



Design Guidelines Ad Hoc Committee Regular Meeting

Agenda

November 18, 2024 @ 2:00 PM

City Hall Commission Chambers
401 S. Park Avenue

welcome

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please note

Times are projected and subject to change.

-
- 1. Call to Order**
 - 2. Consent Agenda**
 - a. Approve the minutes of October 21, 2024. 1 minute
 - 3. Public Comments (for items not on the agenda): Three minutes allowed for each speaker**
 - 4. Discussion Item (s)**
 - a. 60 minutes
 - Discuss updated draft of Design Standards
 - Discuss summary of the walking tour
 - 5. Action Items**
 - 6. Board Comments**
 - 7. Adjournment**



Design Guidelines Ad Hoc Committee

agenda item 2.a

item type

Consent Agenda

meeting date

November 18, 2024

prepared by

Mary Bush, Administrative Coordinator III

approved by**subject**

Approve the minutes of October 21, 2024.

motion | recommendation**background****alternatives | other considerations****fiscal impact****attachments**

1. Draft Design Guidelines Ad Hoc Committee Regular Meeting Minutes



Design Guidelines Ad Hoc Committee Regular Meeting Minutes

October 21, 2024 at 1:30 PM

City Hall Commission Chambers
401 S. Park Avenue

Present

Phil Anderson, Maurizio Maso, Deborah Ziel, Emily Williams, Charles Williams, Vashon Sarkisian

Absent

Lucy Boudet

Staff Present

Director of Planning and Zoning Allison McGillis, Planning Consultant Jeff Briggs, Planner II Nicholas Lewis, Administrative Coordinator Mary Bush

1. Call to Order

Chairman Anderson called the meeting order at 1:29 p.m.

2. Consent Agenda

- a. Approve the minutes of September 16, 2024.

Motion made by Phil Anderson, seconded by Deborah Ziel, to approve the September 16, 2024 meeting minutes.

The motion carried unanimously by a 6-0 vote. (Lucy Boudet was absent from the meeting.)

3. Public Comments (for items not on the agenda): Three minutes allowed for each speaker

No one from the public wished to speak. The public hearing was closed.

4. Discussion Item (s)

- a. Discussion on draft Design Guidelines document

Alex Stringfellow of Stringfellow Planning and Design addressed the committee. He indicated that a draft of the Winter Park design guidelines had been provided to the committee for review prior to the meeting. He noted that it was intended to give the committee an idea of the direction that the guidelines are headed in, the type of regulations planned to be written, and to provide a document for the committee

members to comment on and provide more feedback. He then reviewed some of the topics discussed at the last committee meeting in September, which included concerns about guidelines being too prescriptive, defining compatibility in each district, the level of detail regulation on Form-based code, creating a rough draft of the guidelines with images, scheduling a walking tour, and having a stacked approach to the Central Business District/Hannibal Square, Morse Boulevard, and the Orange Avenue Overlay (OAO).

Mrs. McGillis brought up the committee's desire to do a walking tour. A brief discussion ensued regarding how long the walking tour might be and when and where it would take place. The committee decided on a two-hour walking tour on November 11, 2024 at 10:00 a.m.

Mr. Stringfellow then addressed the committee and reviewed the draft of the design guidelines. He noted that the guidelines were organized into subsections for each of the covered areas of the city from largest to smallest. He also noted that for each area the guidelines provide a breakdown of massing and proportions, frontage types, fenestration, and materials, textures and colors. He then briefly reviewed each section of the guidelines, including the introduction which provides the intent and background of the design guidelines. He also discussed the included inspirational images intended to provide examples of appropriate design. The committee suggested having the direction of certain images be straight on rather than from an angle and that a footnote be added to each image. A brief discussion ensued about how the images would correlate with the required fenestration types and Mr. Stringfellow noted that more detail about storefront glass fenestration requirements would be provided in the guidelines. The committee suggested using an image of the recently approved Storyville Coffee building as an example. Mr. Taylor suggested including some indication of the specific areas of the city that the details of the example buildings in the images would pertain to. The committee then discussed having the Conservation of Design section indicate that a walkable streetscape and tree canopy are encouraged as part of the implicit design standards for Park Avenue. A brief discussion ensued about including specifications for spacing, grading, and species of trees for the streetscapes. The committee noted that it should be determined as to why some iconic buildings in the city fit and that either the buildings fit within the guidelines or their exceptional aspects are noted in some way. The committee also requested a section of the guidelines that identifies and defines the different architectural styles. A brief discussion ensued. The committee also discussed the allowance of creativity within the guidelines and expressed that they like the idea of having styles illustrated but not mandated. They also indicated that whatever is illustrated must conform to the criteria of the guidelines. A brief discussion then ensued regarding the area boundaries outlined in the guidelines and adding the area not covered by the guidelines located between the Central Business District (CBD) and Morse Boulevard to the CBD zoning.

Mr. Stringfellow continued discussion on the draft of the guidelines. He reviewed the process and administration section, which includes checklists for required documents and information. The committee suggested that the statement regarding an applicant providing a rationale for why their architectural style should be considered vernacular

to Winter Park and compatible with the buildings adjacent to their project should state "or" instead of "and" compatible. The committee also suggested that the differences in the approval process for small projects or renovations of existing buildings versus Conditional Use permits be clarified in the guidelines. Discussion then ensued about massing, proportion, variances, and heights of architectural appendages. Mr. Stringfellow then reviewed the section on frontage types detailing minimum depth, stoops, and balconies. It was noted that balcony location, symmetry, and function would need to be addressed in the guidelines along with requirements for free-standing cantilever balconies. The committee also discussed including recommended dimensions to create more room for outdoor seating, the maximum height for ground level facade openings, having a minimum and maximum for certain design requirements, the inclusion of certain articulation requirements, and proportion.

Discussion then ensued about future redevelopment and the process for it in relation to the guidelines. The committee also discussed how prescriptive the guidelines should be and how they would apply to special cases such as separate uses and civic buildings.

5. Action Items

6. Board Comments

7. Adjournment

The meeting adjourned at 3:05 p.m.

ATTEST:

/s/ Mary Bush, Recording Secretary



Design Guidelines Ad Hoc Committee

agenda item 4.a

item type

Discussion Item (s)

meeting date

November 18, 2024

prepared by

Allison McGillis, Director of Planning and Zoning

approved by

Allison McGillis, Director of Planning and Zoning

subject

- Discuss updated draft of Design Standards
- Discuss summary of the walking tour

motion | recommendation

background

alternatives | other considerations

fiscal impact

attachments

1. Winter Park Facade Guidelines 11.6.24 (1)
2. Comments on Winter Park Walk 11.11.24

DESIGN STANDARDS

WINTER PARK, FL



DRAFT 11.6.2024

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Introduction

This section provides the intent and background of the design guidelines provided herein.

The City of Winter Park, through its Planning Department, is working with private property owners in a cooperative effort to preserve and enhance the character and appearance of its Districts and Corridors. This effort is part of a larger program through the City's Beautification Network to establish Winter Park as "The Most Beautiful Urban Village in the South."

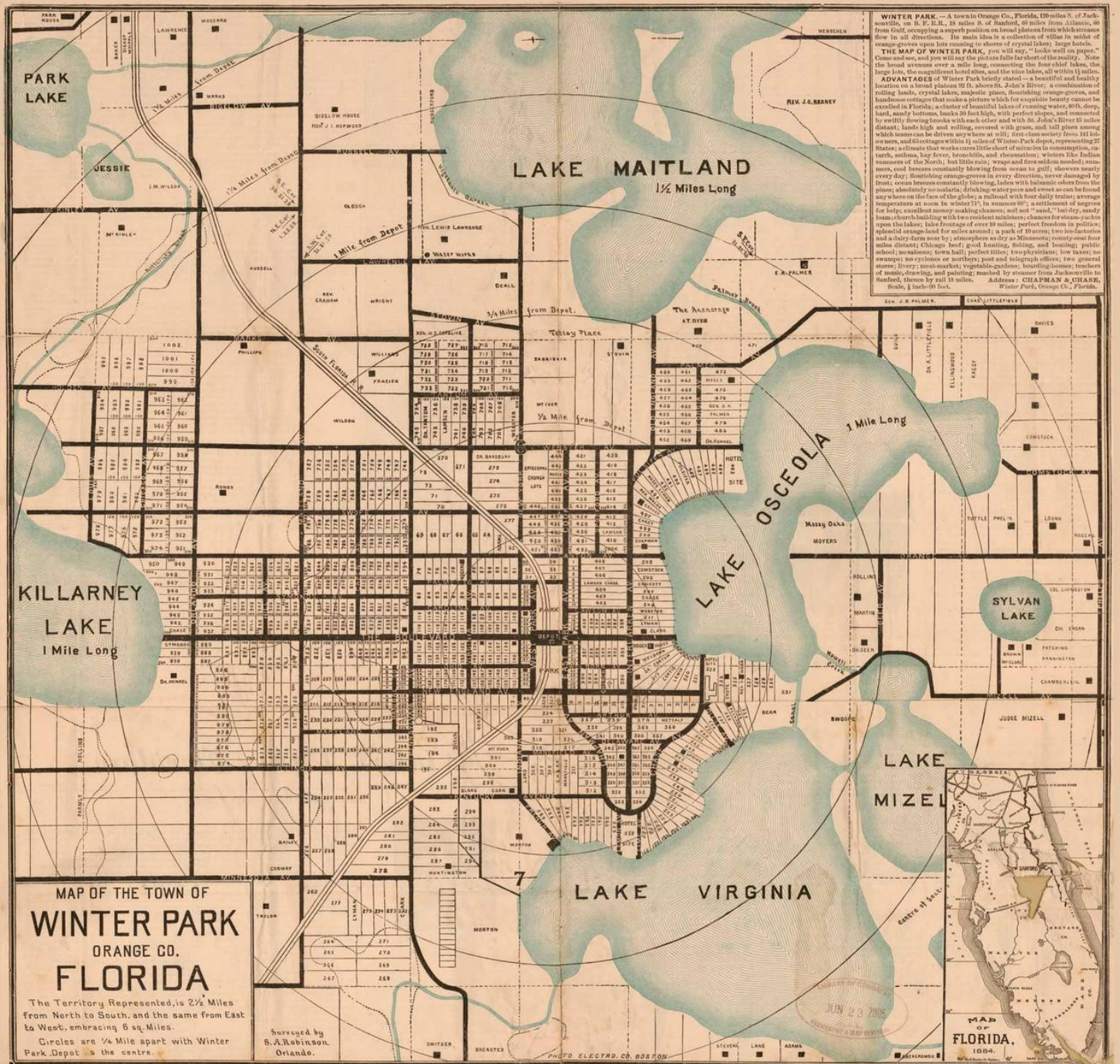
The design guidelines contained within this document apply to the exterior facades of buildings and are required of those properties in the general boundaries shown on the maps on the following pages. The guidelines address such things as the storefront facades, building massing and components, frontage types, awnings, canopies, building color and materials.

Purpose of the Guidelines. The Guidelines are based on the positive features of the existing buildings. Their purpose is to ensure compatibility with the neighborhood, and to stimulate creative design solutions while promoting a sense of relatedness among properties. They are also aimed at enhancing the appearance of buildings by promoting a compatible architectural style and facade of each individual building while maintaining the eclectic mix of architectural styles and appearances among different buildings in the downtown area. These guidelines are also intended as a protection against unsightly, incompatible or outlandish architectural styles or colors that are solely intended to attract attention and visibility rather than conforming to and enhancing the character of the established areas.



Introduction: Historic Walkability

The historical map included below demonstrates how the original design of Winter Park focuses on a grid pattern of streets that are compact and walkable. In addition to the street grid, the City is designed around the original train depot and a distance radius is included in this map that radiates out from the depot and Central Park. Density and intensity of development were directly related to these radii, which in modern planning practice are used to define “walk-sheds”. For example a ¼ mile radius indicates a 5 minute walk shed. Originally, many of the roadways were intended to terminate into the surrounding lakes in order to preserve lakeviews as a public amenity. Modern day New York Avenue was also designated as West Park Avenue indicating a desire to frame Central Park with a traditional Main Street development on both sides of the park. This design element would be consistent with the defining feature of a “central park”. Later the introduction of Orange Avenue and Fairbanks Ave helped address growing traffic congestion but introduced new physical barriers within the original 6 square miles of historic Winter Park. Coupled with the widening of Orlando Avenue over time, a safe and comfortable walking distance in Winter Park has largely been reduced to the ¼ mile to ½ mile radius. This framework is important in understanding that Winter Park has always been intended to be experienced at the pedestrian scale. As such, building design and architecture must reflect the pedestrian experience.



Introduction

This section provides the intent and background of the design guidelines provided herein.



Conservation of Design. The history of Winter Park is rich in culture, arts and craftsmanship. With its meandering chain of lakes, stately oaks, and historic charm, it has long been a place where natural beauty and architectural excellence are abundant. Founded in the late 19th century as a winter retreat for affluent Northerners, the city quickly became renowned for its Mediterranean Revival and Colonial Revival architecture, which blend harmoniously with the lush landscape. Walking through its historic neighborhoods, experiencing its ancient Oak trees, and driving its brick streets, one can feel the deep sense of place that emerges from the preservation of these timeless designs.

The concept of "Conservation of Design" in Winter Park is more than just protecting old structures; it's about nurturing the soul of the community by guiding future development to reflect the city's historic fabric. This philosophy fosters a dialogue between past and present, ensuring that new designs pay homage to the city's cultural legacy. By encouraging architecture that is both innovative and respectful of Winter Park's historical roots, the city is able to evolve in a way that continues its cultural story. The design guidelines within this document, are intended to protect Winter Park's history, but also forge a path to make history through compatible urban design and architecture.



Park Avenue during Art Festival, Winter Park, Florida



Architectural Styles

These styles reflect and summarize the range of traditional architectural expression that occurs within the established boundaries. Historically, architecture in more urban places has generally been more formal, characterized by more classical treatments, including vertically proportioned massing, detailing in masonry and stucco, and a broader range of colors. There are **five (5)** broad categories of architectural styles in this section. These architectural styles can be applied with a degree of flexibility. Architectural styles represent only a small portion of the architectural vocabulary appropriate for development within Winter Park. Additional architectural styles and/or individual building precedents beyond the scope of these Guidelines may also be acceptable through a conditional use review. **Some example images shown are larger in scale than the zoning code may permit, these images are intended to demonstrate architectural style, not adherence to zoning requirements.**

1. Italian Renaissance

- Origins and Influences: Originated in Italy during the 14th–17th centuries, drawing on classical Roman architecture and emphasizing symmetry, proportion, and formality.
- Key Characteristics:
 - Columns and pilasters, often in the Tuscan, Ionic, or Corinthian order.
 - Pediments and arches over windows and doors.
 - Low-pitched, hipped roofs with terra-cotta tiles.
 - Stonework with carved details.
 - Loggias and formal balconies.
- Overall Aesthetic: Grand, formal, and balanced with a focus on classical proportion.
- Regional Use: Popular in European cities and American mansions, often associated with academic, resort, or urban settings.



2. Mediterranean Revival

- Origins and Influences: Emerged in the U.S. in the early 20th century, inspired by Spanish, Italian, and Moorish designs from Mediterranean coastal regions.
- Key Characteristics:
 - Stucco walls in light, warm colors.
 - Barrel-shaped red tile roofs.
 - Arched windows and doors with decorative ironwork.
 - Courtyards and lush landscaping.
- Overall Aesthetic: Eclectic, coastal, with a relaxed charm suitable for warm climates.
- Regional Use: Popular in coastal areas like Florida and California, especially for residential and resort architecture.



Architectural Styles

3. Main Street Classical (or Neoclassical)

- Origins and Influences: Draws from Greek and Roman classical architecture, popular in the 19th and early 20th centuries.
- Key Characteristics:
 - Prominent use of columns and porticos, with fluted Doric, Tuscan, Ionic or Corinthian columns.
 - Symmetrical facades and evenly spaced windows.
 - Stone or brick construction with ornate moldings and pediments.
 - Large windows with formal entryways.
- Overall Aesthetic: Majestic and stately, with a focus on grandeur and symmetry.
- Regional Use: Common in government buildings, banks, and educational institutions across the U.S.



Architectural Styles



4. Spanish Eclectic

- Origins and Influences: Emerged in the U.S. in the early 20th century, inspired by Spanish colonial, Moorish, and Mexican architecture.
- Key Characteristics:
 - Stucco exteriors in earthy or white tones.
 - Red tile roofs with irregular, curving lines.
 - Arched doorways and windows.
 - Decorative tilework, ironwork, and wood details.
 - Irregular and asymmetrical massing and proportions
- Overall Aesthetic: Romantic, warm, and detailed, with an emphasis on Spanish motifs and vibrant, regional decor.
- Regional Use: Popular in the southwestern U.S. and California, especially for homes, hotels, and public buildings.

5. Colonial (Spanish Colonial)

- Origins and Influences: Brought to the Americas by Spanish settlers in the 16th and 17th centuries, adapted to local climates and materials.
- Key Characteristics:
 - Thick adobe or stone walls for insulation.
 - Flat or low-pitched roofs with red tiles.
 - Simple, rectangular forms with minimal ornamentation.
 - Central courtyards and small, recessed windows.
- Overall Aesthetic: Simple and utilitarian, with heavy walls and minimal decor suited to hot climates.
- Regional Use: Common in the American Southwest, Mexico, and Central and South America, especially in early Spanish missions and settlements.

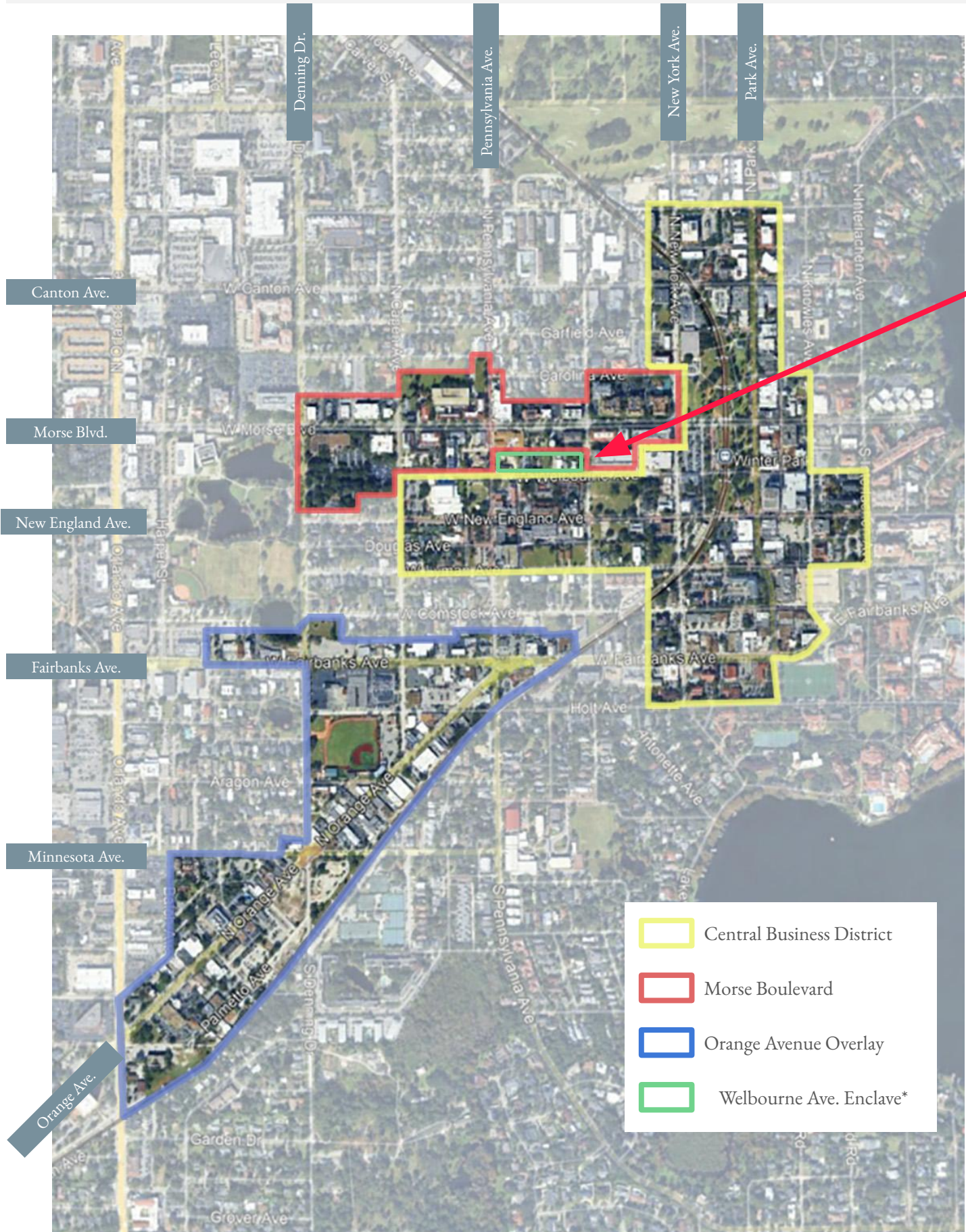
Figure 1.1 Inspirational Imagery

The following images are intended to provide examples of appropriate design.



Figure M. Area Boundaries

This section provides the intent and background of the design guidelines provided herein.



Section 9 Process & Administration

Applicability. These standards are applicable prior to the issuance of a building permit for the construction, renovation or remodeling of any building within the areas shown on the preceding maps (Figure M). **For renovations or remodeling of a building the the regulations shall be applicable to the extent the proposed changes are regulated by these standards. For example, a renovation of a storefront wall only, would require adherence to the Storefront Wall criteria.** In addition, the Commission may choose to use these guidelines in determining “compatibility” for conditional uses in other areas of the City.

Prior to issuance of a building permit, an approval is required by the Planning and Zoning Department of the facade construction, or renovation and/or remodeling including awnings and signs.

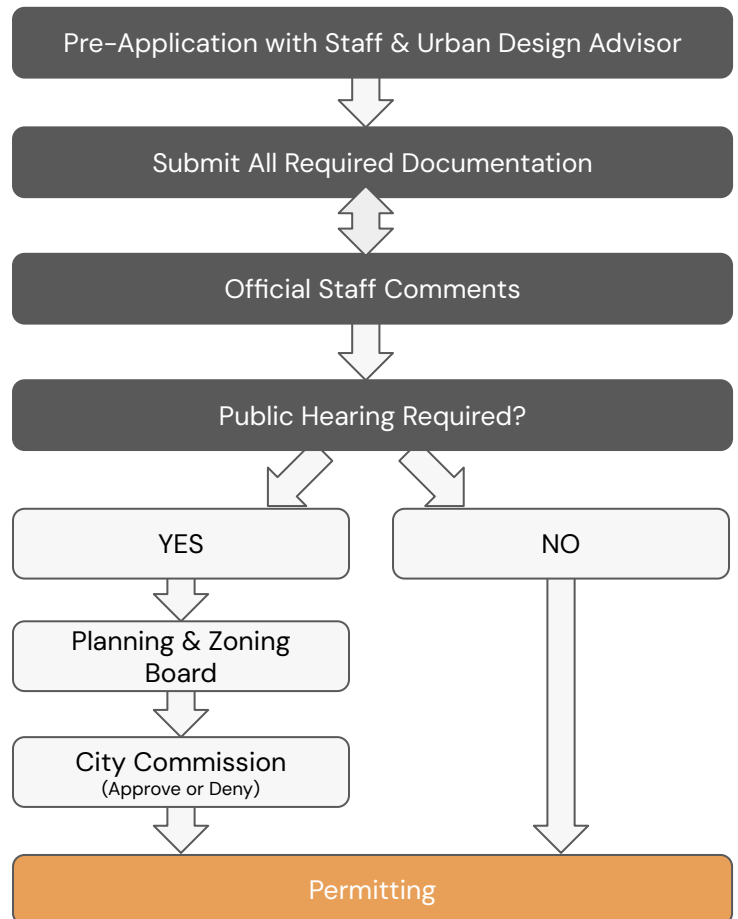
After reviewing these standards, the business or property owner should discuss their ideas and plans with the Planning Director or their designee to ensure that the facade design conforms to these requirements. Any clarifications, interpretations or questions concerning the application of these guidelines will be addressed at that time.

To the extent these guidelines conflict with existing code, the more restrictive code requirements shall apply.

Applicable Zones: CBD, O-1, O-2 C-3, C-2, ,....

✓ Required Documents

- ❑ **Conceptual Plan, drawn to scale, with all required information detailed in this section**
- ❑ **2D Elevations, in color, drawn to scale, for all sides of the building**
- ❑ **3D Rendering of Building at pedestrian scale for all sides of the building.**
- ❑ **Proposed Frontage Type(s) of the building(s)**
- ❑ **Architectural Narrative.** The applicant, at a minimum, shall name their architectural style (which may blend multiple styles) and provide the defining characteristics of their proposed style. Defining characteristics shall include fenestration details, building detailing (roof, balconies/porches, coverings/awnings, column style, exterior materials, etc.) The applicant should provide a rationale for why their architectural style should be considered **compatible with Winter Park and the buildings adjacent to their project.**
- ❑ **Design Intent Board (Mood Board).** The applicant shall provide a sheet of colored images depicting the design intent for the building. Refer to Materials, Textures and Colors section.
- ❑ **Open Spaces, Landscape and Furnishings.** The applicant shall provide intent for furnishings, walking paths, landscaping palette and hardscape intent for any proposed or code required Open Space.





Central Business District

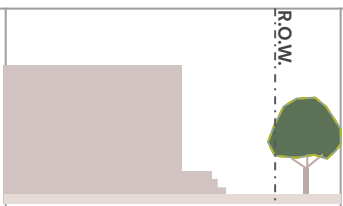

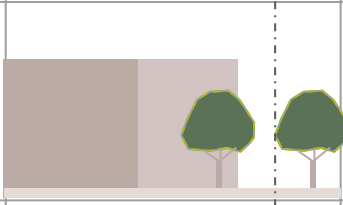
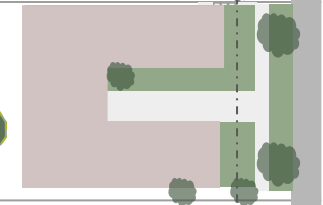
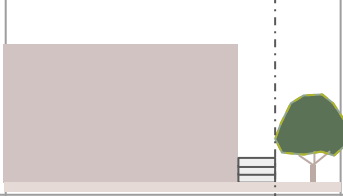



Table ## Permitted Frontage Types

Section View

Plan View

All buildings shall adhere to one or more of the following frontage types.

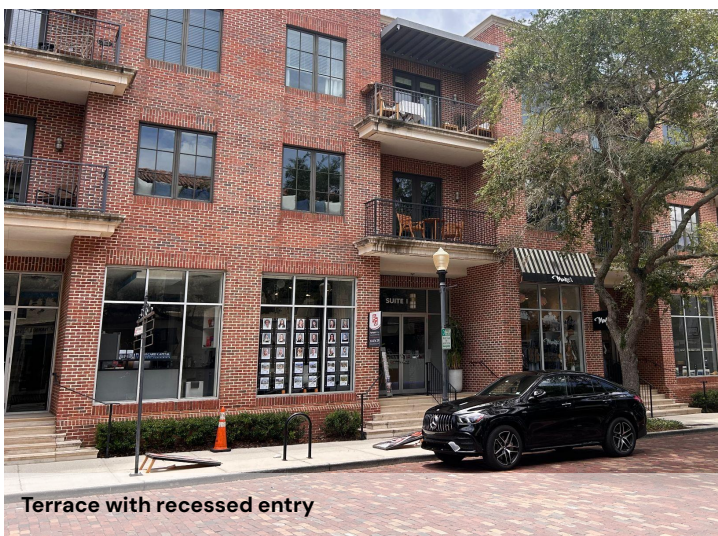
<p>Terrace: a frontage where the building is set back from the property line by an elevated terrace. This buffers residential use from busy sidewalks and protects the private yard from public encroachment. Terraces in non-residential development shall be a minimum of 8 feet deep.</p>		
<p>Forecourt: a frontage wherein a portion of the building is close to the property line and the central portion is set back. The forecourt created can be suitable for vehicular drop-offs as well. Forecourts should be used in conjunction with other frontage types.</p>		
<p>Stoop: a frontage wherein the facade is aligned close to the property line with the first story elevated from the sidewalk sufficiently to secure privacy for the windows. The entrance is usually an exterior stair and landing. This type is recommended for ground-floor residential use.</p>		



Forecourt with storefront frontage type



Stoop with outdoor seating.



Terrace with recessed entry

Table ## Permitted Frontage Types (cont.)

Section View

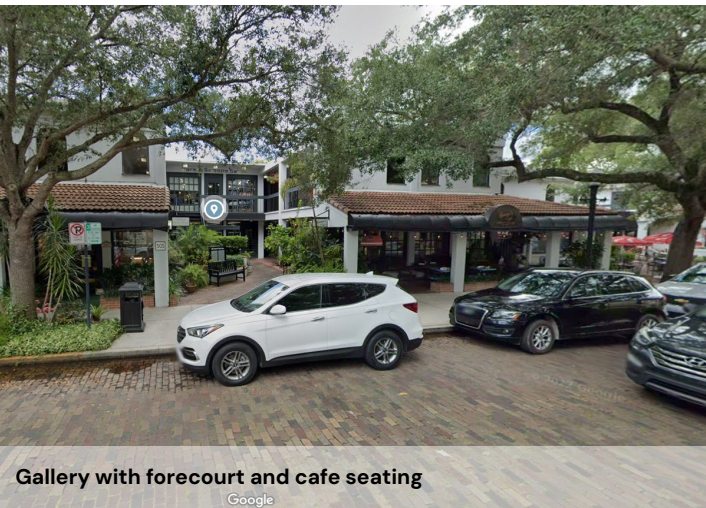
Plan View

All buildings shall adhere to one or more of the following frontage types.

<p>Storefront: a frontage wherein the facade is aligned close to the property line with the building entrance at sidewalk grade. This type is conventional for retail use. It has a substantial transparency on the sidewalk level and an awning that may overlap the sidewalk to within 2 feet of the curb. A minimum 5' clear space is required for cafe seating.</p>		
<p>Gallery: a frontage wherein the facade is aligned close to the property line with an attached column-supported cover or a lightweight colonnade overhanging the sidewalk. This type is conventional for retail use. The gallery shall be no less than 8 feet wide.</p>		
<p>Arcade: a colonnade supporting habitable space that overlaps the Sidewalk, while the facade at sidewalk level remains at or behind the frontage line. This type is conventional for retail use. The arcade shall be no less than 8 feet wide.</p>		



Storefront with awnings and appropriate transparency



Gallery with forecourt and cafe seating

© Google



Gallery with enhanced hardscape.



Massing: Base, Middle and Top

This section will provide guidelines for the design and development of new buildings (or for substantial improvement of existing buildings) in order to preserve and enhance the visual aesthetics and compatibility with existing buildings, and allow for a positive pedestrian experience throughout Winter Park, specific design standards relating to various building types are required.



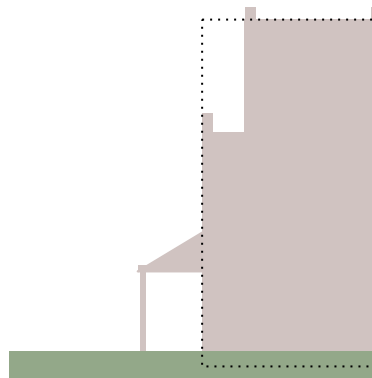
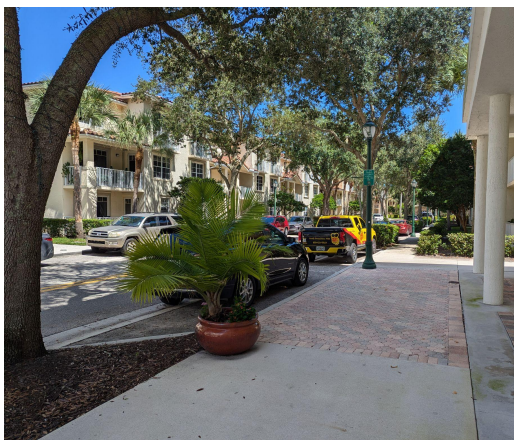
Revising to meet 40' max height for 3 story and 30' for 2 story.

Cornice (Top)
Parapet, Roof, Attic, HVAC, and other utilities

Upper Facade (Middle)

Lower Facade (Base)
Foundation, Ground Floor, Retail, Pedestrian Zone

Streetscape – Sidewalk, tree planters, vehicular lanes

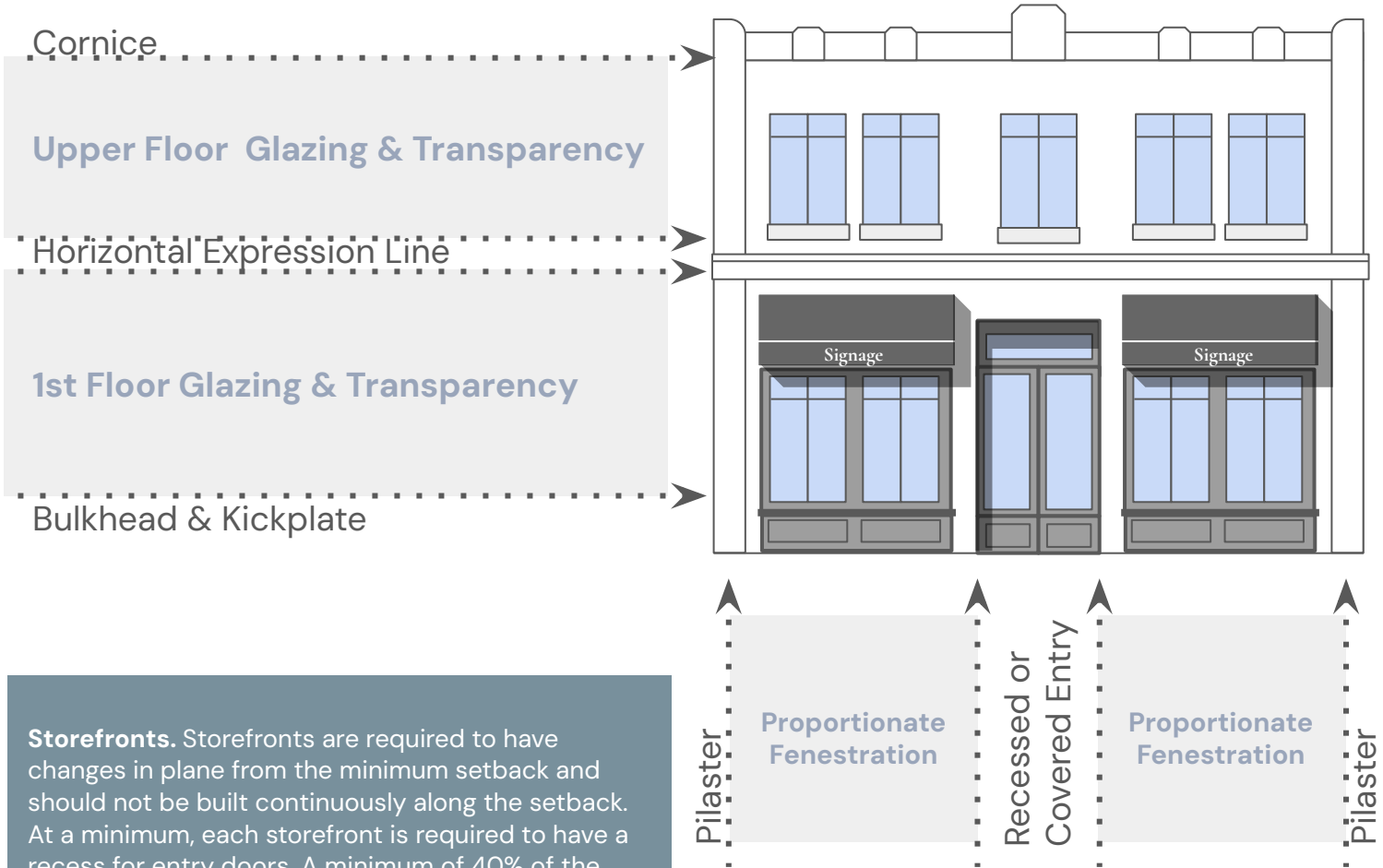


The primary inhabited area may span multiple floors. Window openings, architectural projections and doors shall demonstrate symmetrical spacing when providing building elevations for City review. Secondary setbacks may be required per the land development code.



Proportion, Composition & Fenestration

#####



Storefronts. Storefronts are required to have changes in plane from the minimum setback and should not be built continuously along the setback. At a minimum, each storefront is required to have a recess for entry doors. A minimum of 40% of the width of the storefront (maximum of 80%) must be recessed a minimum of one foot (1'-0") from the minimum setback.

Proportion and Scale of Openings All openings must be vertically proportioned with a minimum ratio of 1.4:1 (vertical to horizontal), or broken down into vertically proportioned sections with a minimum ratio of 1.4:1 (vertical to horizontal).



Height = 1.4

Ratio=1.4:1

Width = 1

Element	Requirement
1st Floor Transparency	Minimum 50% between 2' and 10' above grade
Upper Floor Transparency	Minimum 25% with a Maximum of 40%, measured between finished floor to the top plate (may be multiple stories). In no case shall the upper floors have more square footage of transparency per floor than the first floor.
Entry	Entry shall be recessed, covered with an awning or both.



Fenestration

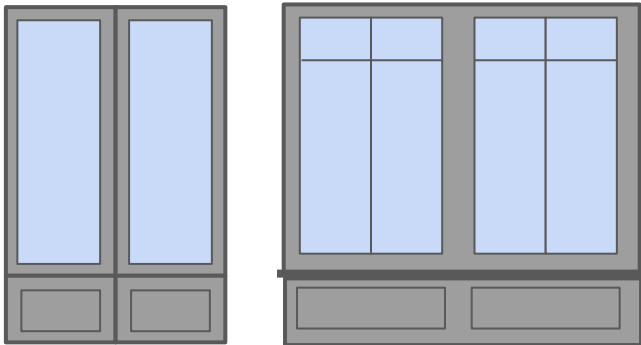
Storefront Walls

Configuration. Facades shall provide variation in twenty to thirty-foot intervals to reflect the rhythm of historical building patterns of traditional storefronts. Variations in storefront walls, such as changes in material, texture and/or color are required for walls over twenty feet (20'-0") long and at every 20'0" to 30'0" interval for the full linear length of the facade. At each end of the storefront, the storefront walls must cleanly abut the adjacent storefront or neutral pier (where they occur). At each end of the storefront, the walls are required to meet the ground to provide a frame for the storefront opening. The minimum horizontal dimension of these end walls is one foot six inches (1'-6"). To reflect historical construction traditions, no single opening in the wall plane greater than twelve feet (12'-0") can occur. Each opening in the wall plane must be flanked by a portion of wall with a minimum horizontal dimension of one foot six inches (1'-4"). A bulkhead not less than 1'4" in height shall be provided at the base of all storefront walls. **Accordion doors, pocketing doors and movable glass doors are exempt from the bulkhead requirement.**

Materials. The bulkhead shall be stone, masonry, or wood frame.

Figure ##. Storefront Window Divisions

* Muntins shall be applied to the exterior glazing surface.



Doors

Configuration. Single leaf swinging doors are required unless exiting requirements necessitate the use of swinging double doors. Doors are required to be recessed a minimum of two feet (2'-0") from the lease line. The maximum height of doors is seven feet (8'-0").

Materials. Wood doors, wood and glass doors and steel and glass doors are acceptable. Aluminum and glass doors are acceptable provided they have relief and articulation in the frame section. Security gates, grills and sliding doors are not permitted.

Example Doors Images Here

Example Storefront Images Here

Fenestration

This section will provide guidelines for the design and placement of windows and doors. As a point of reference, the scale of the Central Business Districts of Winter Park is one of its defining characteristics. Only a few of the buildings are over two stories in height. The openings, including doors, windows and storefronts shall respect the human scale. Eaves are low, upper floor windows are typically small and there is a high level of detail at the pedestrian scale. The proportions of the buildings are based on the human form and each building or facade must be treated as a consistent whole. New storefronts must respect historical proportions and their scale must be consistent with historic patterns in the downtown.

Windows

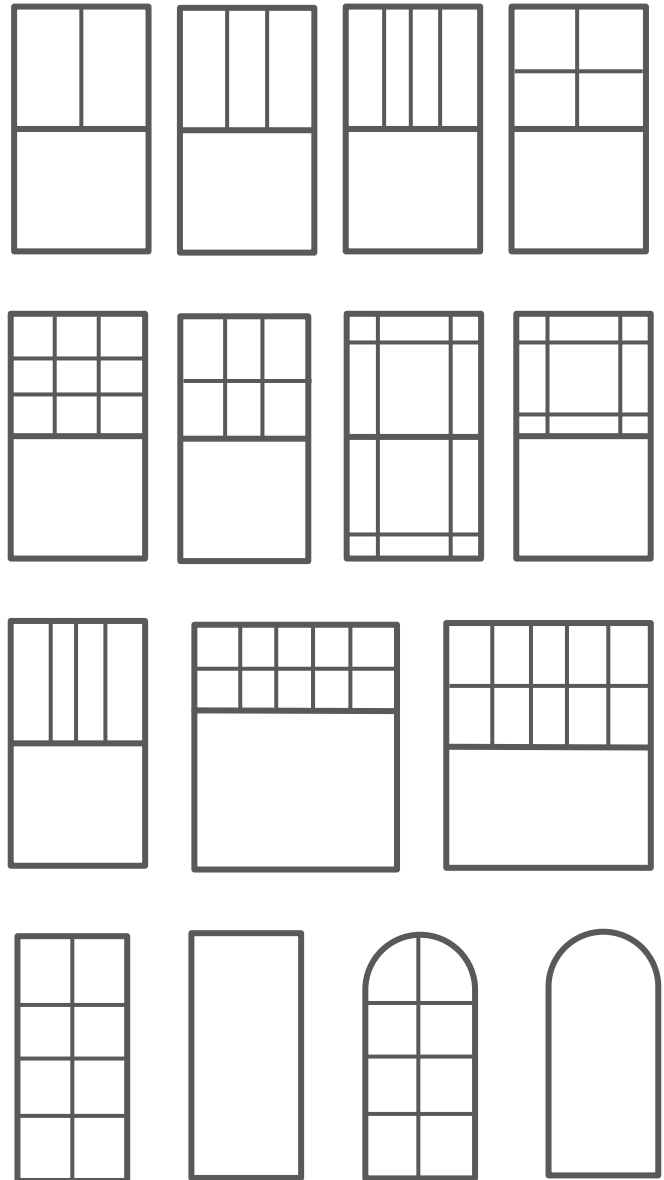
Configuration. The maximum square footage that is allowed per individual glazing panel is thirty (30) square feet. Transom lights above the show windows and above doors are permitted. A bulkhead wall **or landscaped area** under show windows, with a minimum vertical dimension of twelve inches, in a contrasting material to the storefront is **required**. Frameless glazing, mitered corners, etched glass, beveled glass, glass block and standard aluminum storefront systems are prohibited.

Materials. Wood, steel and aluminum window frames are acceptable. **Aluminum window frames are acceptable only if they have relief and articulation in the frame section.**

Example Window Images Here

Figure ##. Window and Door Divisions

* Muntins shall be applied to the exterior glazing surface.



Elements and Details

Awnings and Canopies

Configuration. Awnings and canopies shall be a minimum depth of eight feet (8'0") and shall not cover the horizontal expression line or extend into the second story facade. A canopy or awning is prohibited when a balcony is provided, however, an extension awning to the balcony is permitted in order to meet the minimum depth requirement.

Materials. Awnings shall be...

Balconies

Configuration. Balconies shall be cantilevered from the facade of the building. Balcony structural supports shall not extend to the ground, however, structural brackets or tie back rods are permitted. Balconies shall extend a minimum of one foot and a maximum of four feet from the face of the building and shall not extend one foot beyond the fenestration elements they serve in width. Materials, including railings, should complement the facade of the building.

Materials. Balconies shall be

Figure ##. Awnings and Canopies

Example Awning Images Here

Figure ##. Balconies

Example Balcony Images Here

Elements and Details

Cornices and Parapets

Cornices and parapets are important character defining elements of historic buildings and are usually associated with a particular architectural style. Historic commercial buildings typically have a cornice at the top of the building and often to signify an upper level floor. Parapets finish the top of a wall shielding flat roofs and rooftop mechanical equipment systems from view; both also provide building decoration. A cornice or parapet may be constructed from a variety of materials, including stone, brick, cast masonry, stucco, terra-cotta, wood or metal. Their different configurations, details, materials and colors all enrich the character of a building facade.

Original cornice and frieze elements should be preserved and maintained. Removal of these results in a blank, unfinished look.

- In cases where the original cornice or parapet is missing, the installation of a new cornice or parapet, based on physical or pictorial evidence of the original design, is encouraged.
- If no historical, physical and/or pictorial evidence exists for a particular building, new cornices may be of a design that is compatible in style, size, scale, and materials

Figure ##.

Example Cornice and Parapet Images Here

Ornamentation

Ornamentation may be used to achieve a specific architectural style and may include:

Quoins – Stones or bricks that accentuate the corners of buildings.

Moldings – Trim elements such as crown, chair rail, or base moldings.

Friezes – Decorative horizontal bands, often with relief sculptures or patterns.

Pediments – Triangular gables above entrances or windows, common in classical architecture.

Dentils – Small, tooth-like blocks found in moldings, particularly under cornices.

Medallions – Decorative circular or oval elements, often found on ceilings or walls.

Brackets – Decorative supports under eaves or ledges, often carved or shaped.

Spandrels – Triangular spaces between arches and surrounding features, often decorated.

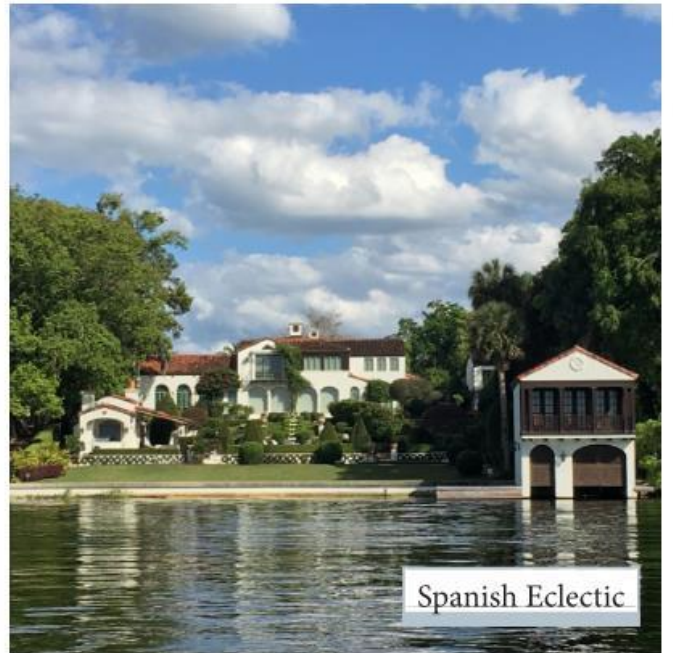
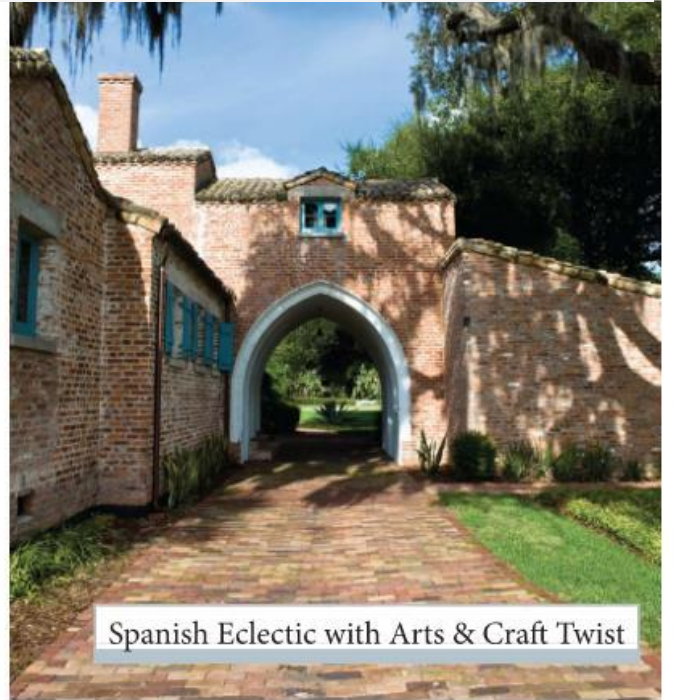
Niches – Recessed areas in walls often for displaying statues or decorative items.

Figure ##.

Example Ornamentation Images Here



Materials, Texture and Color



Section 12 Definitions

a. Graphics

The graphics, tables, and text utilized throughout this code are regulatory. In case of a conflict, text shall control over tables and graphics. Further tables shall control graphics.

b. Defined Terms

The following terms shall have the following meanings.

Balcony. An open air cantilevered structure.

Awning. Mounted to a building and extends over doors, windows or patios to provide shelter from the sun and rain. Awnings may be of different materials, such as fabric or metal.

Facade. The exterior face of a building, including but not limited to the wall, windows, windowsills, doorways, and design elements. The front facade is any building face adjacent to the front property line.

Frontage. The linear footage of property abutting a dedicated street or highway as measured along a lot or parcel of land. The length of the property line of any one parcel along a street on which it borders. For businesses in shopping centers it shall be measured along the front face of that portion of the building occupied by the business.

PLACEHOLDER UNTIL DRAFT IS COMPLETE



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Park Ave, Morse Blvd, and New England Ave Comments

Walking Tour Notes: Park Ave > Morse Blvd > New England

Awnings and Signage

- Enforcement of continuous cover of awnings, will this be included?
- Minimum awning depth should be 8ft - *at restaurants providing outdoor seating only.*
- Currently in the code for a preferred certain depth and continuous cover of awnings, but how do we regulate moving forward specifically looking into what architecture styles will allow for different awnings
- Enforcing cleanliness of awnings- putting in maintenance requirements for awnings and umbrellas to be cleaned to keep up with winter parks cleanliness standards - *Some other codes (beaufort, st. Pete have this language in their codes)*
- Some opinions on awning styles
 - Don't mind a variety of awnings as it allows for diversity and character with the different building styles
 - Should follow a standard shape and design- traditional. However certain buildings can be exempt based on their use and architecture (i.e., petersbrooke and the hotel on Park Ave)
 - Enforcing same pitch in order to control depth and height, but again will be dependent on usage for each building
 - Having awnings follow a building color scheme in order to flow better. Thoughts on enforcing a color code?
 - Alternative is having businesses submit their color scheme to the city of winter park for approval.
 - Allows for individual brand identity by having different colors
 - Enforcing building owners to follow a certain style so that it is consistent for the whole building
- Umbrellas should follow the color pattern of the awning to allow for flow and consistency within the business
- Valances are permitted in the old code for signage reasons
- Signage on the awnings should not be permitted
 - Pedestrians are unable to see these signs only purpose is for the car
- Lettering and signage on windows shall only take up 25% of the entire surface place
 - Potentially add in an enforcement for only a certain part of the window can have signage



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Photo Examples



1. One building but a lack of consistency of awning styles. Has different height, color, and depth. Also include an example of an unkept awning (seen on Patridge)



1. The different depths of awnings with the balcony overhead doesn't flow well or provide the pedestrian with consistent shade.
2. Also an example of how the hotel is exempt from the standard awning style.





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1. Good color pattern and scheme. Materials match to where you cannot really notice the awning as it blends with the windows and the door frames.



1. This is an example of something different for an awning as it is an extension of the building, and should not be disallowed.





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1. Highlights the difference between a bump out and a drop down. Bump out is encouraged for more sidewalk coverage.
2. The left image highlights a good example of an extra awning for restaurants with the extension.



1. Example of pedestrian signage
2. Planters at building base should be allowed



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1. Example of too much lettering on the window.



1. Example of signage on blade signs
 - a. Potential enforcement in code for blade signs to be moved off to the side of building instead of in pedestrian walkway. Minimum height should be 8ft.



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Balconies

- 6ft depth minimum, 8ft depth would be ideal
- Having balconies be in relation to the door is visually appealing
- Looking at sidewalk and property lines to determine the depth of a balcony and how far it can go over/cover the sidewalk.

Photo examples



1. Example of deep porches and how they come out of the pockets in the buildings. Are flushed to the corners.



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1. Example of Non deep porches/ protruding porches.
2. Photo shows the relation of the porch and the door.
 - a. Ideal visual for porches as it creates symmetry with the building.



1. Example of 4ft balconies that is continuous along the entire second floor of the building.



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Other Comments with photo examples



1. Good example of business window transparency on morse.
 - a. Good flow of materials throughout the buildings to allow for distinction.



1. Example of how the colors and materials match on the building.
 - a. Enforcing in the code for materials to match the metals of the buildings to flow seamlessly.



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1. Example of good building frontage, however the building is disconnected from the sidewalk.
 - a. Highlights the importance of the building flowing seamlessly with the sidewalk for pedestrian.



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- b. Left photo highlights the buffer between the building and the sidewalk with the small greenery.
- c. Potential extension of the arches and an overhead to cover the sidewalk



- 1. Photo showing current morse blvd.
 - a. Discussion on reducing the road down to one lane on both sides as it is not a busy road (12,500 trips average daily).
 - b. With reducing the lanes, could create a bigger median to allow for more green space or a bike path.
 - c. Adding bike lanes to this road is essential as it leads to two major grocery stores and will reduce/discourage car trips and promote alternatives like walking or biking.
 - d. Add in a buffer from the road and the sidewalk for pedestrian safety.



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1. Example of residential townhomes along morse blvd.
 - a. All follow the same design but have different materials
 - b. Correction would be to have each building having fixtures that match other metal design elements



1. Example of a Street wall.



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1. Photo example of ivy being allowed/permitted on buildings
 - a. Need clarification on the two types of ivy to be allowed.



1. No architectural variety, example of what type of buildings we do not want to permit in future developments
 - a. There should be a pedestrian grade.
 - b. There is no horizontal expression line to distinguish between the first and second floors.



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1. Example of neoclassical architecture.