



Community Redevelopment Advisory Board Regular Meeting

Agenda

October 17, 2024 @ 5:30 PM

City Hall Commission Chambers
401 S. Park Avenue

welcome

Agendas and all backup material supporting each agenda item are accessible via the city's website at cityofwinterpark.org/meetings and include virtual meeting instructions.

assistance & appeals

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"If a person decides to appeal any decision made by the Board with respect to any matter considered at this hearing, a record of the proceedings is needed to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based." (F.S. 286.0105).

please note

Times are projected and subject to change.

-
- 1. Call to Order**
 - 2. Consent Agenda**
 - a. Approve the minutes of August 22, 2024 1 Minute
 - 3. Public Comments (for items not on the agenda): Three minutes allowed for each speaker**
 - 4. Action Items**
 - a. Adjust meeting dates for October, November, December 2024 5 minutes
 - 5. Non-Action Items**
 - a. Capital Improvement Project List 40 minutes
 - 6. Staff Updates**
 - a. Project Updates 5 minutes
 - 7. Board Comments**
 - 8. Upcoming Agenda Items**
 - 9. Adjournment**



Community Redevelopment Advisory Board

agenda item 2.a

item type

Consent Agenda

meeting date

October 17, 2024

prepared by**approved by**

Peter Moore, Director of Office of
Management and Budget

subject

Approve the minutes of August 22, 2024

motion | recommendation**background****alternatives | other considerations****fiscal impact****attachments**

1. CRAB-mins-2024-08-22 DRAFT



Community Redevelopment Advisory Board Regular Meeting Minutes

August 22, 2024 at 5:30 PM

City Hall Commission Chambers
401 S. Park Avenue

Present

Carlos Benitez, Jay Trent, Lindsay Eriksson, Sherwin Sargeant, Pragasen Ramiah, Michael Perelman

Absent

Chauvet Paige

Staff Present

Assistant Director of Economic Development and CRA Kyle Dudgeon, CRA Coordinator Anne Sallee, Director of Office of Management & Budget Peter Moore

1. Call to Order

Mr. Benitez called the meeting to order at 5:30 p.m.

2. Consent Agenda

- a. Approve the minutes of July 24, 2024

Motion made by Mr. Trent to approve the minutes as amended, seconded by Ms. Eriksson. Motion carried unanimously with a 5-0 vote.

Minutes were amended to add Dr. Perelman's comment that the post office money should be reallocated because the post office project is not likely to happen.

3. Public Comments (for items not on the agenda)

4. Action Items

5. Non-Action Items

- a. Capital Improvement Project List

At the direction of the Board, Staff created a comprehensive list of potential capital improvement projects. The list, not exhaustive, includes projects from real estate, infrastructure, stormwater improvements, affordable housing (including community gardens), streetscape and landscape beautification, all projects within the City's adopted Transportation Master Plan, and projects identified in the CRA expansion amendment. The Board will need to take into consideration, projects have to be in the CRA and within the CRA plan. Mr. Moore suggested the need for uniformity and focus in moving projects forward and to Agency approval. The Community Redevelopment Agency will meet in November and February. Mr. Benitez asked for confirmation that at

the next Agency meeting, the Agency will be advised by staff that the Advisory Board requested to eliminate the Post Office project and have the \$7M earmarked for other projects. Mr. Dudgeon informed the Board that the determination to remove the Post Office project is up to the Agency. Further discussion concluded that the Orange County extension request will continue until finalized, the Advisory Board will prioritize projects to bring before the Agency, and the Agency will be made aware of the Advisory Board's wish to remove the purchase of the Post Office project and reallocate funds to chosen priority projects.

Board members reviewed the list of projects and discussed extending the railroad trail, the \$4M earmarked for the purchase of the Winter Park Playhouse property, beautification projects in the CRA district, community cultural activities that include businesses, and evening events in the parks. Further discussion continued concerning the improvement and connectivity of Denning and Fairbanks with the MLK park and the traffic box safety issue at the intersection of 17-92 and Morse Blvd. Suggestions were made to encourage affordable housing rehabilitation and demolishing blighted properties.

Mr. Moore summarized the suggestions made by the Board members on capital improvement projects. An updated list will be created and provided to the Board.

6. Staff Updates

a. Project Updates

Mr. Dudgeon updated the Board on the Dr. King sculpture. Pictures were displayed, followed by a short video. The sculpture is 95% complete and located at a foundry in Sanford, FL. The Board was updated on the MLK playground project and advised the city has procured a contractor, and will be working on the project into the new year.

7. Board Comments

Mr. Ramiah commended the positive brainstorming meeting and is looking forward to the next step. Mr. Benitez suggested the Board members attend the CRA meeting on 8/28 and applauded the Shady Park Pioneer memorial unveiling that he attended on 8/3/2024.

8. Upcoming Agenda Items

The Capital Improvement project list will be updated. The next meeting is scheduled for September 26, 2024.

9. Adjournment

The meeting adjourned at 6:23 p.m.

Regular Meeting of the Community Redevelopment Advisory Board
August 22, 2024
Page 3 of 3

Approved by the board on
/s/ Bahiyyah Layton, Board Coordinator



Community Redevelopment Advisory Board

agenda item 4.a

item type

Action Items

meeting date

October 17, 2024

prepared by

Kyle Dudgeon, Assistant Division Director of
Economic Development/CRA

approved by

Peter Moore, Director of Office of
Management and Budget

subject

Adjust meeting dates for October, November, December 2024

motion | recommendation

Pleasure is at the motion of the board

background

CRA Advisory Board meetings are scheduled to be held on the fourth Thursday of every month. Typically, this means during the winter holidays, staff works with the board to adjust the schedule to avoid conflicts. For 2024, the November meeting is scheduled for November 28 (Thanksgiving) and December 26 (day after Christmas). Additionally, CRA staff will be attending the annual Florida Redevelopment Association (FRA) conference the week of October 22-25.

In lieu of these conflicts and while not exhaustive, staff is proposing the following alternative dates. As of the distribution of this item, both proposed meetings would still be in the Commission Chambers. Meetings are also kept on Thursday's for continuity.

New Proposed Dates for CRA Advisory Board:

October 17th – CRA Advisory Board meeting, 5:30pm, City Hall Commission Chambers

November 6th - CRA Advisory Board meeting, 5:30pm, City Hall Commission Chambers

November 13th – CRA Agency meeting, 2:00pm, City Hall Commission Chambers

December – no CRAAB meeting

Of note, and while subject to change, the next scheduled CRA Agency meetings are for October 17 (CRA extension discussion), and November 13 (CIP discussion).

alternatives | other considerations

fiscal impact

attachments

None



Community Redevelopment Advisory Board

agenda item 5.a

item type

Non-Action Items

meeting date

October 17, 2024

prepared by

Kyle Dudgeon, Assistant Division Director of
Economic Development/CRA

approved by

Peter Moore, Director of Office of
Management and Budget

subject

Capital Improvement Project List

motion | recommendation

N/A

background

At the August CRA Advisory Board meeting, staff brought forward a starting conversation on capital improvement project recommendations. The intent was to be proactive in the upcoming discussion regarding the remaining years of the CRA and capital expenditure. At the conclusion of that meeting, staff stated the conversation would be additive to a comprehensive list of projects, and brought back to the board for continued discussion. To that end, attached is a comprehensive, but not exhaustive, list of potential capital projects the advisory board may wish to comment on or prioritize. Put simply, there may be other projects to consider, but any project must align with the CRA plan, and be within the boundaries of the CRA.

The attached list includes a myriad of projects from real estate, infrastructure, stormwater improvements, affordable housing (including community gardens), streetscape and landscape beautification, all the eligible projects within the city's adopted Transportation Master Plan, and projects identified in the CRA expansion amendment. Each project is notated by a category as well as indicated whether it was a board discussion item in August. That said, staff takeaway from the previous meeting was that no project was essentially 'off the table', but the priority of the September meeting should be to compile a priority consensus to insert into a forward-looking Capital Improvement Plan (CIP).

alternatives | other considerations

fiscal impact

attachments

1. Capital Projects Worksheet_September 2024 DRAFT
2. LEC Additional Parking Options Summary
3. Library Parking Expansion - Library Spaces and Harper
4. Comstock Ave Parking Exhibit

WINTER PARK CRA CAPITAL PROJECT WORKSHEET (DRAFT)				
SEPTEMBER 2024				
Category	Project	Amount	Notes	
*	Affordable Housing	Acquisition of blighted property	\$ 7,200,000	removal of slum/blighted conditions, repair, replace, gift, lease, or partner with property
*	Affordable Housing	Rehabilitation of existing stock	\$ 1,450,000	Continue and expand existing programming
	Beautification & Connectivity	Knowles Beautification	\$ 200,000	Funded for FY25 - Timing pending private construction dates. Tentative agreement from Sam at Rollins to accommodate loss of temporary parking.
*	Beautification & Connectivity	Winter Park kiosks	\$ 200,000	Includes new housing, tech, labor and integration. Further research required.
	Beautification & Connectivity	Bricking/road repair (CRA wide)	\$ 500,000	Enhancements as identified
*	Beautification & Connectivity	Landscape improvments (CRA wide)	\$ 500,000	Enhancements as identified
	Beautification & Connectivity	Hannibal Square gateway arch (x2)	\$ 300,000	Pending completion of Park Avenue gateways. Residents and businesses in HS have expressed an interest in their own gateway feature.
*	Community Development	Forward fund Playhouse	\$ 2,000,000	CRA discussed as a possible resource should the city consider the purchase of the playhouse property.
	Community Development	Centers for activity	\$ 25,000	Cultural elements, street closures for commerce, community development, and dissemination of information
*	Community Development	Synergy between MLK Unity Corner and WP Library	TBD	Coordination between the two MLK Park corners to enhance cultural enhancement, placemaking, synergy along Morse Blvd.
*	Infrastructure	Denning/Fairbanks corner streetscape improvements (Community Benefit Agreement)	\$ 1,500,000	Cost is estimated pending the outcome of design.
	Infrastructure	Denning/Fairbanks (Stormwater)	\$ 500,000	Cost pending identified solution.
	Infrastructure	Addl Funding for W. Meadow RR/Facility	\$ 200,000	Pending outcome of bid responses (release date 8/30).
*	Infrastructure	Lighting and shade structure for Shady Park	\$ 100,000	Review of park lighting and shade structure at ampitheatre space.
*	Infrastructure	17-92 @ Morse Intersection	\$ 100,000	Potential to fast track signal box move for line of sight and safety multimodal improvement (also for staff access). Would not include redesign from Kimley @ roughly 35K.
*	Infrastructure	Connectivity to Lake Rose	TBD	Expansion of MLK Park enhancements to include increased connectivity around Lake Rose (sinkhole) and city-owned/private properties along Fairbanks Avenue.
*	Infrastructure	17/92 Unfunded	\$ 7,000,000	Estimate dependent upon FDOT update by year end. Does not include cost of FDOT required utility moves.
	Infrastructure	Shared use path - New York Ave to Central Parl	\$ 2,176,000	As noted in the Transportation Master Plan, this project proposed
*	Infrastructure	Canton Ave Drainage	\$ 500,000	Drainage improvements at Canton Avenue between Park Avenue and Knowles.
*	Infrastructure	Fairbanks property acquisition/Complete Street reconfiguration	\$ 18,500,000	from Table 6 Transportation Master Plan.
	Infrastructure	Winter Park Library Parking	\$1,200,000	City Commission requested the CRA review the total cost of adding up to 103 new spaces at MLK Park comprised of three components including a modified striping of the paved MLK surface lot, parking on Harper Street and Comstock Ave.
*	Infrastructure	Nicolet Pond stormwater improvement	\$ 200,000	Pending CRA expansion, this project provides stormwater relief in the W. Fairbanks area using two city-owned properties near Nicolet Avenue.
			\$ 44,351,000	

*Indicates discussion by the CRAAB board at the August meeting

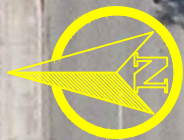
**Project list is not exhaustive. Items may be added or removed as part of the CRAAB recommendation process

***Costs are provided to indicate order of magnitude and should not be construed as a final commitment or pledge.

LEC Additional Parking Options

- Option B (revised 9/4/24)
 - o Asphalt
 - 33 additional spaces
 - Estimated Cost \$248K (incl. 20% contingency)
 - Stormwater retention included on site
 - Permit modification required
 - o Additional impacts
 - No -Relocation of croquet court
 - No - Demolition of the Lake Island Hall building
 - Orange County Air Quality Facility *
- Option D: Parallel Parking (Harper Street) (revised 9/4/24)
 - o 26 Additional Spaces
 - o Estimated Cost \$187K (incl. 20% contingency)
 - o Construction requirements
 - retaining wall (3 feet high)
 - sidewalk replacement
 - type F curb const.
 - drop curb const.
 - vertical curb const.
 - asphalt pavement const. (incl. base)
- Comstock Avenue
 - o 44 Additional Spaces
 - o Estimated Cost \$745K (incl. 20% contingency)
 - o Stormwater retention included in the paver design
 - o Construction requirements
 - permit required
 - raise street profile grade
 - curb const.
 - street resurfacing
 - modify softball parking lot exit

* There is no defined setback from the air quality building that we must adhere to. Instead, any changes we propose to the area would need to be discussed with EPD and provided to the EPA. It was discussed with EPD the Parks maintenance building is close enough to skew the air quality data with their vehicles. The corner of this building is roughly 38 feet away. However, the existing dirt parking to the north does not cause any issues, even at peak usage. This is roughly 130 feet away. We are required to keep Orange County EPD in the loop with anything that is decided. They are at the mercy of the EPA since air quality monitoring is a federal program.



MORSE BOULEVARD

HARPER STREET

WINTER PARK
LIBRARY

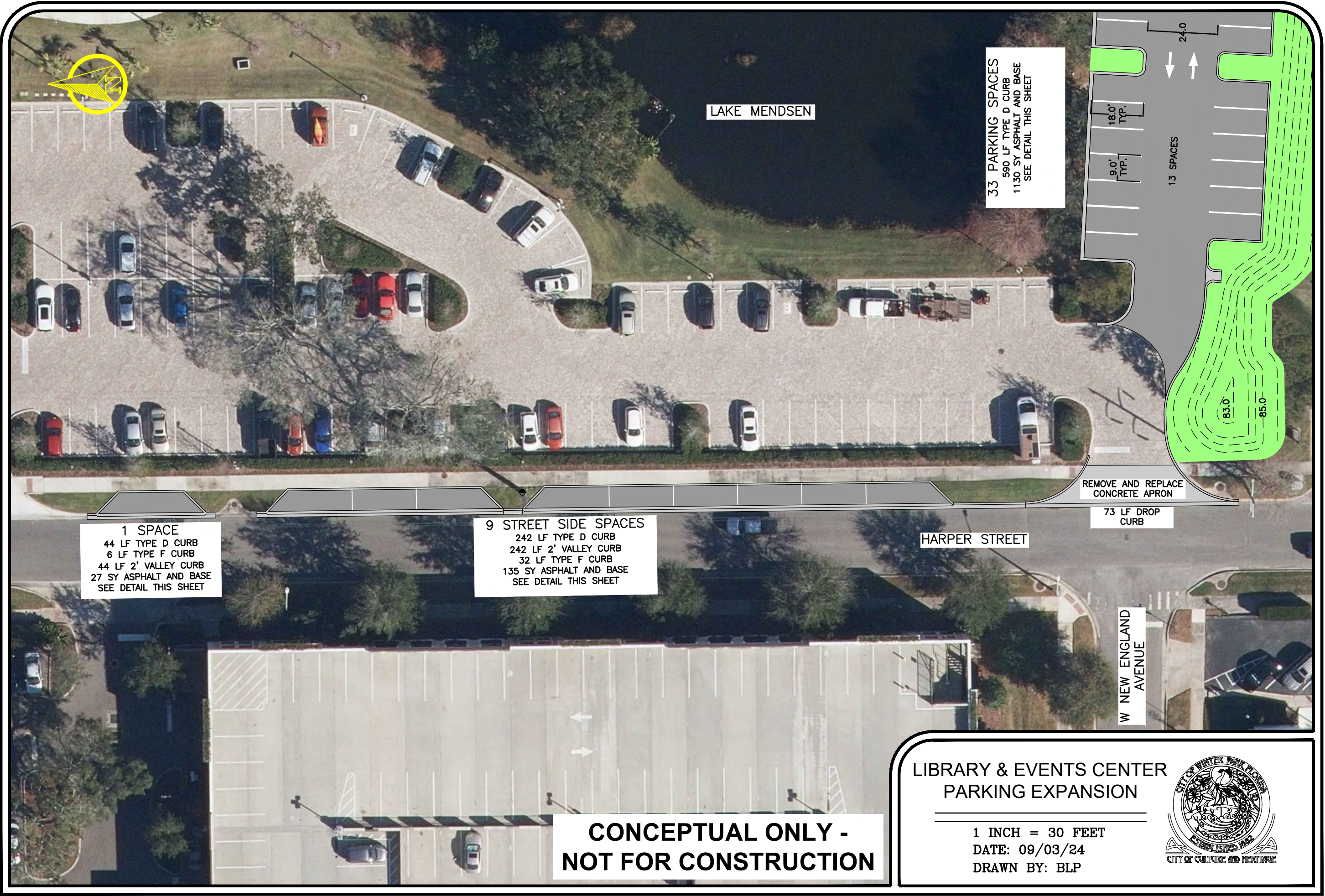
10 STREET SIDE SPACES
242 LF TYPE D CURB
242 LF 2' VALLEY CURB
6 LF TYPE F CURB
200 SY ASPHALT AND BASE
SEE DETAIL THIS SHEET

**CONCEPTUAL ONLY -
NOT FOR CONSTRUCTION**

LIBRARY & EVENTS CENTER
PARKING EXPANSION

1 INCH = 30 FEET
DATE: 09/03/24
DRAWN BY: BLP





LAKE MENDESEN

33 PARKING SPACES
590 LF TYPE D CURB
1130 SY ASPHALT AND BASE
SEE DETAIL THIS SHEET



1 SPACE
44 LF TYPE D CURB
6 LF TYPE F CURB
44 LF 2' VALLEY CURB
27 SY ASPHALT AND BASE
SEE DETAIL THIS SHEET

9 STREET SIDE SPACES
242 LF TYPE D CURB
242 LF 2' VALLEY CURB
32 LF TYPE F CURB
135 SY ASPHALT AND BASE
SEE DETAIL THIS SHEET

HARPER STREET

REMOVE AND REPLACE
CONCRETE APRON
73 LF DROP
CURB

W NEW ENGLAND
AVENUE

**CONCEPTUAL ONLY -
NOT FOR CONSTRUCTION**

**LIBRARY & EVENTS CENTER
PARKING EXPANSION**

1 INCH = 30 FEET
DATE: 09/03/24
DRAWN BY: BLP





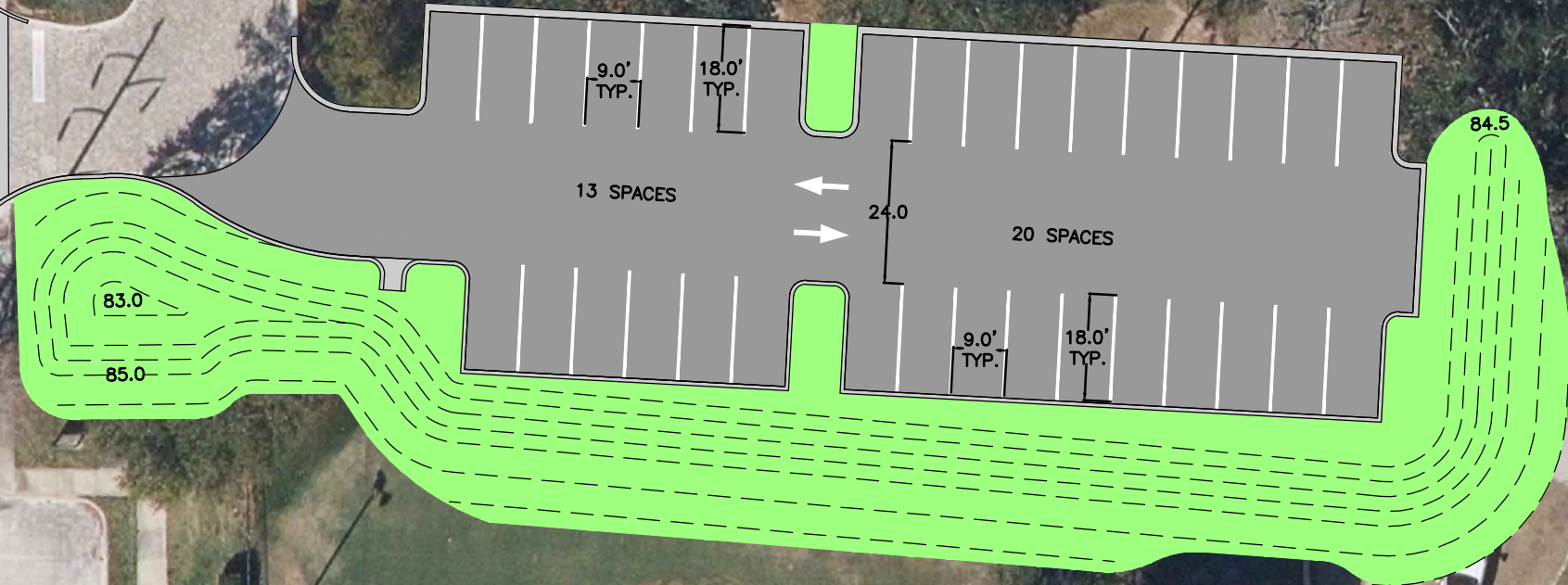
LAKE MENDSEN

33 PARKING SPACES
590 LF TYPE D CURB
1130 SY ASPHALT AND BASE
SEE DETAIL THIS SHEET

HARPER STREET

W NEW ENGLAND AVENUE

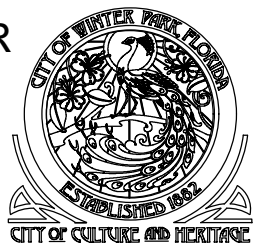
REMOVE AND REPLACE
CONCRETE APRON
73 LF DROP
CURB

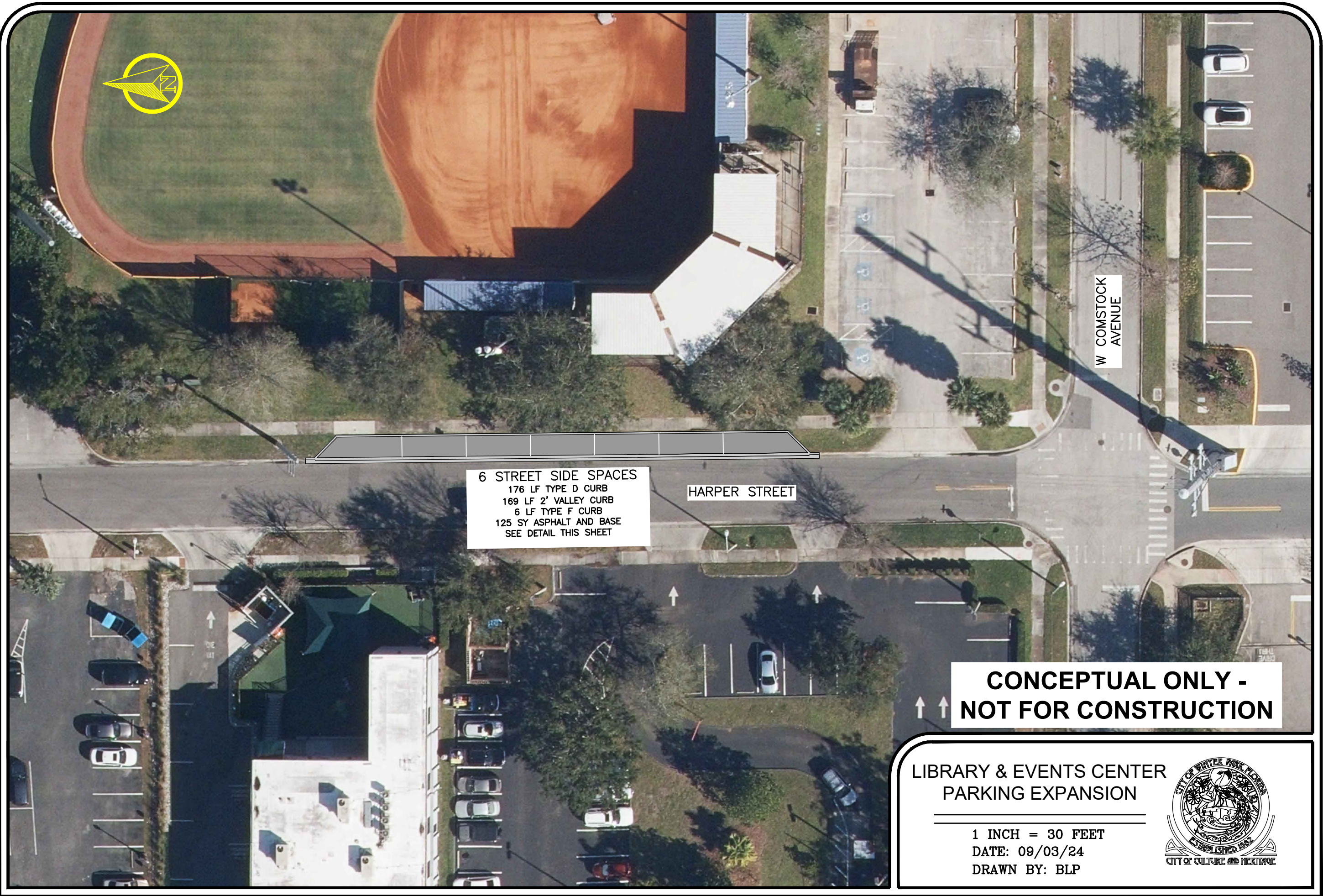


**CONCEPTUAL ONLY -
NOT FOR CONSTRUCTION**

LIBRARY & EVENTS CENTER
PARKING EXPANSION

1 INCH = 30 FEET
DATE: 09/03/24
DRAWN BY: BLP





6 STREET SIDE SPACES
176 LF TYPE D CURB
169 LF 2' VALLEY CURB
6 LF TYPE F CURB
125 SY ASPHALT AND BASE
SEE DETAIL THIS SHEET

HARPER STREET

W COMSTOCK
AVENUE

**CONCEPTUAL ONLY -
NOT FOR CONSTRUCTION**

LIBRARY & EVENTS CENTER
PARKING EXPANSION

1 INCH = 30 FEET
DATE: 09/03/24
DRAWN BY: BLP





HARPER STREET

INLET SEDIMENT PROTECTION

RELOCATE EXISTING TELEPHONE RISER

EXISTING WATER MAIN AND APPURTENANCES

PROPOSED PERVIOUS PAVER SYSTEM (SEE DETAIL THIS SHEET)

ADD ASPHALT/BASE AND REPAVE AS NECESSARY TO HARMONIZE GRADES

REGRADE ASPHALT/BASE AND REPAVE AS NECESSARY TO HARMONIZE GRADES

CONVERT EXISTING INLET TO J7T MH TOP EL 86.66

8" RIBBON CURB

W COMSTOCK AVENUE

INLET SEDIMENT PROTECTION

MATCH EXISTING SIDEWALK GRADE

18" MIAMI CURB

MATCH EXISTING SIDEWALK GRADE

ADD ASPHALT/BASE AND REPAVE AS NECESSARY TO HARMONIZE GRADES

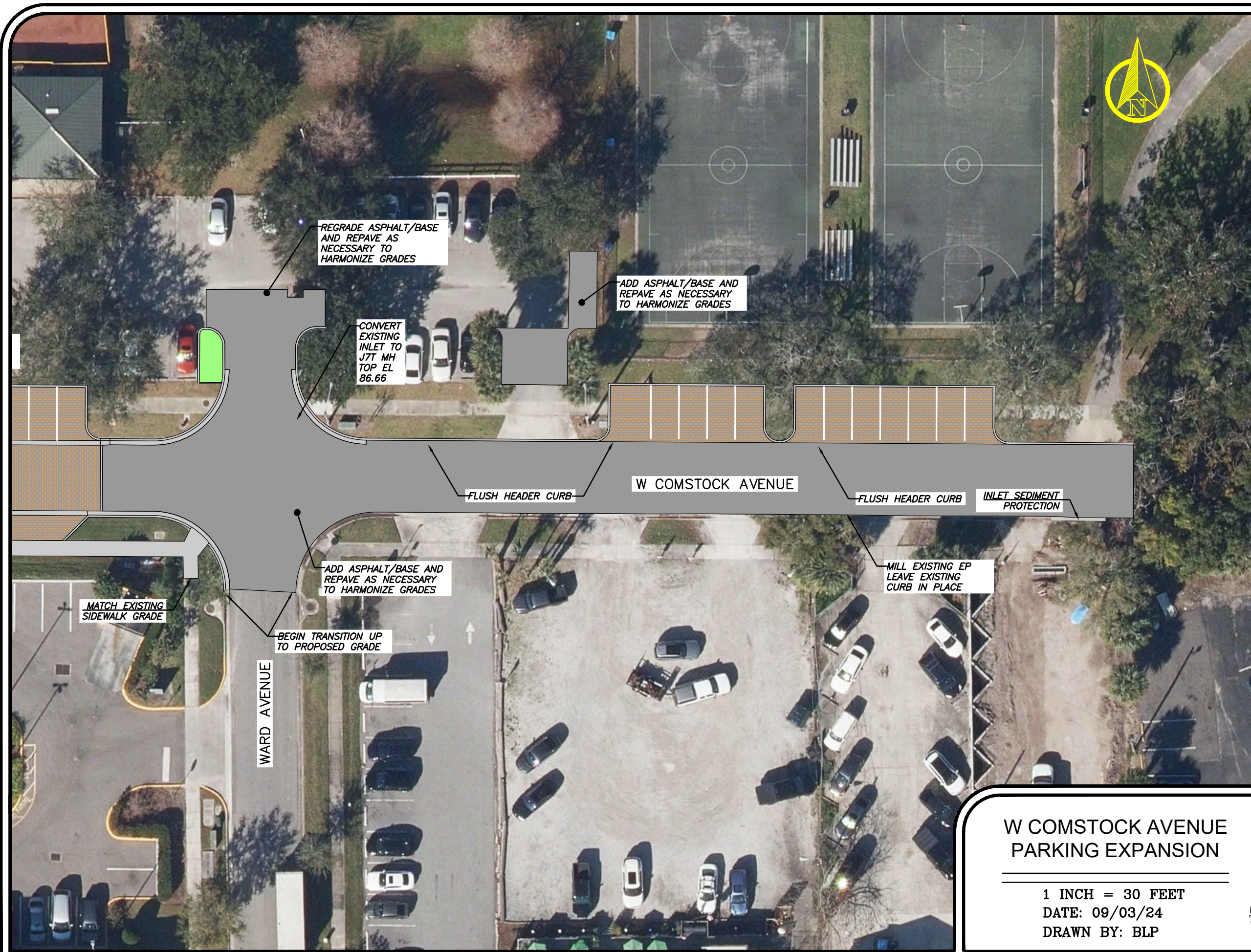
BEGIN TRANSITION UP TO PROPOSED GRADE

WARD AVENUE

W COMSTOCK AVENUE
PARKING EXPANSION

1 INCH = 30 FEET
DATE: 09/03/24
DRAWN BY: BLP





W COMSTOCK AVENUE PARKING EXPANSION

1 INCH = 30 FEET
DATE: 09/03/24
DRAWN BY: BLP





Community Redevelopment Advisory Board

agenda item 6.a

item type

Staff Updates

meeting date

October 17, 2024

prepared by

Kyle Dudgeon, Assistant Division Director of
Economic Development/CRA

approved by

Peter Moore, Director of Office of
Management and Budget

subject

Project Updates

motion | recommendation

background

Staff is providing an update relative to the following topics. In general, these do not necessitate action by the board, but are included to provide the public the most up-to-date information regarding the status of various issues. The board may use this time to address discussion or viewpoints on these items.

(1) New York Avenue Streetscape - Phase II intersection of New York at Comstock is complete. Morse is at 50% including removal of mast arm on the northeast corner. Remaining intersection sections are expected to be completed before the end of the year with a full milling of the road in January.

(2) Denning/Webster North Enhancements - Project complete. Adds a 10-foot wide path, 10 foot landscape buffer space for trees, and two 10-foot wide vehicle traffic lanes.

(3) Denning/Fairbanks Improvements - Project complete. With the community benefit agreement in place for the northeast corner of the intersection, the CRA may be asked to contribute to improvements such as a turn lane and stormwater mitigation in the future.

(4) Shady Park Enhancements - Project complete.

(5) MLK Park Unity Corner - City staff has been coordinating with an artist, landscape architect (Dix Hite), and general contractor (GC) regarding a construction and installation plan. An agreed upon construction cost from the GC has been executed. Artist is expecting completion of statue and other elements within their scope to be ready in early 2025. Site

preparation and construction are expected to begin in Fall 2024 as a precise effort of installing portions of surrounding hardscape cannot be completed until after completion of the statue and memorial wall by artist. Based on coordination and construction time, estimated target date is between mid-January to February 2024. Copies of the latest information on MLK Park can be found at: <https://cityofwinterpark.org/government/projects/mlk-jrpark-renovations-project/>

(6) MLK Park Community Playground - Contract award has been issued for the project. Staff is beginning pre-con meetings.

(7) Park Avenue Gateway Arches - Final renderings of the project have been crafted. Gateways are nearing fabrication. Construction of the project is expected by the end of December 2024.

(8) West Meadow Public Facility - An RFP has been issued for the facility on August 30 with a due date of October 8. A tentative construction timeline of November 2024 - May 2025 is currently expected.

(9) CRA Extension - Staff has participated in numerous public meetings including the CRA Advisory Board, Planning and Zoning, CRA Agency, City Commission, and Orange County. To date, staff is working with Orange County staff on a final date for interlocal agreement approval. It is anticipated this will occur during the fall months.

alternatives | other considerations

fiscal impact

attachments

1. City of Winter Park 2400241 R5

SCOPE OF WORK: **A**

Don Bell Signs fabricate & install:
(1) NON-ILLUMINATED ARCHWAY ID as noted
* Electric outlets as noted @ each support for future use

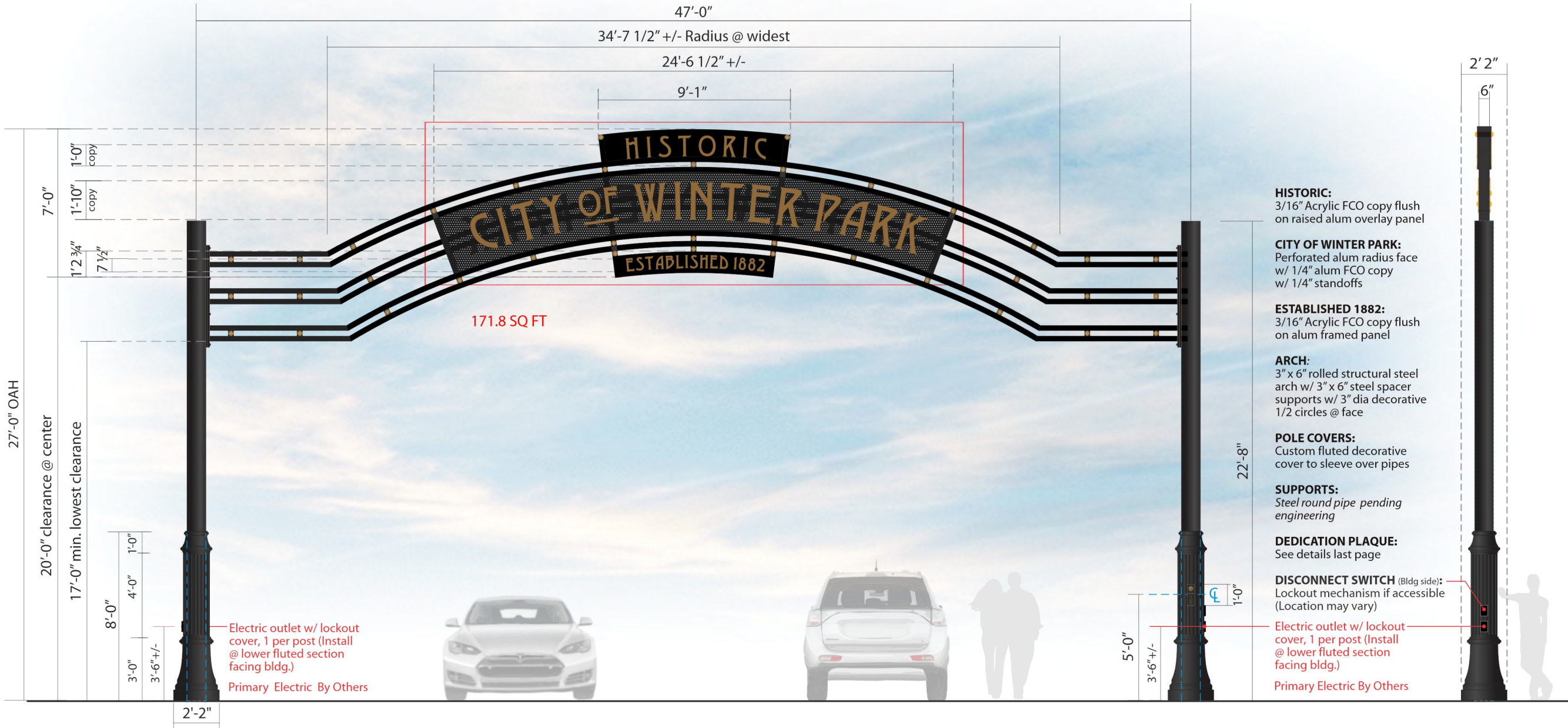
- NOTES:
- * Archway placement TBD
 - * Final concept may vary pending engineering
 - * Any / all obstructions removed by others (if req'd)
 - * Landscaping by others (if req'd)



BACK SIDE LOOK (Partial): Scale: 1/8" = 1'

PAINT/ MATERIALS:

SW 6258 Tricorn Black	SW6132 Relic Bronze	Small Hole Perf. Alum.



HISTORIC:
3/16" Acrylic FCO copy flush
on raised alum overlay panel

CITY OF WINTER PARK:
Perforated alum radius face
w/ 1/4" alum FCO copy
w/ 1/4" standoffs

ESTABLISHED 1882:
3/16" Acrylic FCO copy flush
on alum framed panel

ARCH:
3" x 6" rolled structural steel
arch w/ 3" x 6" steel spacer
supports w/ 3" dia decorative
1/2 circles @ face

POLE COVERS:
Custom fluted decorative
cover to sleeve over pipes

SUPPORTS:
Steel round pipe pending
engineering

DEDICATION PLAQUE:
See details last page

DISCONNECT SWITCH (Bldg side):
Lockout mechanism if accessible
(Location may vary)

**Electric outlet w/ lockout
cover, 1 per post (Install
@ lower fluted section
facing bldg.)**

Primary Electric By Others

All signage to be installed in compliance
with National Electrical Code - NEC 2020

All signage to be constructed and installed
according to ETL standards.

Electrical Requirements () 20 AMP Circuit(s) @ 120v

PRIMARY ELECTRIC BY OTHERS

(1) D/F 47" ARCHWAY ID SIGN:
173 ABSOLUTE SQ FT Scale: 3/16" = 1'

- NOTES:
- ALL HARDWARE TO BE NON-CORROSIVE.
 - DISCONNECT SWITCH TO HAVE LOCKOUT MECHANISM (IF ACCESSIBLE)
 - ALL PENETRATIONS TO HAVE BUSHINGS.
 - COLORS SHOWN ON SCREEN MAY VARY FROM ACTUAL

Note: This design pending engineering.



DESIGN #: **2400241 R5**
DATE: **5.17.24**
DRAWN BY: *Julie Reilly*

- Revisions / Date / Initials
- R1 6.6.24 JR Enlarged copy w/ D/F options with & w/out backer
 - R2 6.26.24 JR Update look t/m brochure w/ support opt's
 - R3 7.18.24 JR Add combined post opt
 - R4 8.26.24 JR Del opt, added colors, font, adjust columns per prelim. eng plq & outlet details
 - R5. 19.29.24 JR chg Historic panel & min clearance to 17' per city request

ETL Acct. #115459
UL 48 Listed Signage
All Sign Components shall be UL listed and Recognized in the SAM Manual
All Wiring shall be at least 90' C rated

ACCT # 115459 ☐ 120 Volt
US ☐ 277 Volt

SHEET 1

ACCOUNT: CITY OF WINTER PARK

STREET: PARK AVE

CITY: WINTER PARK STATE: FL

SALES REP: IZZIE ENWALL

SCALE: As Noted

FILE NAME: CoreIDRAW

PROGRAM: CoreIDRAW

FOUNTS USED:

CUSTOMER APPROVAL: DATE:

Note: Primary power & signage lighting control by others. The primary power must be located within 5' of applicable signs installation location.

All penetrations to have bushings

PRIMARY ELECTRIC BY OTHERS

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365 OAK PLACE
PORT ORANGE, FL 32127
386-788-8084
800-824-0080

A



NOTE: Placement for conceptual purposes only & scale may vary

NTS



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DRAWN BY: *Julie Reilly*

Revisions / Date / Initials

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R5. 19.29.24 JR chg Historic panel & min clearance to 17' per city request

ETL Acct. #115459
UL 48 Listed Signage
All Sign Components shall be UL listed and Recognized in the SAM Manual
All Wiring shall be at least 90° C rated

ETL LISTED ACCT # 115459 US ☐ 120 Volt ☐ 277 Volt

SHEET 2

ACCOUNT CITY OF WINTER PARK

STREET PARK AVE

CITY WINTER PARK STATE FL

SALES REP. IZZIE ENWALL

SCALE As Noted

FILE NAME

PROGRAM CorelDRAW

DATE

CUSTOMER APPROVAL

Note: Primary power & signage lighting control by others. The primary power must be located within 5' of applicable signs installation location.

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NTS



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DRAWN BY: *Julie Reilly*

Revisions / Date / Initials

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All Wiring shall be at least 90° C rated

ETL LISTED ACCT # 115459 US ☐ 120 Volt ☐ 277 Volt

SHEET 4

ACCOUNT CITY OF WINTER PARK

STREET PARK AVE

CITY WINTER PARK STATE FL

SALES REP. IZZIE ENWALL

SCALE As Noted

FILE NAME

PROGRAM CoreIDRAW

FOUNTS USED

CUSTOMER APPROVAL DATE

Note: Primary power & signage lighting control by others. The primary power must be located within 5' of applicable signs installation location.

All penetrations to have bushings

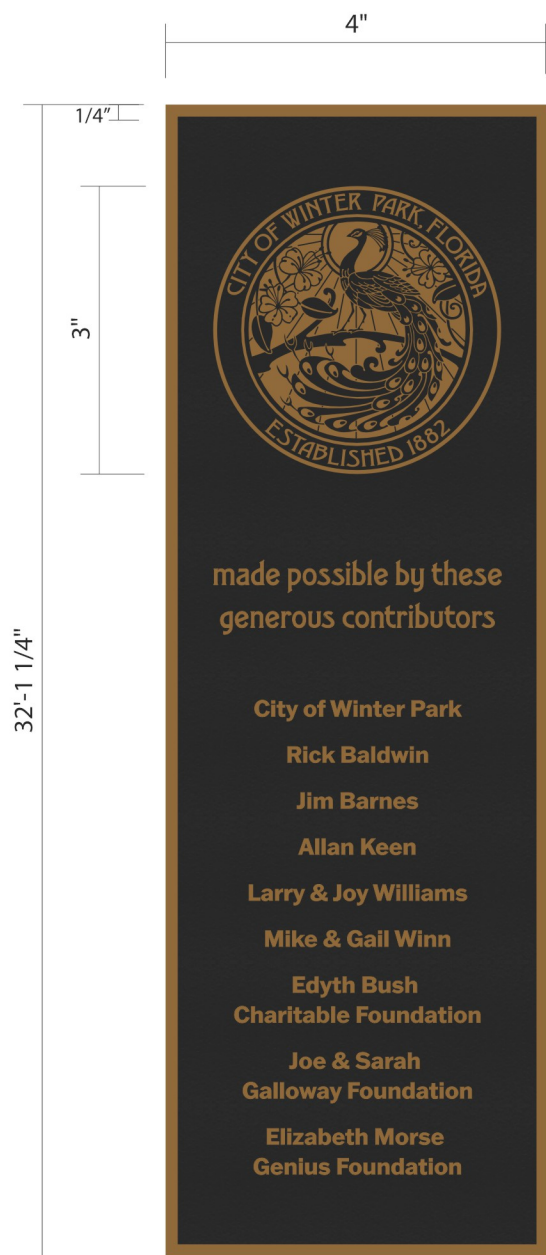
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386-788-8084
800-824-0080

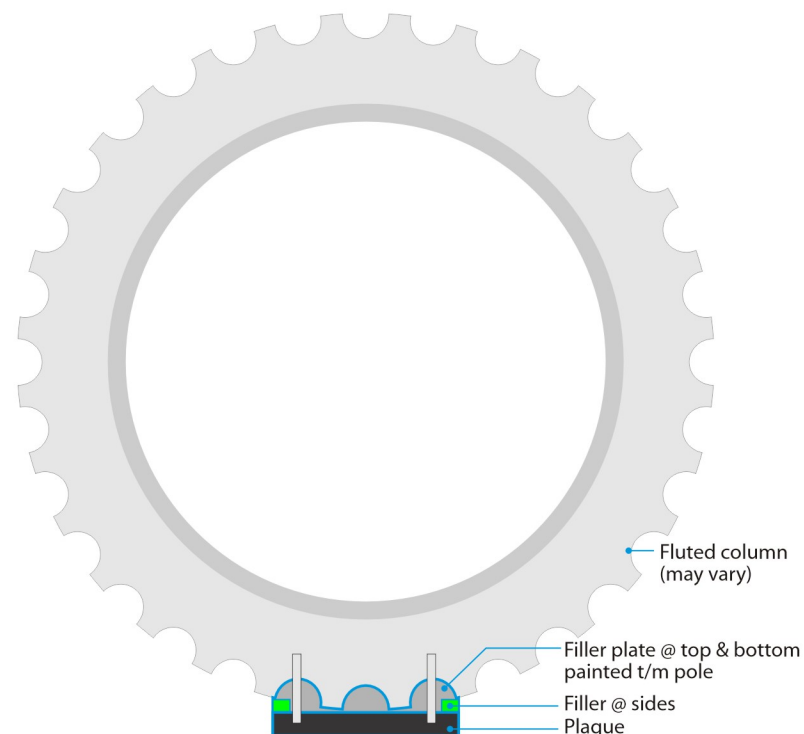
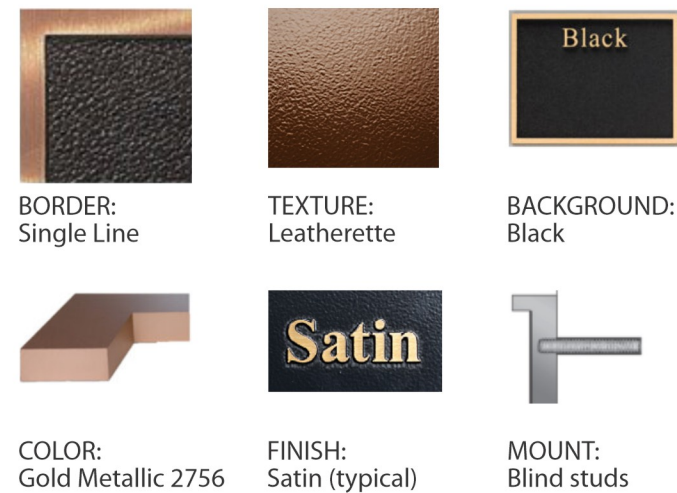
VERIFY: CUSTOMER TO VERIFY ALL FINISHES



(2) ETCHED PLAQUES
.33 SQ FT EA. Scale: 1:2

Fabrication details pending vendor requirements

PLAQUE FINISHES:



ATTACHMENT:
Scale: 1:4



Existing light pole for reference

POWER OUTLETS

NTS

Each pole to have electric outlet w/ lockout cover facing building.



DESIGN #: 2400241 R5
DATE: 5.17.24
DRAWN BY: Julie Reilly

Revisions / Date / Initials

R1 6.6.24 JR Enlarged copy w/ D/F options with & w/out backer
R2 6.26.24 JR Update look t/m brochure w/ support opt's
R3 7.18.24 JR Add combined post opt
R4 8.26.24 JR Del opt, added colors, font, adjust columns per prelim. eng plq & outlet details
R5. 19.29.24 JR chg Historic panel & min clearance to 17' per city request

ETL Acct. #115459
UL 48 Listed Signage
All Sign Components shall be UL listed and Recognized in the SAM Manual
All Wiring shall be at least 90° C rated

ACCT # 115459
US 120 Volt
277 Volt

SHEET 5

ACCOUNT CITY OF WINTER PARK
STREET PARK AVE
CITY WINTER PARK STATE FL
SALES REP. IZZIE ENWALL
SCALE As Noted
FILE NAME
PROGRAM CoreIDRAW
FONTS USED
CUSTOMER APPROVAL DATE

Note: Primary power & signage lighting control by others. The primary power must be located within 5' of applicable signs installation location.

All penetrations to have bushings

PRIMARY ELECTRIC BY OTHERS

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