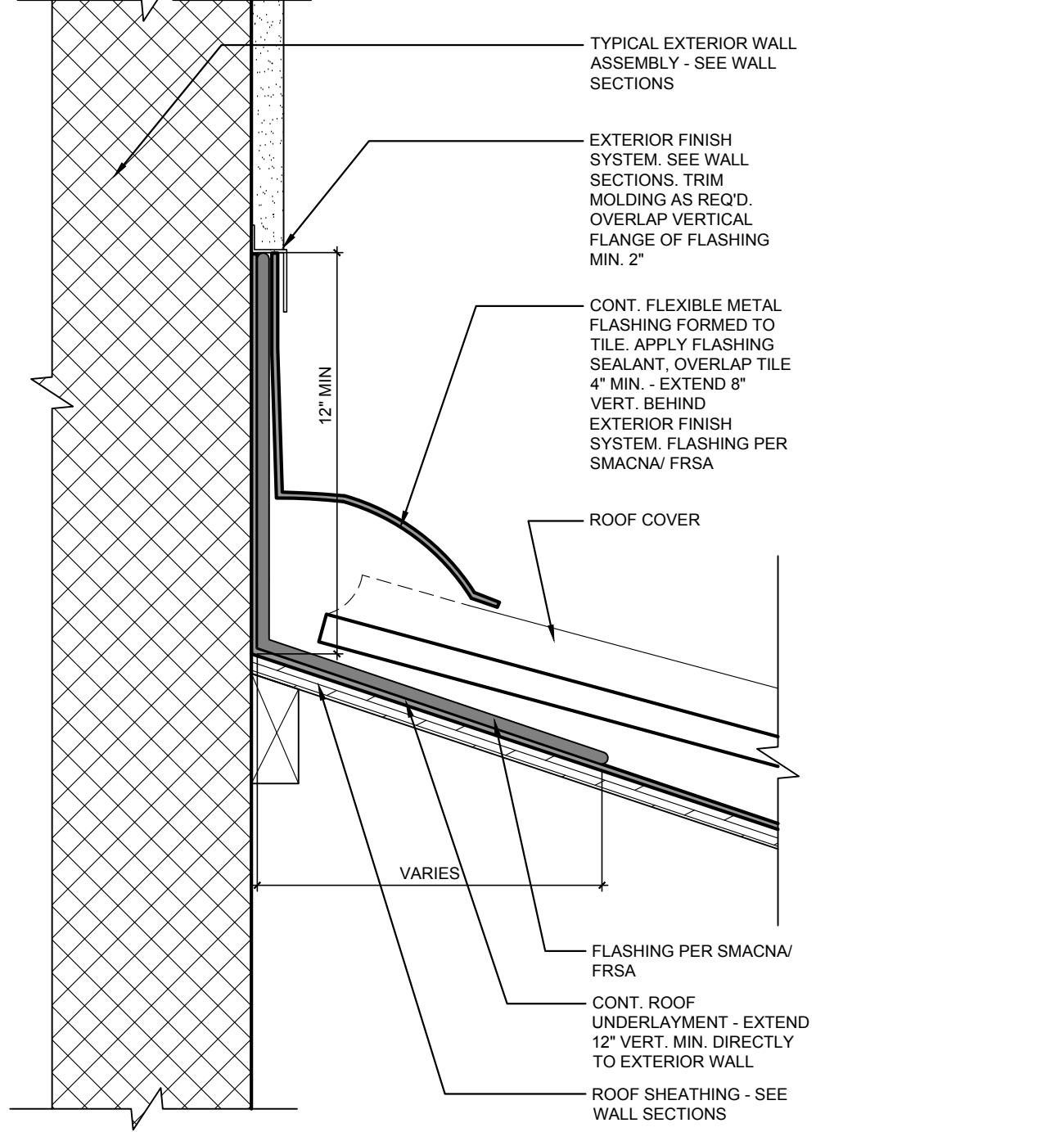
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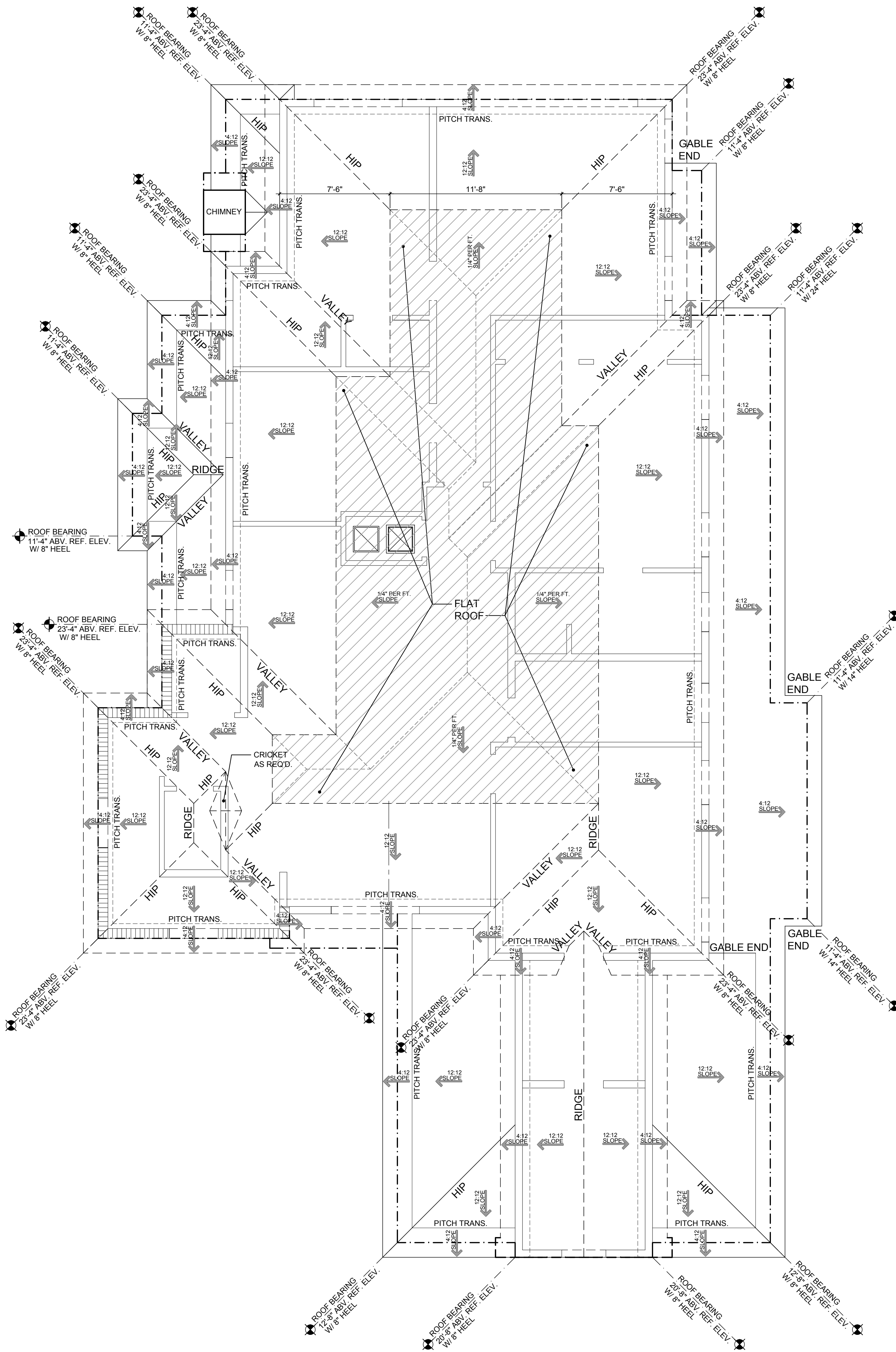
VENT STACK FLASHING



FLASHING @ ROOF/WALL



FLASHING @ ROOF/WALL



ROOF PLAN

- GENERAL ROOF NOTES:**
- ALL ROOF ASSEMBLIES ARE TO BE INSTALLED IN ACCORDANCE WITH THE FLORIDA BUILDING CODE 8TH EDITION (2023).
 - ALL OVERHANGS ARE 1'-0" UNLESS NOTED OTHERWISE. GABLE END OVERHANGS ARE 6" UNLESS NOTED OTHERWISE.
 - ROOF PITCH IS 12/12 SLOPE w/ "KICKOUT" SLOPE OF 4/12 - UNLESS NOTED OTHERWISE.
 - CONDENSATE LINES AND ROOF DOWNSPOUTS TO DISCHARGE MIN. 1 FOOT AWAY FROM EXTERIOR WALL LINE.
 - BUILT-UP ROOFS: SEE "BUILT-UP ROOF SPECIFICATION" THIS SHEET.
 - SLOPE ALL BALCONIES AND DECKS AS SHOWN MIN. 1/4" FT.
 - ROOF FLASHING TO MEET THE REQUIREMENTS OF SECTION 1503.2 OF THE FLORIDA BUILDING CODE 8TH EDITION (2023); BUILDING & SECTION R903.2 OF THE FLORIDA BUILDING CODE 8TH EDITION (2023); RESIDENTIAL.
 - ATTIC VENTILATION REQUIREMENTS TO MEET SECTION 1203.2 OF THE FLORIDA BUILDING CODE 8TH EDITION (2023); BUILDING & SECTION R806 OF THE FLORIDA BUILDING CODE 8TH EDITION (2023); RESIDENTIAL.
 - THIS STRUCTURE IS DESIGNED TO BE A NON-VENTED STRUCTURE WITHIN THE THERMAL ENVELOPE OF THE BUILDING IN ACCORDANCE WITH FBC R806.5. SEE ROOF PLAN, BUILDING SECTIONS, AND WALL SECTIONS FOR SPECIFIC ATTIC VENTILATION REQUIREMENTS THROUGHOUT THE STRUCTURE:
 - WITHIN THE BUILDING'S THERMAL ENVELOPE (CONDITIONED SPACE), WHERE SPRAY FOAM INSULATION IS SPECIFIED AT THE UNDERSIDE OF THE ROOF DECK, ATTIC VENTILATION IS NOT REQUIRED. **SEE ALSO, HVAC GENERAL NOTES.**
 - OUTSIDE OF THE THERMAL ENVELOPE (NON-CONDITIONED SPACE) WHERE BATT INSULATION OR NO INSULATION IS SPECIFIED, ATTIC VENTILATION IS REQUIRED. USE OFF RIDGE VENTS AND SOFFIT VENTS, U.N.O.
 - CRAWL SPACES TO COMPLY WITH FBC R403.1(3) AND ALL SECTIONS IN R408 UNDER-FLOOR SPACE.
 - GUTTERS: OPTIONAL. VERIFY WITH OWNER.

- R807.1 ATTIC ACCESS:**
- BUILDINGS WITH COMBUSTIBLE CEILING OR ROOF CONSTRUCTION SHALL HAVE AN ATTIC ACCESS OPENING TO ATTIC AREAS THAT HAVE A VERTICAL HEIGHT OF 30 INCHES (762 MM) OR GREATER OVER AN AREA OF NOT LESS THAN 30 SQUARE FEET (2.8 M²).
- ROOFING MATERIAL SPECIFICATION:**
- ARCHITECTURAL 30 YR. SHINGLE ROOF AS SELECTED BY OWNER.
- INSTALL "POLYSTICK TU" PEEL & STICK MEMBRANE PER MFR. WRITTEN INSTRUCTIONS.
 - INSTALL FLASHING, COUNTER FLASHING VALLEYS AND OFF RIDGE VENTS.
 - STRIP ALL FLANGES WITH MEMBRANE AND PLASTIC ROOF CEMENT.
 - INSTALL ARCHITECTURAL SHINGLES PER MFR. WRITTEN INSTRUCTIONS

- OR
- CONCRETE OR CLAY ROOF TILE FOR ROOF PITCH 4:12 UP TO 6:12:
- INSTALL "POLYSTICK TU" PEEL & STICK MEMBRANE PER MFR. WRITTEN INSTRUCTIONS
 - INSTALL FLASHING, COUNTER FLASHING VALLEYS AND OFF RIDGE VENTS PER TILE MFR. WRITTEN INSTRUCTIONS, AND THE MOST CURRENT FRSA /TRI INSTALLATION GUIDELINES AS ADOPTED BY THE SELECTED ROOFING TILE MANUFACTURER.
 - STRIP ALL FLANGES WITH MEMBRANE AND PLASTIC ROOF CEMENT.
 - INSTALL CONCRETE OR CLAY ROOF TILE 2 PART FOAM ADHESIVE SETTING MATERIAL PER MFR. WRITTEN INSTRUCTIONS, AND THE MOST CURRENT FRSA /TRI INSTALLATION GUIDELINES AS ADOPTED BY THE SELECTED ROOFING TILE MANUFACTURER.

- OR
- CONCRETE, ROOF TILE FOR ROOF SLOPES OF 4:12 AND GREATER:
- INSTALL FLAT CONCRETE ROOF TILE, MECHANICALLY FASTENED, OVER MODIFIED HI-TEMP SELF ADHERED TILE UNDERLAYMENT PER MFR. WRITTEN INSTRUCTIONS.
 - INSTALL FLASHING, COUNTER FLASHING VALLEYS AND OFF RIDGE VENTS PER MFR. WRITTEN INSTRUCTIONS AND SMACNA.
 - INSTALL HIGH STRENGTH MORTAR ON ALL HIPs AND RIDGES. COLOR AS SELECTED BY OWNER.
 - STRIP ALL FLANGES WITH MEMBRANE AND PLASTIC ROOF CEMENT.

- OR
- CONCRETE, ROOF TILE FOR ROOF SLOPES LESS THAN 4:12:
- INSTALL FLAT CONCRETE ROOF TILE WITH POLYFOAM ADHESIVE, OVER MODIFIED HI-TEMP SELF ADHERED TILE UNDERLAYMENT PER MFR. WRITTEN INSTRUCTIONS, AND THE MOST CURRENT FRSA /TRI INSTALLATION GUIDELINES AS ADOPTED BY THE SELECTED ROOFING TILE MANUFACTURER.
 - INSTALL FLASHING, COUNTER FLASHING VALLEYS AND OFF RIDGE VENTS PER TILE MFR. WRITTEN INSTRUCTIONS, AND THE MOST CURRENT FRSA /TRI INSTALLATION GUIDELINES AS ADOPTED BY THE SELECTED ROOFING TILE MANUFACTURER.
 - INSTALL HIGH STRENGTH MORTAR ON ALL HIPs AND RIDGES. COLOR AS SELECTED BY OWNER.
 - STRIP ALL FLANGES WITH MEMBRANE AND PLASTIC ROOF CEMENT.

- BUILT-UP ROOF SPECIFICATION:**
- MIN. SLOPE: 1/4" PER FOOT (2%) TYP. UP TO 4:12 SLOPE
- GAF RUBEROID 90% MODIFIED BITUMEN ROOFING SYSTEM (W/ 20 YR. WARRANTY FOR COMMERCIAL PROJECTS ONLY.)
 - INSTALL COPINGS, FLASHING & COUNTER FLASHING PER MFR. WRITTEN INSTRUCTIONS, FBC AND SMACNA.
 - INSTALL CANT STRIPS AT ALL AREAS WHERE HORIZONTAL AND VERTICAL SURFACES INTERSECT.

- FLASHING SPECIFICATION:**
- GALVANIZED METAL FLASHING:
26 GA. VALLEYS & COUNTER FLASHING
24 GA. COPINGS
- 26 GA. ALUMINUM CONTINUOUS EAVE DRIP, FACTORY PAINTED. COLOR AS SELECTED BY OWNER.
- OR
- COPPER FLASHING:
16 OZ ALL FLASHING COMPONENTS
- OR
- STAINLESS STEEL:
28 GA T-316 - ALL FLASHING COMPONENTS

DATE	MARK	REMARK

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The Leavitt Family

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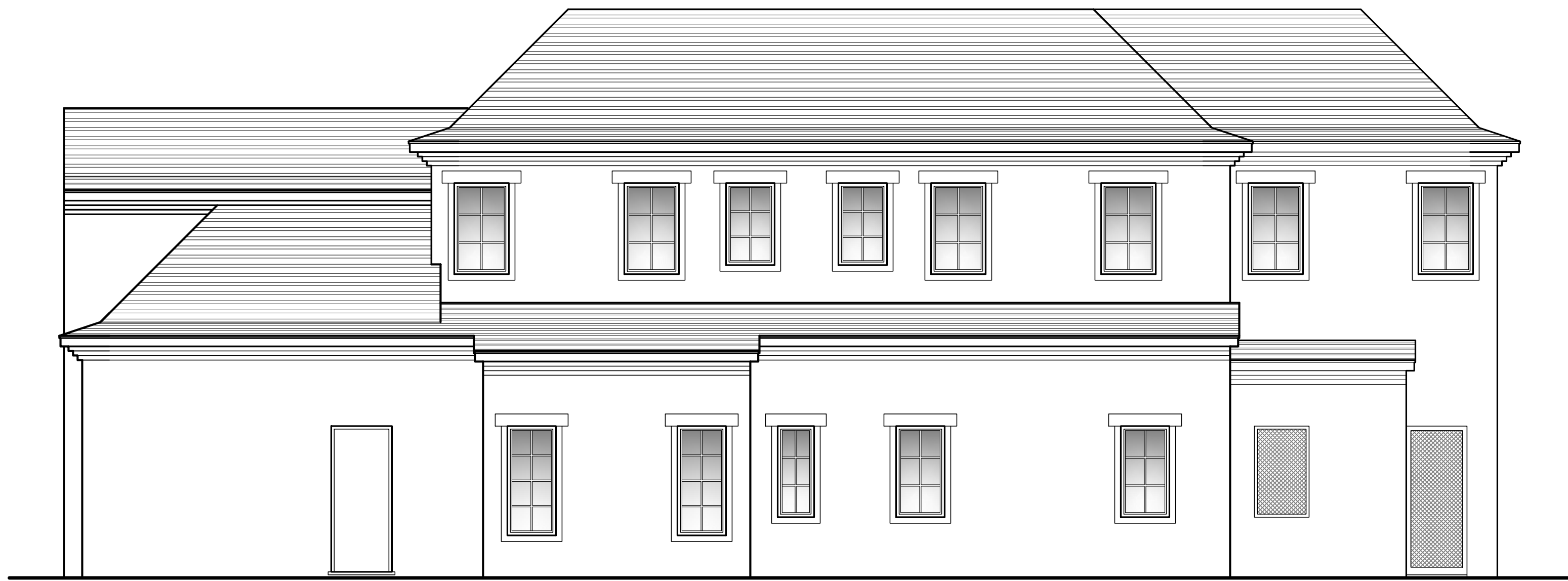
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1
A3.0
OVERALL - FRONT ELEVATION
SCALE: 1/4" = 1' - 0"



2
A3.0
OVERALL - LEFT ELEVATION
SCALE: 3/16" = 1' - 0"



3
A3.0
OVERALL - RIGHT ELEVATION
SCALE: 3/16" = 1' - 0"



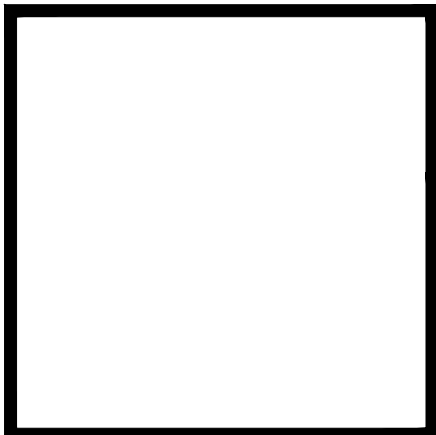
4
A3.0
OVERALL - REAR ELEVATION
SCALE: 3/16" = 1' - 0"

DATE	MARK	REMARK

NASRALLAH
Architectural Group Inc
1009 Webster Ave
Orlando, FL 32804
Ph: 407-647-0938 Fax: 407-647-2499
email: info@nasrallah.com
AA26001471

A Custom Residence For:
The Leavitt Family
1400 Elizabeth Dr
Winter Park, Florida

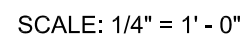
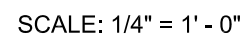
DATE	DRAWN BY	DATE	SCALE
10/1/19	MAG	1/16"	AS INDICATED
	CHK'D BY		
	MIN		

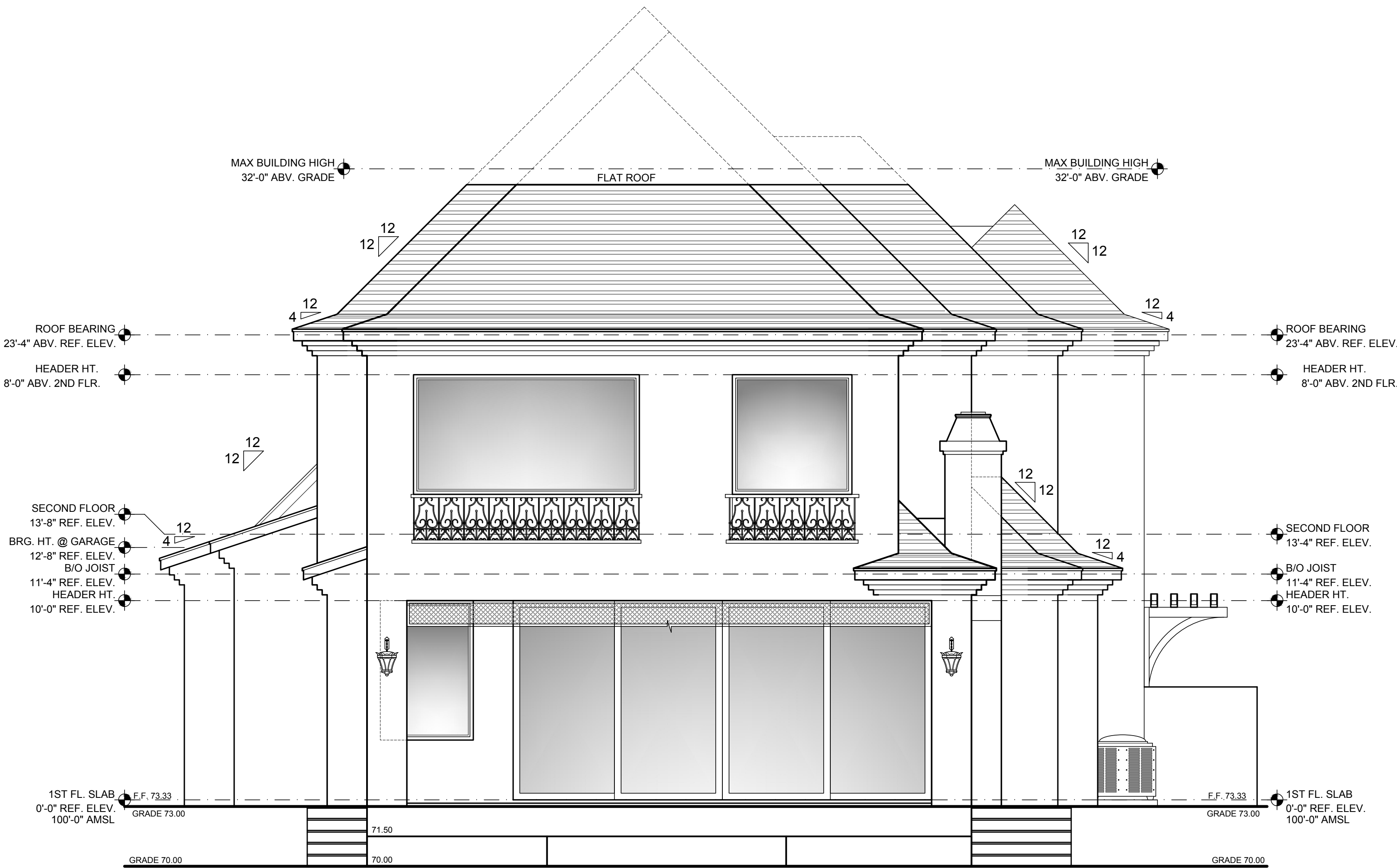


A
3.0
SHEET NO

not valid without
original or electronic
signature & seal

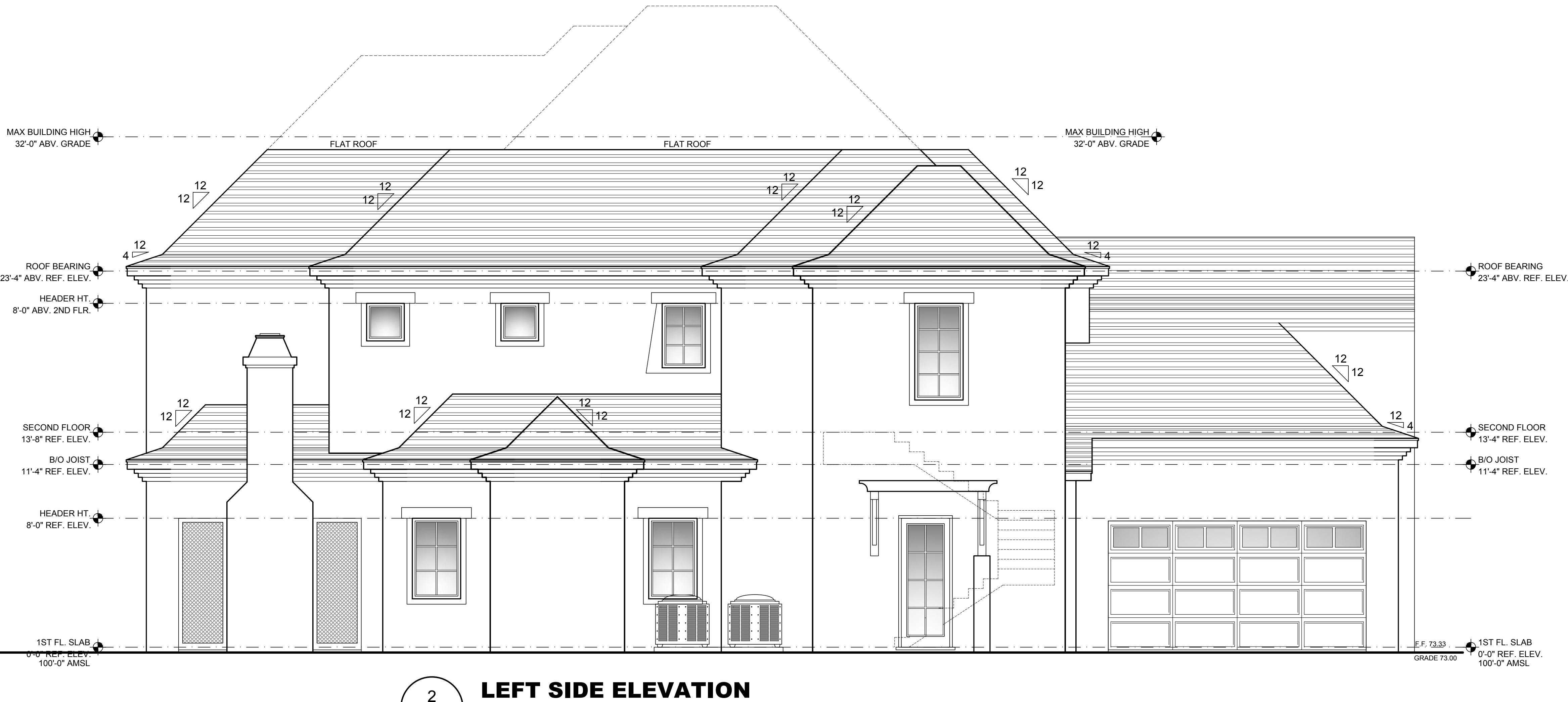
2024-12-19 Client Review Set





REAR ELEVATION

SCALE: 1/4" = 1' - 0"



LEFT SIDE ELEVATION

SCALE: 1/4" = 1' - 0"

SECTION/ ELEVATION TYPICAL NOTES:
DRYWALL SPEC:
-WALLS THAT ABUT NON-CONDITIONED SPACE AND WALLS THAT ARE IN DIRECT CONTACT WITH WET AREAS INCLUDING BUT NOT LIMITED TO BATHROOMS, UTILITY ROOMS, GARAGE & COVERED OUTDOOR SPACES USE FIBERGLASS BACKED DRYWALL.

ROOF NOTE:
-SEE ROOF PLAN FOR GENERAL ROOF NOTES AND ROOF MATERIAL SELECTION NOTES

TYPICAL ARCHITECTURAL NOTES:
-VERIFY ALL STRUCTURAL ELEMENTS WITH STRUCTURAL ENGINEER
-COORDINATE ALL INTERIOR WALL, SOFFITS AND CEILING TREATMENTS WITH INTERIOR DESIGNER/ OWNER
-ROOF AND BEARING HEIGHTS ARE SHOWN RELATIVE TO A REFERENCE ELEVATION BASED ON TOP OF SLAB U.N.O.
-ALL HANDRAILS AND GUARD RAILS TO BE 36" AFF U.N.O. W/ VERTICAL PICKETS/BALUSTRADES SPACED SO AS TO NOT ALLOW THE PASSAGE OF A 4" SPHERE. PROVIDE TOE RAILING AS REQD. MAX 2" A.F.F. COORD. FINAL MATERIAL, DESIGN AND FINISH WITH IDOWNER. HANDRAILS AND GUARDS MUST COMPLY WITH THE REQUIREMENTS OF THE FBC R. VISIBLE. PROVIDE WATERPROOFING, AIR BARRIER, AND/OR THERMAL BARRIER. SEAL BASED ON APPLICATION USE & ASSEMBLY TYPE. CONSIDER COMPATIBILITY OF MATERIALS.
-SEAL ALL PENETRATIONS IN THERMAL ENVELOPE, WHETHER CONCEALED OR VISIBLE. PROVIDE WATERPROOFING, AIR BARRIER, AND/OR THERMAL BARRIER. SEAL BASED ON APPLICATION USE & ASSEMBLY TYPE. CONSIDER COMPATIBILITY OF MATERIALS.

SECTION/ ELEVATION KEY NOTES:
RF: ROOF/ EAVE ASSEMBLY
RF-01 TYPE & MANUF. INSTALL PER MFR'S WRITTEN INSTRUCTIONS ON ROOFING MEMBRANE ON 5/8" EXTERIOR GRADE SHEATHING - SEE ROOF PLAN FOR NOTES. SEE STRUCTURAL FOR NAILING PATTERN - COLOR AS SELECTED BY OWNER.
RF-02 PRE-ENGINEERED WOOD ROOF TRUSSES @ 24" O.C. SEE FRAMING PLAN AND SHOP DRAWINGS FROM TRUSS MFR.
A. PROVIDE MIN R-30 BATT INSULATION AT BOTTOM CHORD W/ VENT Baffles BETWEEN EA ROOF TRUSS. PROVIDE PERFORATED RADIANT HEAT BARRIER AT UNDERSIDE OF ROOF SHEATHING. INSTALL PER MFR'S WRITTEN INSTRUCTIONS. TYP. SEE ROOF PLAN FOR VENTILATION NOTES.
B. PROVIDE MIN R-30 SPRAY FOAM INSULATION TO THE UNDERSIDE OF ROOF SHEATHING AND AS NEEDED TO CREATE A SEALED ENVELOPE FOR CONDITIONED SPACES. INSTALL PER MFR'S WRITTEN INSTRUCTIONS. TYP. SEE ROOF PLAN FOR VENTILATION NOTES. MANUF/VENDOR SHALL ONLY USE PRODUCTS THAT MEET FBC 107, FBC 316 AND R806.5 AND ALL SUBSECTIONS. VENDOR SHALL PROVIDE ALL TESTING APPROVALS FOR THE SPECIFIC PRODUCT USED AS REQUIRED BY LOCAL AHJ
RF-03 STRUCTURAL FASTENER: S.S.D.
RF-04 CONTINUOUS FLASHING: SEE ROOF PLAN AND NOTES. USE COPPER. ALT. DARK BROWN FACTORY COATED ALUM.
RF-05 CONTINUOUS METAL DRIP EDGE ON 1X3 FASCIA OVER 1X6 FASCIA ON 2X BLOCKING OR EXPOSED RAFTER TAILS. FOR BARREL, VILLA, AND "S" STYLE TILE. PROVIDE FACTORY BIRD STOP (ONE PIECE METAL EAVE CLOSURE).
RF-06 STUCCO SOFFIT (SEE FC-07) WITH CONTINUOUS SOFFIT VENT.
RF-07 CONVENTIONALLY FRAMED ROOF SYSTEM. S.S.D. PROVIDE MIN. R-30 BATT INSULATION AGAINST CONDITIONED SPACE AND PERFORATED RADIANT BARRIER AT UNDERSIDE OF ROOF SHEATHING THROUGHOUT. TYP.
RF-08 SOFFIT CONSTRUCTION TO TO CONSTRUCTED IN ACCORDANCE WITH FBC R704. S.S.D. FOR NOTES & DETAILS

OP: OPENINGS
OP-01 WINDOW OR DOOR UNIT. INSTALL PER MFR'S WRITTEN INSTRUCTIONS. RECESS MIN 2" FROM FACE OF WALL. SEE STRUCTURAL FOR BUCK ATTACHMENT AND DETAIL. SEE WATERPROOFING DETAIL. SEE FLOOR PLAN FOR FIXED UNIT LOCATIONS.
OP-02 SEE WINDOW DOOR DETAILS ON SHEET A6.2 FOR SPECIFIC HEAD, JAMB AND SILL DETAILS. SEE ELEVATIONS FOR LOCATIONS AND DIMENSION GARAGE DOOR - AS SELECTED BY OWNER. SEE GENERAL DOOR NOTES ON SHEET A6.1.
OP-04 RETURN EXTERIOR FINISH AT OPENING.

WL: WALL ASSEMBLY
WL-01 EXTERIOR MASONRY ASSEMBLY:
8" NOMINAL REINFORCED CMU WALL - S.S.D.
WL-02 EXTERIOR FRAME ASSEMBLY:
EXTERIOR FINISH SYSTEM OVER EXTERIOR GRADE PLYWOOD SHEATHING OR STRUCTURAL DENSGLASS ON WOOD FRAMING SYSTEM. PROVIDE MIN R-19 BATT INSUL. UNLESS NOTED OTHERWISE. S.S.D. *WHERE STRUCTURAL SPACING @ 16" O.C.(TYP. @ WALLS). USE MIN. 1/32" EXTERIOR GRADE SHEATHING. 18/32" MIN FOR EXPOSURE C. *WHERE STRUCTURAL SPACING @ 24" O.C.(TYP. @ ROOF): USE MIN. 23/32" EXTERIOR GRADE SHEATHING
WL-03 EXTERIOR FINISH: CEMENT PLASTER
NOTE: PROVIDE EXPANSION JOINTS/ CONTROL JOINTS AT DISSIMILAR MATERIALS/ CHANGES IN CONSTRUCTION, SO THAT PANEL SIZES DO NOT EXCEED 240 SF AND AS REQUIRED BY FBCR AND ASTM C 1063. PROVIDE A CONT. STUCCO STOP @ MIN. 4" ABOVE EARTH (FIN GRADE) OR 2" ABV. PAVEMENT/CONC DECK. PROVIDE WEEP SCREEDS AT ALL REQUIRED LOCATIONS PER FBC R703.7.2.1 @ THE FOUNDATION PLATE LINE ON EXTERIOR STUD FRAMING IF APPLICABLE, AND ALL CURRENT INDUSTRY STANDARDS. EXTERIOR PLASTER SHALL BE INSTALLED ON THE FOLLOWING SUBSTRATES PER R703.7.2 IN THE FOLLOWING THICKNESS(S) PER TABLE R702.1
MASONRY SUBSTRATE: MIN 1/2" CEMENT PLASTER ON CONCRETE MASONRY WALL. FINISH AS SELECTED BY OWNER
WOOD FRAME SUBSTRATE: MIN 7/8" STUCCO ON GALV. MTL. LATH ON TYPAR STUCCO WRAP ON EXTERIOR FRAME ASSEMBLY. SEE WL-02.
WL-04 EXTERIOR FINISH: STONE/ PRECAST
NOTE: INSTALL PER MFR'S WRITTEN INSTRUCTIONS. PER FBCR AND ALL APPLICABLE INDUSTRY STANDARDS. PROVIDE EXPANSION JOINTS AS REQ.
OPTION 1: DIRECT ADHERE VENEER PER FBCR703.6.1 OVER GALV METAL LATH PER FBCR703.6.1 OVER WEATHER RESISTIVE BARRIER PER R703.6.3 AND SECTION 6.1 AND 6.3 OF TMS-402 ACI 530/ASCE 5.
OR
OPTION 2: ANCHOR VENEER W/ GALV BRICK TIES @ 16" O.C.E.W. W/ 1" AIR GAP PROVIDE MASONRY WEEPS @ 48" O.C. MAX. PARGE WALL. PROVIDE WEATHER RESISTANT BARRIER BEHIND THE VENEER. PROTECT AGAINST CONDENSATION IN THE WALL ASSEMBLY. PROVIDE STEEL ANGLES FOR SUPPORT OVER OPENINGS. DO NOT EXCEED MAXIMUM THICKNESS AND WEIGHT PER FBCR.
OR
OPTION 3: SEE ALT NOTES
WL-05 INTERIOR FINISH: DRYWALL. SEE SECTION/ ELEVATION TYPICAL NOTES. MASONRY SUBSTRATE: 1/2" DRYWALL INTERIOR WALL FINISH ON P.T. 2X FURRING STRIPS W/ 7" STYROFOAM PERMEABLE RADIANT BARRIER WITH MIN. R5.0 INSULATION VALUE. CONTINUE THE RADIANT BARRIER TO THE TOP OF THE MASONRY WALL BEYOND THE DRYWALL FINISH AND AS NEEDED TO CREATE A THERMAL ENVELOPE FOR CONDITIONED SPACES. HOLD DRYWALL 1/2" OFF FLOOR DECKING/SLAB. TYP. COORD. FURRING THICKNESS WITH FLOOR PLANS. WHERE ADDITIONAL THICKNESS IS SHOWN USE 2X STUDS W/ MIN 1/2" AIR GAP TO SEPARATE STUDS FROM CONCRETE SUBSTRATE. USE P.T. MEMBERS WHERE IN DIRECT CONTACT WITH CONCRETE SUBSTRATE. WOOD FRAME SUBSTRATE: 1/2" DRYWALL INTERIOR FINISH. HOLD DRYWALL 1/2" OFF FLOOR DECKING/SLAB.
WL-06 CONT. BOND BEAM. S.S.D.
WL-07 P.C. LINTEL - S.S.D.
WL-08 HEADER. S.S.D.
WL-09 PROVIDE JOINT AT DISSIMILAR MATERIALS PER FBCR.

FC: FLOOR/ CEILING ASSEMBLY
FC-01 FLOOR SYSTEM: MIN. 4" THICK REINFORCED CONCRETE SLAB ON CONTINUOUS 6 MIL VAPOR BARRIER ON CLEAN AND WELL COMPACTED PERMITE TREATED FILL. SSD. FLOOR FINISH - AS SELECTED BY OWNER. FOUNDATION AND FOOTING. MIN 16" BELOW GRADE. SSD.
FC-02 FLOOR SYSTEM: (1) LAYER 3/4" T&G PLYWOOD STURD-I-FLOOR DECKING GLUED AND SCREWED ON PRE-ENGINEERED FLOOR TRUSS SYSTEM OR SPECIFIED FLOOR MEMBERS. SSD. PROVIDE CONTINUOUS END BLOCKING. PROVIDE INSULATION FOR SOUND REDUCTION THROUGHOUT AT OWNERS OPTION. INSULATION IS REQUIRED ADJACENT TO NON-CONDITIONED SPACES SUCH AS THE GARAGE. VENTILATED ATTIC SPACES. AT EXTERIOR WALLS. AND AS NEEDED TO CREATE A THERMAL ENVELOPE FOR CONDITIONED SPACES. FLOOR FINISH - AS SELECTED BY OWNER.
FC-04 PT LEDGER AND HANGER. SSD.
FC-05 BEAM/ORDER. SSD.
FC-06 CEILING FINISH: 1/2" C.D. GYP. BOARD.
(a) PROVIDE 1/2" TYPE 'X' DRYWALL TO THE CEILING OF THE GARAGE UNDER THE LIVING UNIT ABOVE PER FBC R302
FC-07 CEILING FINISH: MIN 7/8" STUCCO ON GALV. MTL. LATH ON TYPAR STUCCO WRAP ON EXTERIOR FRAME ASSEMBLY (SEE WL-02)
FC-08 COORD PASSAGE OF HVAC DUCT THROUGH TRUSS SYSTEM.
FC-09 POURED IN PLACE CONCRETE BALCONY. S.S.D. SLOPE TO DRAIN.

EF: EXTERIOR FEATURES
EF-01 DECORATIVE CHIMNEY CAP AND SPARK ARRESTER - AS SELECTED BY OWNER. -INSTALL PER MFR'S WRITTEN INSTRUCTIONS AND FBC.
EF-02 PRECAST CONCRETE, STONE OR STUCCO -SILL, BANDING OR TRIM
EF-03 36" HIGH METAL RAILING SYSTEM- AS SELECTED BY OWNER. SEE ELEVATION SECTION TYPICAL NOTES. THIS SHEET.
EF-04 FIXED INSET SCREEN PANEL. SEE FLOOR PLAN FOR FIXED SCREEN DOOR LOCATION.
EF-05 RETRACTABLE INSECT SCREEN PANEL. ROLL UP SCREEN WITH CONCEALED MOTOR AND HOUSING. PROVIDE ACCESS TO MOTOR AND HOUSING. SEE DETAIL.
EF-06 EXTERIOR LIGHT FIXTURE - AS SELECTED BY OWNER
EF-07 POWDER COATED ALUMINUM GATE -AS SELECTED BY OWNER
EF-08 PRECAST COLUMN SURROUND. PROVIDE WATERPROOFING AND WEEP HOLES TO PROTECT FROM WATER INTRUSION.

DATE	MARK	REMARK

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A Custom Residence For:
The Leavitt Family
1400 Elizabeth Dr
Winter Park, Florida

DATE	DRAWN BY	DATE	CHKD BY	DATE	APP'D BY

2024-12-19 Client Review Set

A
3.2
SHEET NO

not valid without original or electronic signature & seal

From: [Bob Shinn](#)
To: [Nicholas Lewis](#)
Cc: [Jane Shinn](#)
Subject: Re: 1400 Elizabeth Updated Site Plan
Date: Friday, December 27, 2024 3:18:36 PM

Hey Nick,

I received the plans in mail yesterday. Thanks.

I have reviewed the plan LA-1 revised 12/17/24 which depict the following setbacks: front setback of 20'; east side setback of 10' for pool and 12.5' for building; west side setback of 8'; and rear lakefront setback of 67' (68.5' to east rear building corner). These are acceptable to my wife, Jane, and me.

Thanks for your efforts to keep us informed.

Best regards,

Bob Shinn

Sent from my iPad

On Dec 18, 2024, at 8:52 AM, Nicholas Lewis <nlewis@cityofwinterpark.org> wrote:

Hi Bob,

I'll send this today. It will be the full plan set, not just the site plan so you should have all relevant documents. Let me know if you have any questions!

Best,
Nick

 City of Winter Park 401 Park Ave. South Winter Park, FL. 32789 cityofwinterpark.org	Nicholas W. Lewis Planner II Planning & Zoning 407.599.3508 nlewis@cityofwinterpark.org
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From: Bob Shinn <bob@rlshinnco.com>