



Board of Adjustments Regular Meeting

Agenda

August 20, 2024 @ 5:00 PM

City Hall Commission Chambers
401 S. Park Avenue

welcome

Agendas and all backup material supporting each agenda item are accessible via the city's website at cityofwinterpark.org/meetings and include virtual meeting instructions.

assistance & appeals

Persons with disabilities needing assistance to participate in any of these proceedings should contact the City Clerk's Office ([407-599-3277](tel:407-599-3277)) at least 48 hours in advance of the meeting.

"If a person decides to appeal any decision made by the Board with respect to any matter considered at this hearing, a record of the proceedings is needed to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based." (F.S. 286.0105).

please note

Times are projected and subject to change.

-
- 1. Call to Order**
 - 2. Consent Agenda**
 - a. Approve the minutes of July 16, 2024. 1 minute
 - 3. Public Comments (for items not on the agenda): Three minutes allowed for each speaker**
 - 4. Public Hearings (Public participation and comment on these matters must be in person.)**
 - a. BOA-2024-0006. Request of TEK Contracting, Inc., for variance approval from Section 58-65 subsections (f)(7) and (f)(8), to allow a 9.2-foot second-story setback in lieu of the required 16-foot second-story side setback and a 16-foot rear setback in lieu of the required 35-foot second-story rear setback in conjunction with the proposed addition to the existing home located at 2960 Parkland Drive, zoned R-1A. 10 minutes
 - 5. Non-Action Items**
 - 6. Staff Updates**
 - 7. Board Comments**
 - 8. Upcoming Agenda Items**
 - 9. Adjournment**



Board of Adjustments

agenda item 2.a

item type

Consent Agenda

meeting date

August 20, 2024

prepared by

Mary Bush, Administrative Coordinator III

approved by**subject**

Approve the minutes of July 16, 2024.

motion | recommendation**background****alternatives | other considerations****fiscal impact****attachments**

1. Draft Board of Adjustments Regular Meeting Minutes



Board of Adjustments Regular Meeting Minutes

July 16, 2024 at 5:00 PM

City Hall Commission Chambers
401 S. Park Avenue

Present

Michael Clary, Ann Higbie, Charles Steinberg, Robert Trompke, Aimee Hitchner, Jeanne Reynaud, Frank Pruitt

Absent

None

Staff Present

Director of Planning & Zoning Allison McGillis, Planner II Nicholas Lewis, Planner I Corinna Lundgren, Administrative Coordinator Mary Bush

1. Call to Order

Vice-Chair Charles Steinberg called the meeting to order at 5:00 p.m.

2. Selection of Chair and Vice-Chair

Motion made by Ann Higbie, seconded by Michael Clary, to nominate Charles Steinberg as Chair of the Board. Mr. Steinberg accepted the nomination.

By a roll call vote, the motion carried by a 7-0 vote.

Motion made by Ann Higbie, seconded by Michael Clary, to nominate Robert Trompke as Vice-Chair of the Board. Mr. Trompke accepted the nomination.

By a roll call vote, the motion carried by a 7-0 vote.

3. Consent Agenda

- a. Approve the minutes of May 21, 2024.

Motion made by Robert Trompke, seconded by Michael Clary, to approve the May 21, 2024 meeting minutes.

The motion carried unanimously by a 7-0 vote.

4. Public Comments (for items not on the agenda): Three minutes allowed for each speaker

No one from the public wished to speak. The public hearing was closed.

5. Public Hearings (Public participation and comment on these matters must be in person.)

- a. BOA-#24-04 Request of Alexandre Oelsner for variance approval from Section 58-70 subsection (a)(2) to allow a 14-foot street-side setback in lieu of the required 20-foot street-side setback as part of the proposed addition and overall renovations to the existing home located at 1251 Via Estrella, zoned R-1AA. **This item was continued from the June 18th meeting due to a lack of quorum.**

Ms. Lundgren provided a summary of the item. She noted that the item had been continued from the June 18, 2024 regular meeting. She noted that staff had received four neighbor letters, all in approval of the request. She then indicated that the home had been constructed in 1957 and the applicant was proposing to add an addition which creates a bump out of 6-feet beyond the required side setback of 20-feet in conjunction with the overall renovations to their home. Ms. Lundgren then reviewed the variance approval criteria for the item. She noted that the lot is a corner lot with a uniquely deep right-of-way on both Temple Drive and Via Estrella and that the applicant had not maxed out their floor-area-ratio. She then indicated that the only allowable area for the addition is on the street side portion of the existing home facing Temple Drive. She went on to add that staff felt that it is unlikely that the requested variance would impose any potential special privilege for future nonconforming uses of neighboring lands, structures, or buildings.

Staff recommendation was for approval.

A brief discussion ensued regarding clarification of the right-of-way setback on Temple Drive.

No one from the public wished to speak. The public hearing was closed.

The Board shared their thoughts on the item, and they were overall in favor of the item and felt that the request was reasonable.

Motion made by Aimee Hitchner, seconded by Ann Higbie for variance approval from Section 58-70 subsection (a)(2) to allow a 14-foot street-side setback in lieu of the required 20-foot street-side setback as part of the proposed addition and overall renovations to the existing home located at 1251 Via Estrella, zoned R-1AA.

The motion carried unanimously by a 7-0 vote.

- b. BOA #24-05. Request of Superior Aluminum Installations for variance approval from Section 58-65 subsections (f)(7) and (f)(8), to allow a 9.6-foot first-floor side setback in lieu of the required 11-foot, first-floor side setback and a 15-foot first-floor rear setback in lieu of the required 25-foot first-floor rear setback in conjunction with the proposed addition to the existing home located at 1214 Lindenwood Lane, zoned R-1A.

Mr. Lewis provided a summary of the item. He noted that the parcel is the only one that shares a border with the adjacent VA Hospital that cannot utilize the code-allowed 10-foot rear setback for properties that abut non-residential properties. He also noted that staff received two neighbor letters, both in approval of the request. He then indicated that the applicant was requesting to extend the existing primary bedroom suite located off the rear of the home by 15 feet. He explained that if the proposed rear setback was not an issue, the variance could be approved administratively. Mr. Lewis then went on to review the variance approval criteria. He explained that the addition had to have both requested variances, or it could not be granted approval. He added that because it is the only property abutting the VA Hospital that does not allow for the reduced rear setback outright, it is unlikely that the variance would impose any special privilege on neighboring lands, structures, or buildings.

Staff recommendation was for approval.

A brief discussion ensued regarding whether the lot was the only one in the city with the rear setback issue.

No one from the public wished to speak. The public hearing was closed.

The Board shared their thoughts on the item and were overall in favor of the request.

Motion made by Robert Trompke, seconded by Aimee Hitchner for variance approval from Section 58-65 subsections (f)(7) and (f)(8), to allow a 9.6-foot first-floor side setback in lieu of the required 11-foot, first-floor side setback and a 15-foot first-floor rear setback in lieu of the required 25-foot first-floor rear setback in conjunction with the proposed addition to the existing home located at 1214 Lindenwood Lane, zoned R-1A.

The motion carried unanimously by a 7-0 vote.

- c. BOA #24-06 Request of TEK Contracting Inc. **This item has been continued to the August 20, 2024 regular meeting.**

Mr. Lewis noted that the item was continued to the August 20, 2024 regular meeting due to a change of the requested rear setback, which requires a new public notice.

6. Non-Action Items

7. Staff Updates

8. Board Comments

9. Upcoming Agenda Items

10. Adjournment

The meeting adjourned at 5:30 p.m.

ATTEST:

/s/ Mary Bush, Recording Secretary



Board of Adjustments

agenda item 4.a

item type

Public Hearings (Public participation and comment on these matters must be in person.)

meeting date

August 20, 2024

prepared by

Nicholas Lewis, Planner II

approved by

Allison McGillis, Director of Planning and Zoning

subject

BOA-2024-0006. Request of TEK Contracting, Inc., for variance approval from Section 58-65 subsections (f)(7) and (f)(8), to allow a 9.2-foot second-story setback in lieu of the required 16-foot second-story side setback and a 16-foot rear setback in lieu of the required 35-foot second-story rear setback in conjunction with the proposed addition to the existing home located at 2960 Parkland Drive, zoned R-1A.

motion | recommendation

Staff recommendation is for approval of the variances requested.

background

The applicant, TEK Contracting, Inc., on behalf of the homeowners, is requesting variance approval to add a 60 square-foot addition to the second-story of the existing home with a second-story side setback of 9.2-feet and a second-story rear setback of 16-feet at 2960 Parkland Drive. The property is zoned R-1A.

Currently, the existing home has a nonconforming side and rear setback to both floors. The applicant is proposing to add a minimal addition to the second-story, which is proposed to meet the first-floor side and rear wall setbacks. Because the homeowner works remotely, the nature of the request is to add a home office off of the primary bedroom.

Variance Review Criteria:**Special Conditions and Circumstances**

In order for a variance to be granted, special conditions and circumstances must exist which are peculiar to the land, structure or building involved and are not applicable to other land, structures, or buildings in the same zoning district.

The existing structure is an older home which was originally single-story constructed prior to the parcel's annexation into the City (2001). It underwent extensive remodeling, including the

addition of the second-story in 2013. The lot itself is unique because it sits directly on the City border adjacent to General Rees Road, which is located within the City of Orlando. It's rear lot line also steeply slopes from side to side, creating a shallow east side of the lot and a deeper west side of the lot. There is also a dense landscape buffer between the subject property and the adjacent property to the east.

Additionally, the ideal location for an addition, regardless of size and function, would be towards the interior of the lot. However, based on the existing footprint, the most logical place for expansion next to the primary bedroom is by replacing and expanding the primary bedroom closet. The applicant is proposing to bump out the existing second-story wall of the closet so that it is flush with the first-floor wall, generating an addition of 60 square feet.

Deprivation of Rights

The second requirement for granting a variance request is that the literal interpretation of the provisions of the zoning code would deprive the applicant of the rights commonly enjoyed by other properties in the same zoning district.

A literal interpretation of Section 58-65 subsection (f)(7), requires a 16-foot second-story side setback. A literal interpretation of Section 58-65(f)(8), requires a 35-foot second-story rear setback. Based on the structure's existing location, there is no room for an addition, regardless of floor, on the east side of the home.

Actions of the Applicant

The special conditions and circumstances must not result from the actions of the applicant.

The lot remains as originally platted with the oddly shaped rear lot line. The house was constructed prior to annexation into the City and the large renovation to the structure took place before the current homeowner purchased the property in 2020. Therefore, the existing home's location and layout were not the fault of the applicant. Further, the layout provides that the most logical space for the proposed use of this addition is the proposed location.

Special Privilege

The last requirement necessary to grant a variance request is that the variance will not confer on the applicant any special privilege denied by the zoning ordinance to other lands, structures, or buildings in the same zoning district. No nonconforming use of the neighboring lands, structures, or buildings in other zoning districts shall be considered grounds for the issuance of a variance.

Because of the structure's unique history, location on the City border, and the odd rear lot line, staff believes that there are enough special conditions and circumstances to ensure that no special privilege would be granted to any neighboring lands, structures, or buildings in the same zoning district.

Summary

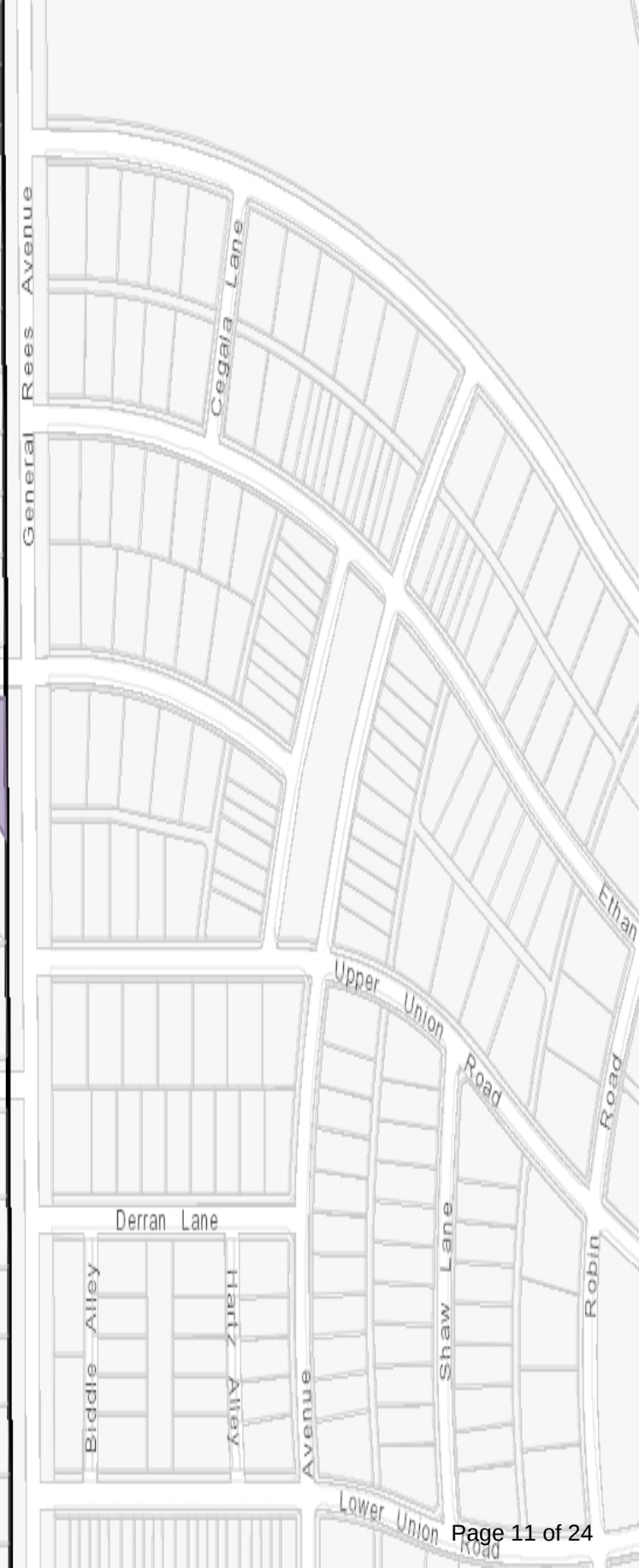
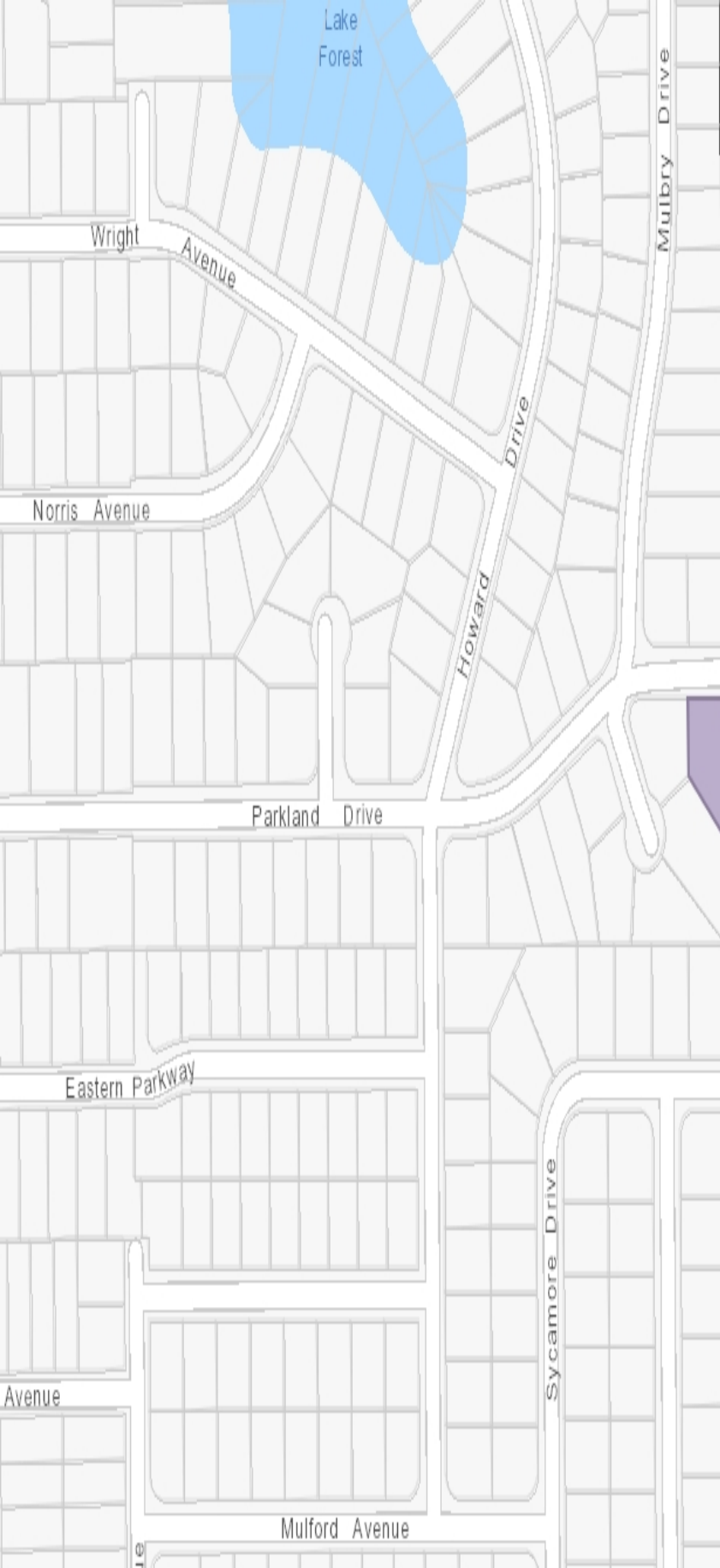
Staff believes that the applicant meets the four criteria required to grant the variance requested.

alternatives | other considerations

fiscal impact

attachments

1. 2960 Parkland Drive - Area Map
2. 2960 Parkland Drive - Aerial Map
3. 2960 Parkland Drive - Neighbor Letter Map
4. 2960 Parkland Drive - Applicant Energov Submittal
5. 2960 Parkland Drive - Survey
6. 2960 Parkland Drive - Plan Set
7. 2960 Parkland Drive - Neighbor Letters





UPPER UNION ROAD



MULBRY DRIVE

PARKLAND COURT

UPPER UNION ROAD



PLAN SNAPSHOT REPORT BOA-2024-0006 FOR CITY OF WINTER PARK

Plan Type: Board of Adjustments
Work Class: Board of Adjustments/Variance Application
Status: Submitted - Online
Valuation: \$0.00
Description: approval for second floor setbacks per comments from permit BLDR-2024-0426

Project:
District: Winter Park
Square Feet: 0.00
Assigned To: Lewis, Nick

App Date: 06/24/2024
Exp Date: NOT AVAILABLE
Completed: NOT COMPLETED
Approval Expire Date:

Parcel: 302217443604090	Main	Address: 2960 Parkland Dr Winter Park, FL 32789	Main	Zone:
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Owner Manfred F Buechele 2960 PARKLAND DR WINTER PARK, FL 32789 Home: (321) 287-6723 Mobile: (321) 287-6723	Applicant KELVIN A CASTILLO 1413 Hamlin AVE Ste 3 Saint Cloud, FL 34771 Business: (407) 383-7172 Mobile: (407) 394-5397
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Plan Custom Fields

Is the property on waterfront?	No	Section	S/20	Subsection	9
Zoning	R-1A	Is this property on historic registry or district?	No	Describe variance	We are requesting to match the second floors setbacks to the pre existing bottom floor setbacks per plan on permit BLDR-2024-0426
How long have you owned the property?	4	How long have you occupied the property?	4	Special Condition	The special conditions and circumstances peculiar to the land, structures, or buildings involved include the unique layout and existing setbacks of the property. Specifically, we are working within the constraints of the current structure and are ensuring that any modifications or additions are consistent with the existing setbacks downstairs. This approach ensures continuity and compliance with zoning regulations while maintaining the aesthetic and functional integrity of the property.
Rights/Priv	Due to the unique layout and existing conditions of the property, strict enforcement of the setbacks might limit the applicant's ability to fully utilize the available space, unlike other properties that may have more favorable layouts or existing structures that do not impose such	constraints.		Hardship	Adhering strictly to the current Zoning Code setbacks would create challenges in ensuring the functionality and accessibility of the property. Matching the downstairs setbacks is crucial for creating a cohesive and usable space that meets the practical needs of the

PLAN SNAPSHOT REPORT (BOA-2024-0006)

occupants.

Limited Variance

Yes, the applicant is willing to accept a limited variance to address the unique conditions and constraints of the property. The extent of the variance we are requesting is specifically tailored to ensure that the project can proceed effectively while maintaining compliance with the overall intent of the zoning regulations.

Attachment File Name	Added On	Added By	Attachment Group	Notes
Survey_v1 (1).pdf	06/24/2024 13:04	Lopez, Eriberto		Survey
Civil Plan Narrative_v1 (2).pdf	06/24/2024 13:04	Lopez, Eriberto		Site Plan
Signature_KELVIN_CASTILLO_6/24/2024.jpg	06/24/2024 13:04	Lopez, Eriberto		Uploaded via CSS
signed checklist.pdf	06/24/2024 13:04	Lopez, Eriberto		Signed Checklist
neighbor letters 2024.pdf	06/25/2024 10:10	Lewis, Nick		Neighbor Letters
2960 Parkland Dr_v1_v1.pdf	06/25/2024 10:21	Lewis, Nick		Building Drawings

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00049067	Residential Variance Application Fee	\$200.00	\$200.00
Total for Invoice INV-00049067		\$200.00	\$200.00
Grand Total for Plan		\$200.00	\$200.00

Submittal Name	Status	Received Date	Due Date	Complete Date	Resubmit	Completed
Board of Adjustments Review v.1	Approved	06/24/2024	06/26/2024	06/25/2024	No	Yes
Item Review Name	Department	Assigned User	Status	Assigned Date	Due Date	Completed Date
Zoning Review	Building & Permitting Services	Lewis, Nick	Approved	06/24/2024	06/26/2024	06/25/2024

Workflow Step / Action Name	Action Type	Start Date	End Date
Review v.1			06/25/2024 11:23
Board of Adjustments Review v.1	Receive Submittal	06/24/2024 0:00	06/25/2024 10:21
Issue Invoice v.1	Generic Action		06/25/2024 11:23
Final Decision v.1			
Board of Adjustments Decision v.1	Generic Action		

BOUNDARY SURVEY

IN SECTION 17, TOWNSHIP 22 SOUTH, RANGE 30 EAST,
ORANGE COUNTY, FLORIDA.

LEGAL DESCRIPTION

LOT 9, BLOCK D, LAKE FOREST PARK, ACCORDING TO
THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT
BOOK 5, PAGE(S) 20, OF THE PUBLIC RECORDS OF
ORANGE COUNTY, FLORIDA.

PROPERTY ADDRESS

2960 PARKLAND DRIVE
WINTER PARK, FL 32789

LOT 10,
BLOCK D
OFFICIAL RECORDS
BOOK 10927
PAGE 5065

ZONING

ZONE: R-A1 (PER CITY OF WINTER PARK ZONING MAP)

SETBACKS: (PER CITY OF WINTER PARK CODE OF ORDINANCES / ARTICLE III / ZONING / SEC. 58-65.)
FRONT - 20% OF THE LOT DEPTH OR EXISTING SETBACK, WHICHEVER IS GREATER. (25 FEET)
1ST FLOOR SIDE - 30% OF LOT WIDTH (12 FEET)
2ND FLOOR SIDE - 40% OF LOT WIDTH (16 FEET)
1ST FLOOR REAR - 25 FEET
2ND FLOOR REAR - 35 FEET

FLOOD CERTIFICATION

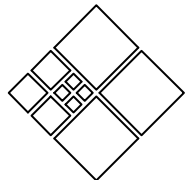
BASED ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY
FLOOD INSURANCE RATE MAPS, COMMUNITY PANEL NUMBER
12095C0255F, EFFECTIVE DATE SEPTEMBER 25, 2009, THE
PROPERTY SHOWN HEREON LIES WITHIN FLOOD ZONE "X" AND
DOES NOT LIE WITHIN THE 100 YEAR FLOOD HAZARD AREA.
FLOOD ZONE DETERMINATION WAS PERFORMED BY GRAPHICALLY
PLOTING ONTO FLOOD RATE INSURANCE MAPS PREPARED BY
FEMA. THERE HAS BEEN NO FIELD SURVEYING PERFORMED BY
THIS FIRM TO DETERMINE THIS FLOOD ZONE. THIS IS THE
PROFESSIONAL OPINION OF CANVAS LAND SURVEYING, LLC. THE
LENDER (IF ANY) MAKES THE FINAL DETERMINATION AS TO THE
REQUIREMENT OF FLOOD INSURANCE OR NOT. WE ASSUME NO
RESPONSIBILITY FOR ACTUAL FLOODING CONDITIONS.

ABBREVIATIONS/LEGEND:

- SET MONUMENT AS NOTED
- FOUND MONUMENT AS NOTED
- LINE BREAK
- ⊙ CENTERLINE
- P.C. POINT OF CURVATURE
- P.I. POINT OF INTERSECTION
- P.T. POINT OF TANGENCY
- P.S.M. PROFESSIONAL SURVEYOR AND MAPPER
- ⊞ POOL PUMP / EQUIPMENT

- L ARC LENGTH
- Δ DELTA (CENTRAL ANGLE)
- CH CHORD
- CB CHORD BEARING
- ⊞ WATER METER
- ⊞ ELECTRIC BOX
- ⊞ CABLE TELEVISION BOX
- ⊞ TELEPHONE RISER
- ⊞ AIR CONDITIONER

- OVERHEAD UTILITY
- U.E. UTILITY EASEMENT
- RW RIGHT OF WAY
- CONC. CONCRETE
- LS LAND SURVEYOR
- LB LICENSED BUSINESS
- NO. NUMBER
- (P) PLAT
- (F) FIELD MEASUREMENT
- (C) CALCULATED



CANVAS
LAND SURVEYING

1650 OAK VALLEY DRIVE
LONGWOOD, FL 32750
321.689.5330

CANVASLANDSURVEYING.COM
CERTIFICATE OF AUTHORIZATION NO. LB 8320

THIS PLAT OF SURVEY IS CERTIFIED TO AND
PREPARED FOR THE SOLE AND EXCLUSIVE BENEFIT
OF THE ENTITIES AND OR INDIVIDUALS SHOWN
HEREON, VALID ON THE MOST CURRENT DATE
SHOWN HEREON, AND SHALL NOT BE RELIED UPON
BY ANY OTHER ENTITY OR INDIVIDUAL
WHOMSOEVER.

THIS SURVEY / SKETCH AS BEEN PREPARED
WITHOUT THE BENEFIT OF ABSTRACT OR TITLE
SEARCH UNLESS OTHERWISE NOTED HEREON.

THERE MAY BE ADDITIONAL RESTRICTIONS AND/OR
OTHER MATTERS OF RECORD NOT SHOWN ON THIS
SURVEY / SKETCH THAT MAY BE FOUND IN THE
PUBLIC RECORDS OF THE COUNTY OR CONTAINED
WITHIN THE TITLE COMMITMENT.

JOB NO: J113

CLIENT FILE NO: 20200221

CERTIFIED TO:

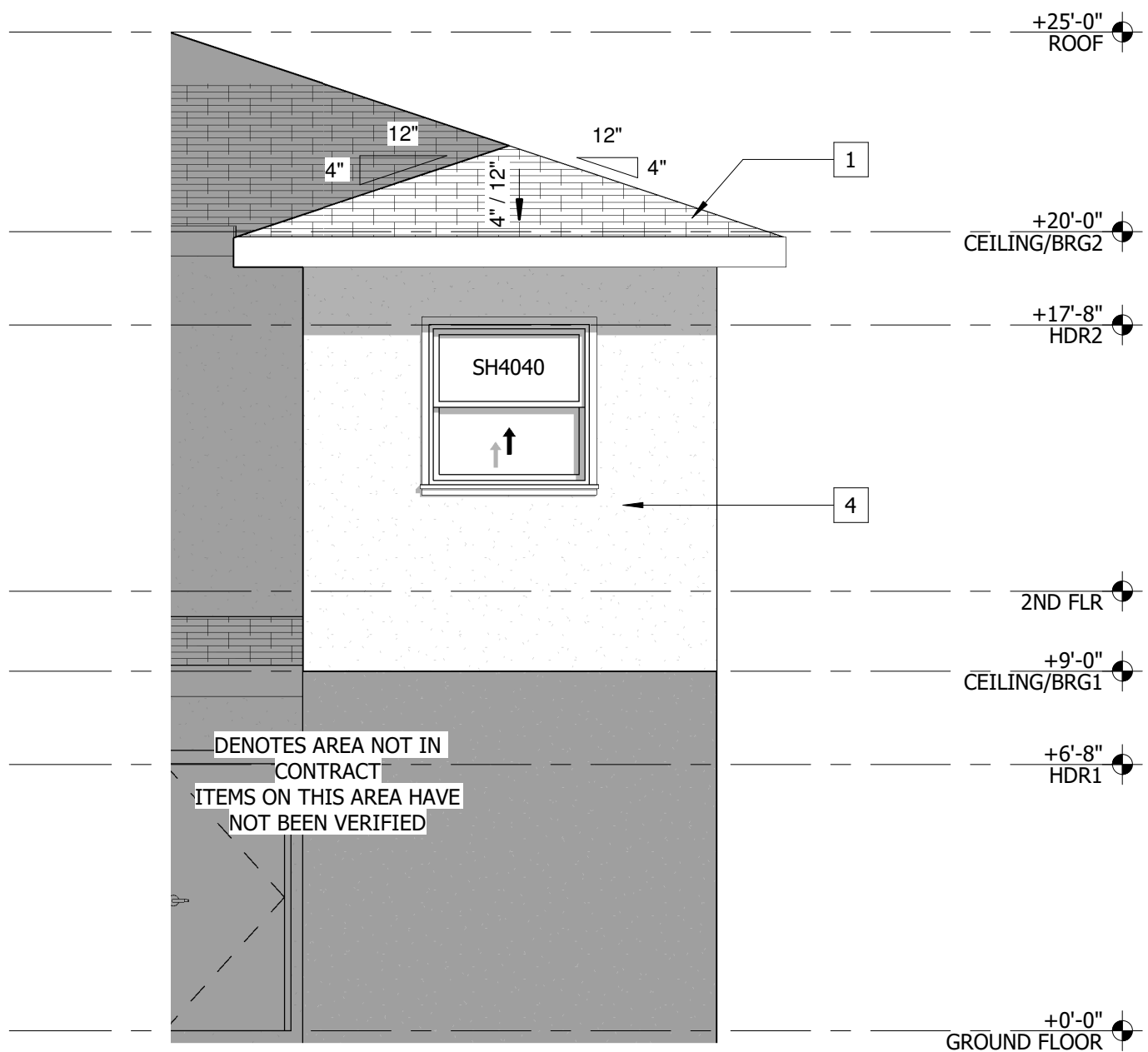
MANFRED FRANZ BUECHELE & JAMIE LEE BUECHELE; DOMINION
TITLE COMPANY; CHICAGO TITLE INSURANCE COMPANY;
TRUIST BANK, ISAO/ATIMA.

I HEREBY CERTIFY THAT THIS SURVEY IS A TRUE AND
CORRECT REPRESENTATION OF A SURVEY PREPARED UNDER
MY DIRECTION. THIS SURVEY MEETS OR EXCEEDS THE
STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA
BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN
CHAPTER 5J-17, OF THE FLORIDA ADMINISTRATIVE CODE,
SECTION 472.027, FLORIDA STATUTES

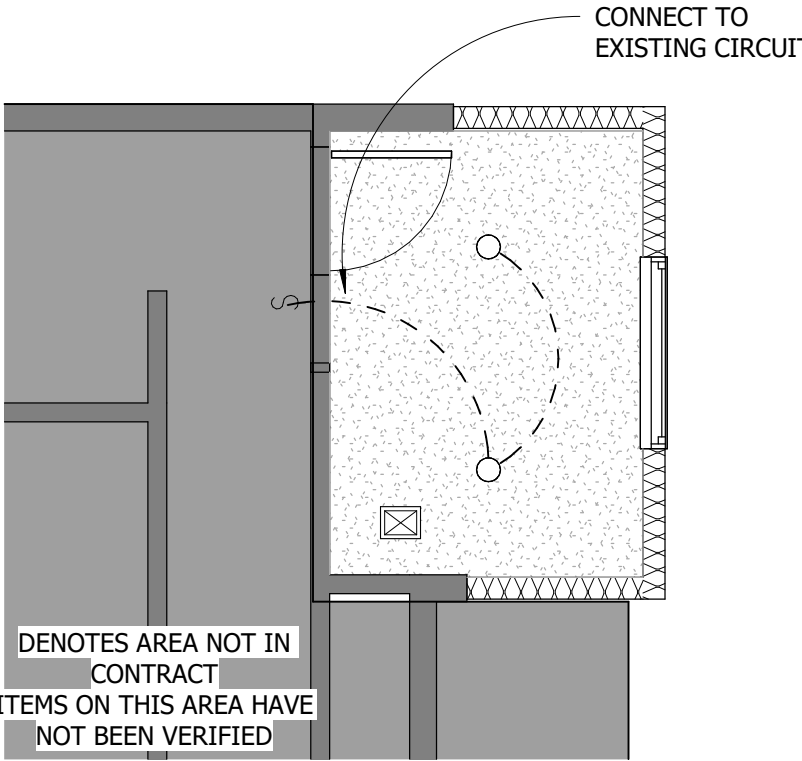
LUKE P. FULFORD, P.S.M.
PROFESSIONAL LAND SURVEYOR REGISTRATION NO. 6954

Page 17

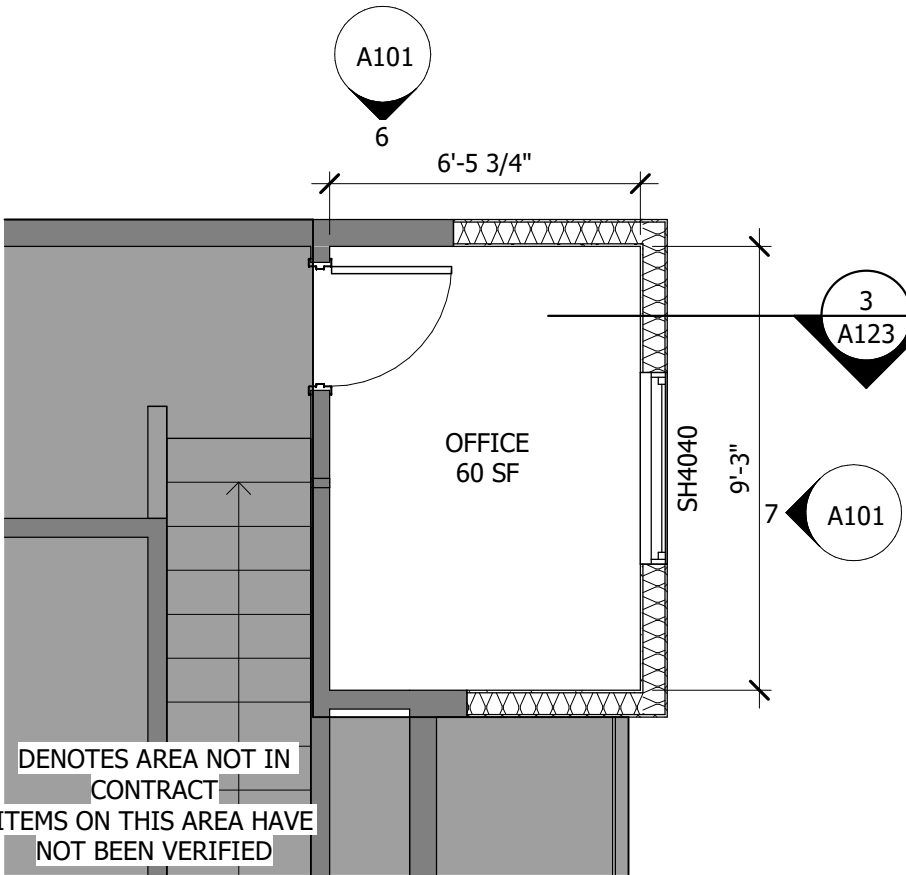
Written dimensions on these drawings shall have precedence over scaled dimensions. Contractor shall verify and be responsible for all dimensions and conditions on the job. STUDIO AM must be notified immediately in writing of any variation from the dimensions and conditions shown on these drawings. Field verify all conditions prior to laying out or fabricating associated work. Bring to the architect's attention any deviation from designed conditions and field conditions prior to ordering materials and installing work, and cooperate with architect to modify such conditions at no additional cost to the owner, architect or architect's consultants. Shop details must be submitted to the architect's office and reviewed by the architect prior to ordering materials, fabrication and delivery to the job site, unless otherwise provided for under the specific contractual agreement between the architect and client. STUDIO AM expressly reserves its common law copyright and other property rights in these documents. These documents are not to be reproduced, changed, or copied in any form or manner whatsoever, nor are they to be assigned to a third party without first obtaining the written permission and written consent of STUDIO AM. In the event of unauthorized use of these documents by a third party, the third party shall hold STUDIO AM harmless and agrees to remunerate STUDIO AM for such use in an amount equal to the original fee for the original documents, plus legal fees, court costs, collection fees and other costs.



7 WEST FACE
SCALE: 1/4" = 1'-0"

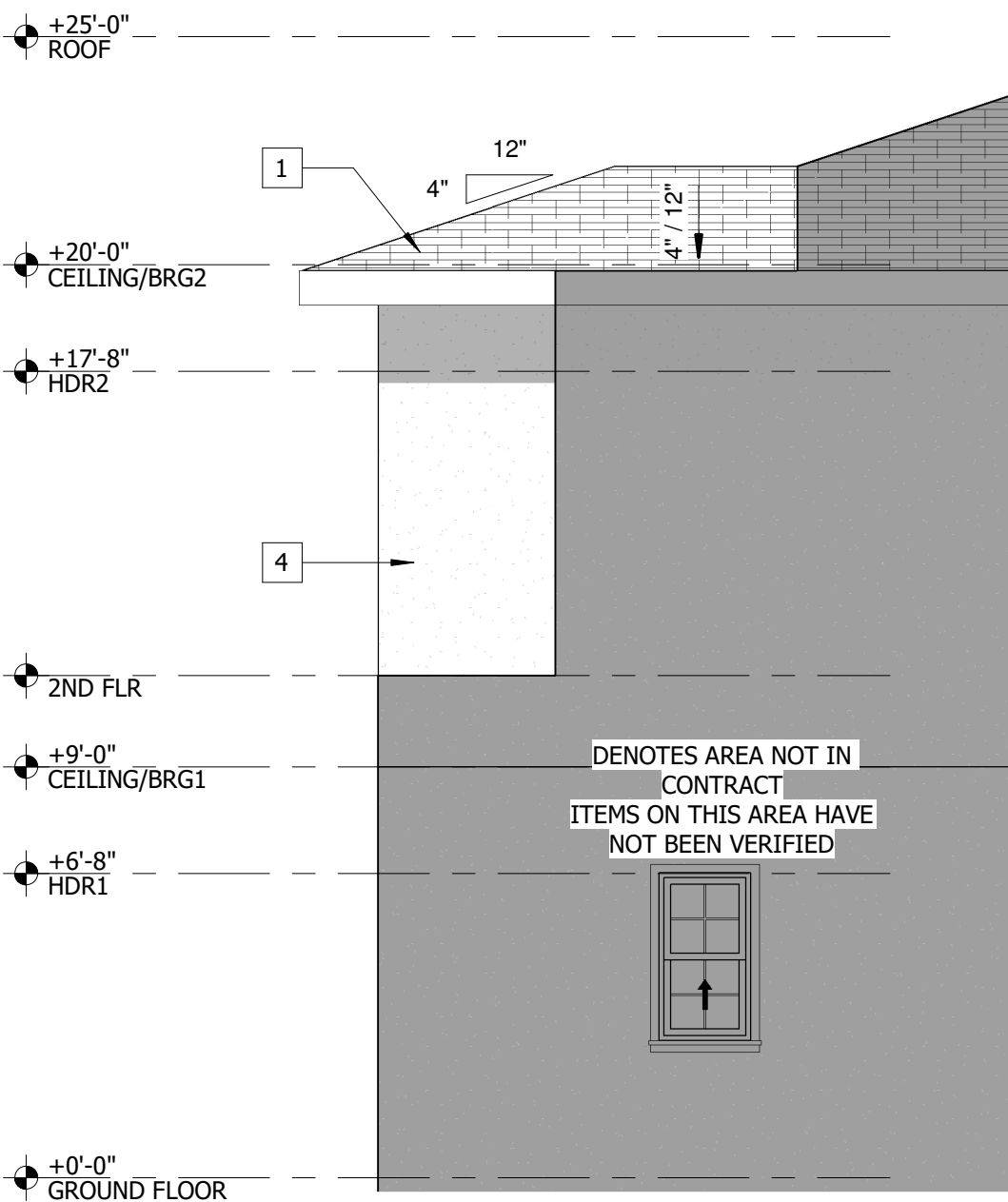


5 LIGHTING PLAN - 2ND FLOOR
SCALE: 1/4" = 1'-0"

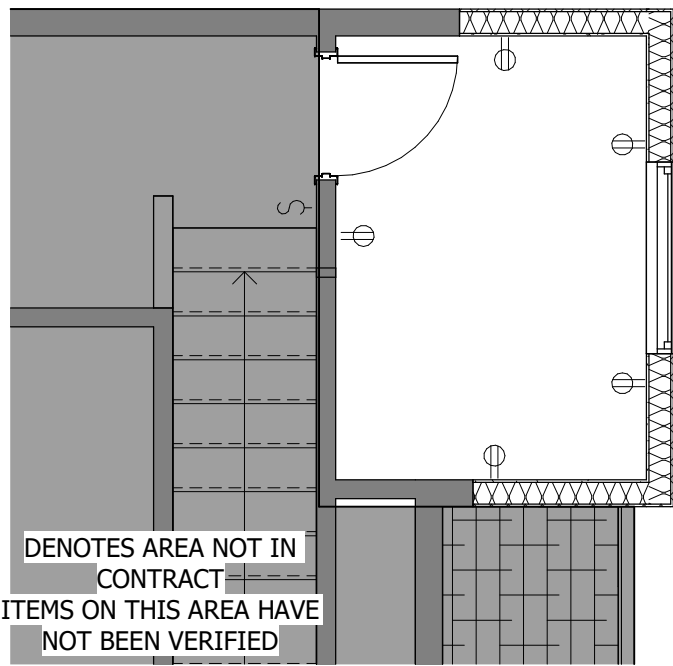


3 FLOOR PLAN - 2ND FLOOR
SCALE: 1/4" = 1'-0"

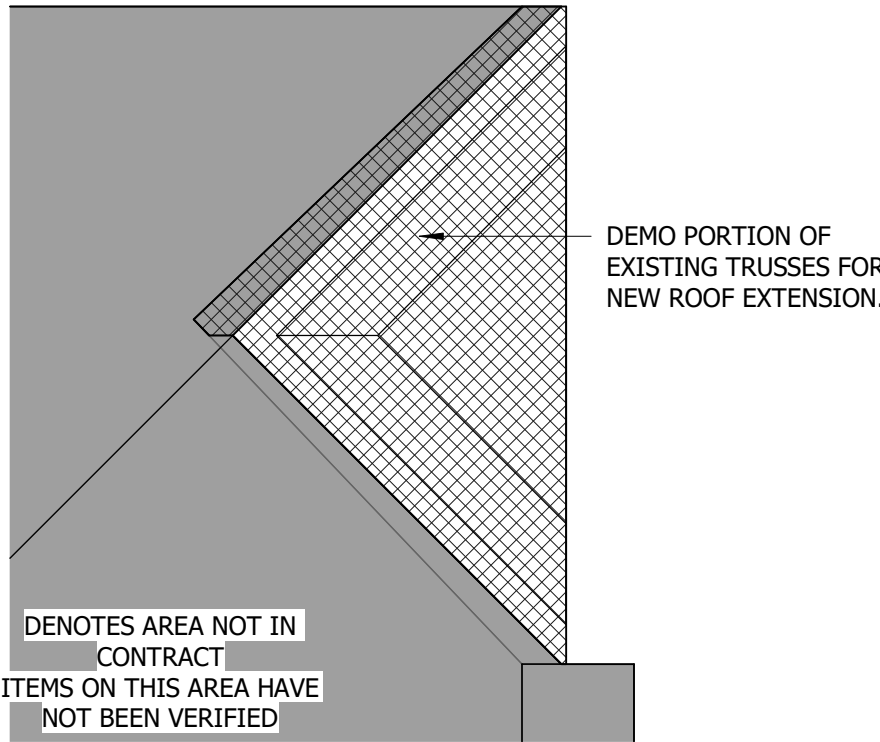
#	FINISH KEYNOTES
1	ASPHALT SHINGLES OVER PEEL & STICK AND 5/8" CDX PLYWOOD
4	STUCCO, MATCH EXISTING



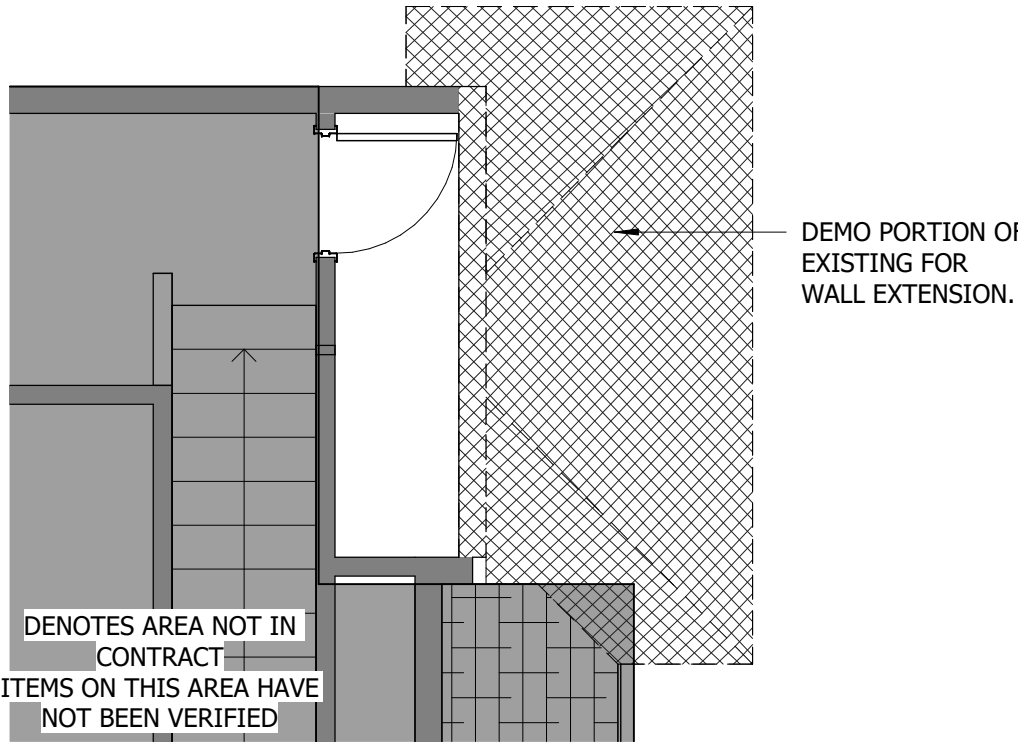
6 SOUTH FACE
SCALE: 1/4" = 1'-0"



4 POWER PLAN - 2ND FLOOR
SCALE: 1/4" = 1'-0"



2 ROOF PLAN - DEMO
SCALE: 1/4" = 1'-0"

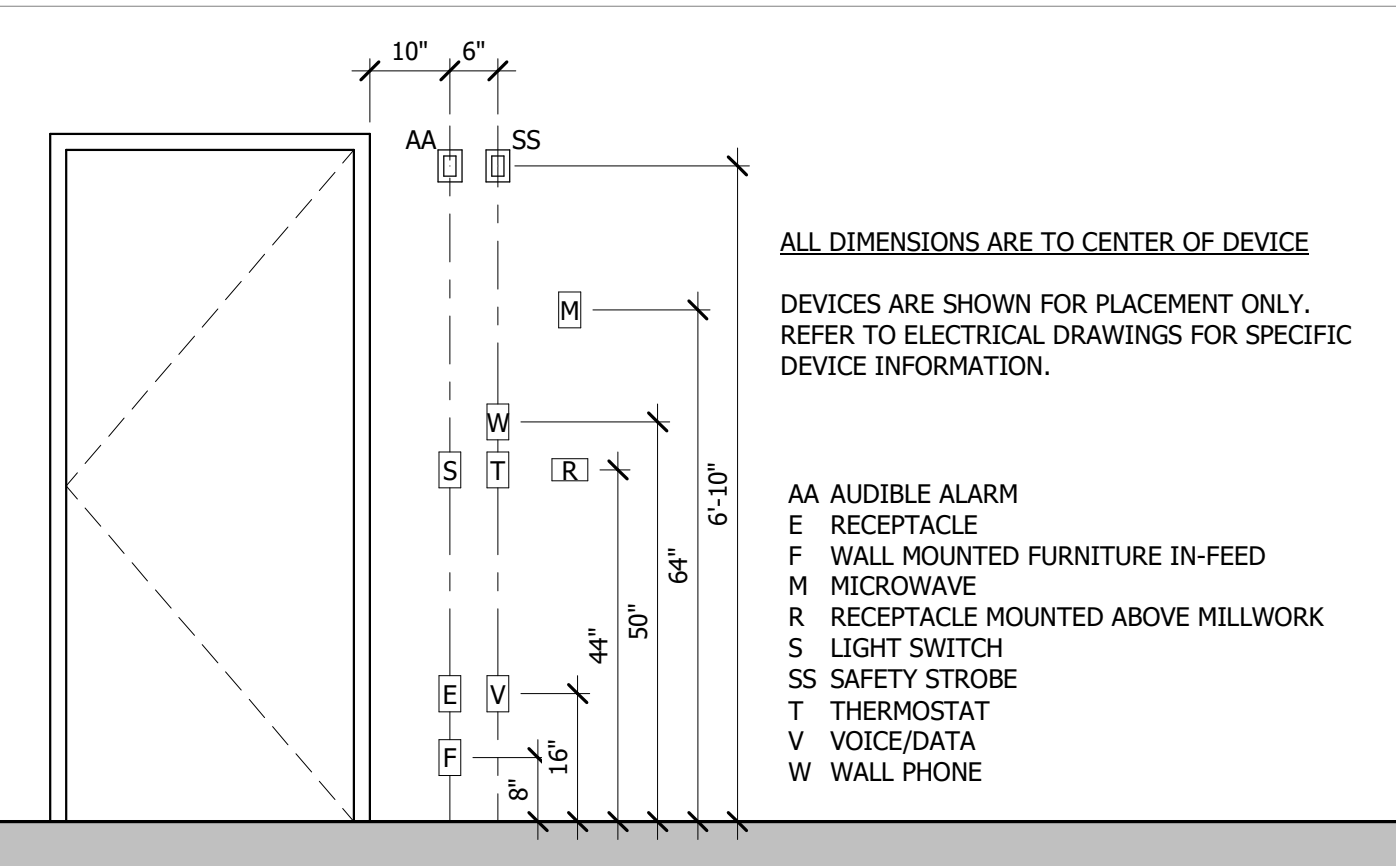


1 DEMO PLAN - 2ND FLOOR
SCALE: 1/4" = 1'-0"

ALWAYS REFER TO THE LATEST DRAWING SET.

SYMBOL LEGEND	
	DUPLEX OUTLET
	DUPLEX OUTLET, GFI
	DUPLEX OUTLET, GFI (COUNTER HEIGHT)
	OUTLET, RANGE
	OUTLET, MICROWAVE
	OUTLET, WATERPROOF
	SWITCH, SINGLE
	SWITCH, 3-WAY
	JUNCTION BOX
	TANKLESS WATER HEATER
	ELECTRICAL PANEL
	MINI SPLIT (CONDENSER)

CEILING LEGEND	
	GYPSUM WALL BOARD ON METAL STUD
	CEILING FAN
	WALL SCONCE LIGHT FIXTURES
	TRACK LIGHTING
	RECESSED CAN LIGHT FIXTURE
	WALL-MOUNTED STRIP LIGHT
	PENDANT-MOUNTED STRIP FIXTURE
	WALL-MOUNTED EXTERIOR LIGHT FIXTURE
	EXHAUST FAN
	SUPPLY DIFFUSER
	RETURN DIFFUSER
	MINI SPLIT INSIDE UNIT
	CEILING ACCESS HATCH
	SMOKE+CARBON MONOXIDE DETECTOR
	SMOKE DETECTOR



ELECTRICAL DEVICE LOCATIONS

EACH CONTRACTOR SHALL COORDINATE THEIR WORK WITH ALL OTHER TRADES.

#	NOTE	REV
1	CONTRACTOR TO PROVIDE CEILING SAMPLES FOR OWNER APPROVAL. ALTERNATES TO BE APPROVED BY ARCHITECT.	
2	ALL CEILING HEIGHTS ARE ABOVE FINISHED FLOOR.	
3	ALL SOFFITS ABOVE CABINETS ARE 1'-0" AFF UNO & ARE 1" DEEPER AND WIDER THAN THE CABINET ASSEMBLY.	
4	SINGLE LIGHT FIXTURES IN GYPSUM BOARD CEILINGS TO BE CENTERED IN BOTH DIRECTIONS UNO.	
5	LOUVERS AND PANEL FRONTS SHALL BE SPRAY PAINTED TO MATCH ADJACENT SURFACES, INCLUDING FACTORY FINISHED ITEMS, UNO. BRUSH PAINTING OF THESE ITEMS WILL NOT BE PERMITTED.	
6	ALL EXPOSED GYPSUM BOARD SHALL BE SEALED WITH ONE COAT OF SEALER, FOLLOWED BY TWO COATS PER PAINT FINISH W/ SMOOTH FINISH.	
7	DO NOT LOCATE ANY JUNCTION BOXES, HVAC BOXES, TRANSFORMERS, ETC. ABOVE HARD CEILING AREA. ANY ITEMS ABOVE HARD CEILING REQUIRING AN ACCESS PANEL SHALL BE RELOCATED SO AS TO AVOID NECESSITY OF ACCESS PANEL.	

FLOOR PLAN NOTES		
#	NOTE	REV
1	REFER TO SHEET A123 FOR DIMENSIONED FRAMING PLAN FOR WALL TYPES AND TOP PLATE CONNECTION TYPES.	
5	DASHED LINES REPRESENT ITEMS ABOVE. REFER TO REFLECTED CEILING PLAN ON SHEET A111.	

ELEVATION NOTES		
#	NOTE	REV
1	EXTERIOR PAINT TO INCLUDE M1 ADDITIVE TO PREVENT MILDEW AND FUNGUS GROWTH.	
2	PAINT SHALL BE SHERWIN WILLIAMS 25 YR SUPER PAINT OR APPROVED EQ.	
3	ALL METAL PAINT TO BE ENAMEL BASE.	
4	GENERAL CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ALL EXTERIOR LIGHT FIXTURES FOR APPROVAL BY ARCHITECT AND OWNER, PRIOR TO PURCHASE AND INSTALLATION COMPLYING W/ APPLICABLE ADA GUIDELINES.	
5	CONTRACTOR TO PAINT ALL EXPOSED PIPES, CONDUCTS, DISCONNECTS & JUNCTION BOXES TO MATCH ADJACENT SURFACE.	
6	CONTRACTOR TO PROVIDE FOR COMPONENTS AND CLADDING A FLORIDA PRODUCT APPROVAL OR NOTICE OF ACCEPTANCE FROM STATE OF FLORIDA AND SHOP DRAWINGS FOR APPROVAL BY ARCHITECT, ENGINEER, AND COUNTY PRIOR TO ORDERING AND CONSTRUCTION.	
7	COLOR SAMPLES TO BE APPROVED BY OWNER BEFORE APPLICATION. IF PRINTED IN COLOR, THESE ELEVATIONS ONLY OFFER A GENERAL REPRESENTATION OF THE SELECTED COLORS. COLORS VIEWED ON A COMPUTER SCREEN AND THEN PRINTED WILL VARY AND WILL NEVER BE AN EXACT REPRESENTATION OF THE ACTUAL PIGMENT. REFER TO MANUFACTURER PROVIDED COLOR SAMPLES ONLY FOR FINAL APPROVAL.	
8	WHERE COLOR IS SHOWN AS BEING SPECIFIC TO ONE MANUFACTURER, AN EQUIVALENT COLOR BY ANOTHER MANUFACTURER MAY BE SUBMITTED FOR APPROVAL. MANUFACTURERS AND MATERIALS SPECIFIED ARE NOT INTENDED TO LIMIT THE SELECTION OF EQUAL COLORS AND PERFORMANCE FROM OTHER.	
9	DO NOT TRANSITION PAINT COLORS ON AN EXTERIOR CORNER. ALL COLOR CHANGES SHOULD BE AT INTERIOR CORNERS, UNO. CONTACT ARCHITECT IF A CONFLICT OCCURS.	
10	PAINT ALL EXPOSED EDGES OF TRIM, INCLUDING EDGES.	
11	LOUVERS AND PANEL FRONTS SHALL BE SPRAY PAINTED TO MATCH ADJACENT SURFACES, INCLUDING FACTORY FINISHED ITEMS, UNO. BRUSH PAINTING OF THESE ITEMS WILL NOT BE PERMITTED.	
12	ALL EXTERIOR GLAZING TO HAVE A MAXIMUM U-FACTOR OF 0.40 AND SHGC OF 0.25.	
13	REFER TO STUCCO NOTES FOR ADDITIONAL INFORMATION.	

STUCCO NOTES		
#	NOTE	REV
1	REFER TO ELEVATIONS FOR CONTROL JOINT LAYOUT. IF NO JOINTS ARE SHOWN, OR IF THE LAYOUT APPEARS TO BE INCOMPLETE, THE REMAINING NOTES AND CRITERIA IN THIS LIST SHALL GOVERN.	
2	CONTRACTOR SHALL PROVIDE A STUCCO CONTROL JOINT LAYOUT SUBMITTAL FOR REVIEW/APPROVAL BY ARCHITECT.	
3	INSTALLATION OF SYSTEM SHALL ADHERE TO STANDARDS SET BY ASTM C1063 "STANDARD SPECIFICATION FOR INSTALLATION OF LATHING AND FURRING TO RECEIVE INTERIOR AND EXTERIOR PORTLAND CEMENT-BASED PLASTER".	
4	IF CONDITIONS EXIST THAT ARE NOT COVERED BY PROVIDED DETAILS, CONTRACTOR SHALL FOLLOW ACCEPTED INDUSTRY STANDARDS REFERENCED HEREIN, OR SHALL REQUEST NECESSARY INFORMATION FROM DESIGN TEAM.	
5	CONTROL JOINTS SHALL BE LOCATED TO DELINEATE PLASTERWORK INTO AREAS (PANELS) OF 144 SQFT MAXIMUM FOR VERTICAL SURFACES, AND 100 SQFT MAXIMUM FOR HORIZONTAL AND OTHER NON-VERTICAL SURFACES.	
6	DISTANCES BETWEEN CONTROL JOINTS SHALL NOT EXCEED 18 FEET O.C.	
7	CONTROL JOINTS SHALL BE LOCATED AS REQUIRED TO DELINEATE PLASTERWORK INTO AREAS (PANELS) WITH LENGTH-TO-WIDTH RATIOS OF NOT GREATER THAN 2 1/2:1.	
8	CONTROL JOINTS SHALL BE LOCATED WHERE CONTROL JOINTS OCCUR IN SURFACE OF CONSTRUCTION DIRECTLY BEHIND PLASTER.	
9	CONTROL JOINTS SHALL BE LOCATED WHERE PLASTERWORK AREAS CHANGE DIMENSIONS, TO DELINEATE RECTANGULAR-SHAPED AREAS (PANELS) AND TO RELIEVE THE STRESS THAT OCCURS AT THE CORNER FORMED BY THE DIMENSION CHANGE.	
10	EXPANSION JOINTS SHALL NOT BE CONCEALED WITHOUT THE INSTALLATION OF A CONTROL JOINT.	
11	LATH SHALL NOT BE INSTALLED CONTINUOUS THROUGH CONTROL JOINTS BUT SHALL BE STOPPED AND TIED AT EACH SIDE.	

WALL PHASING	
Respective to the views phase, walls are depicted as shown:	
	EXISTING WALL TO REMAIN
	WALL TO BE DEMOLISHED
	NEW WALL

Submissions

DATE

DESCRIPTION

CLOSET EXTENSION

2960 PARKLAND DRIVE

WINTER PARK, FL

BUECHELE RESIDENCE

DATE: 2024 March,26

SCALE: AS SHOWN

JOB NUMBER: 24107

I agree to the terms defined by the placement of my signature on this document.

ALEJANDRO J. MUNOZ

AR 102135

This form has been electronically signed and sealed by ALEJANDRO J. MUNOZ on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be written on any electronic copies.

STUDIO AM

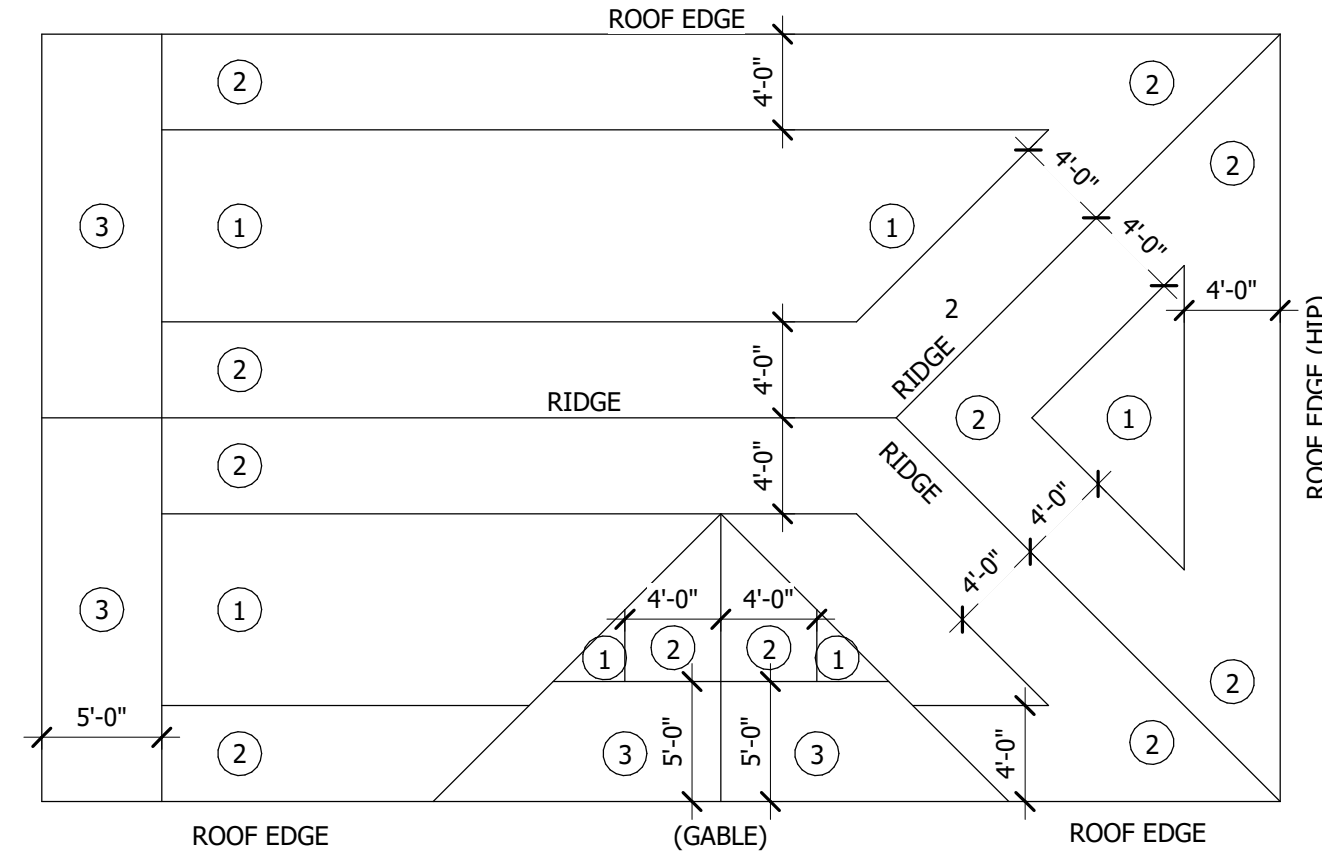
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PLAN NORTH

A101

FLOOR PLAN - NEW

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractor shall verify and be responsible for all dimensions and conditions on the job. STUDIO AM must be notified immediately in writing of any variation from the dimensions and conditions shown on these drawings. Field verify all conditions prior to laying out or fabricating associated work. Bring to the architect's attention any deviation from designed conditions and field conditions prior to ordering materials and installing work, and cooperate with architect to modify such conditions at no additional cost to the owner, architect or architect's consultants. Shop details must be submitted to the architect's office and reviewed by the architect prior to ordering materials, fabrication and delivery to the job site, unless otherwise provided for under the specific contractual agreement between the architect and client. STUDIO AM expressly reserves its common law copyright and other property rights in these documents. These documents are not to be reproduced, changed, or copied in any form or manner whatsoever, nor are they to be assigned to a third party without first obtaining the written permission and written consent of STUDIO AM. In the event of unauthorized use of these documents by a third party, the third party shall hold STUDIO AM harmless and agrees to remunerate STUDIO AM for such use in an amount equal to the original fee for the original documents, plus legal fees, court costs, collection fees and other costs.



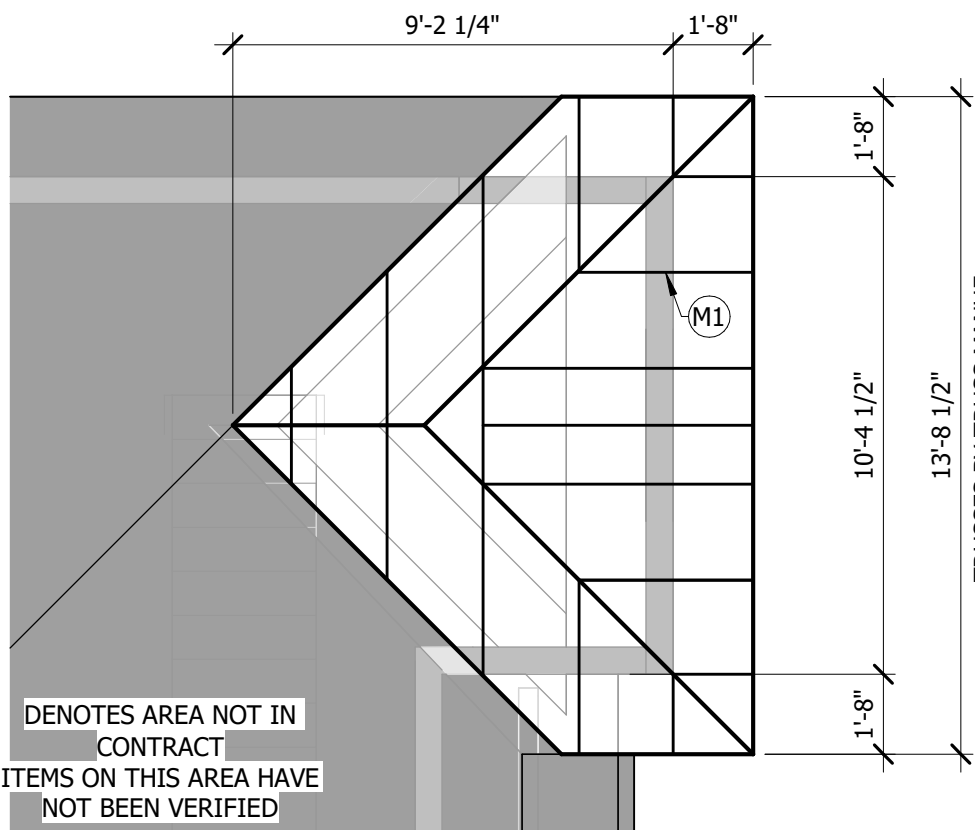
NOTE:
DASHED LINES ARE FOR ZONE DESIGNATION ONLY

ROOF NAILING PATTERN (COMMON NAILS)	MECHANICAL DRIVEN
ZONE 1: USE 8d NAILS @ 6" O.C. EDGES - 12" O.C. FIELD	ZONE 1: 6" O.C. EDGES- 8" O.C. FIELD
ZONE 2: USE 8d NAILS @ 6" O.C. EDGES - 8" O.C. FIELD	ZONE 2: 4" O.C. EDGES- 6" O.C. FIELD
ZONE 3: USE 8d NAILS @ 6" O.C. EDGES - 6" O.C. FIELD	ZONE 3: 4" O.C. EDGES- 4" O.C. FIELD
GABLE TRUSS: USE 8d NAILS @ 4" O.C.	GABLE TRUSS: USE 8d NAILS @ 4" O.C.

ROOF DIAPHRAGM NOTES
1.- ROOF SHEATHING ACTS AS HORIZONTAL DIAPHRAGM
2.- GYPSUM WALBOARD ACTS AS THE CEILING DIAPHRAGM

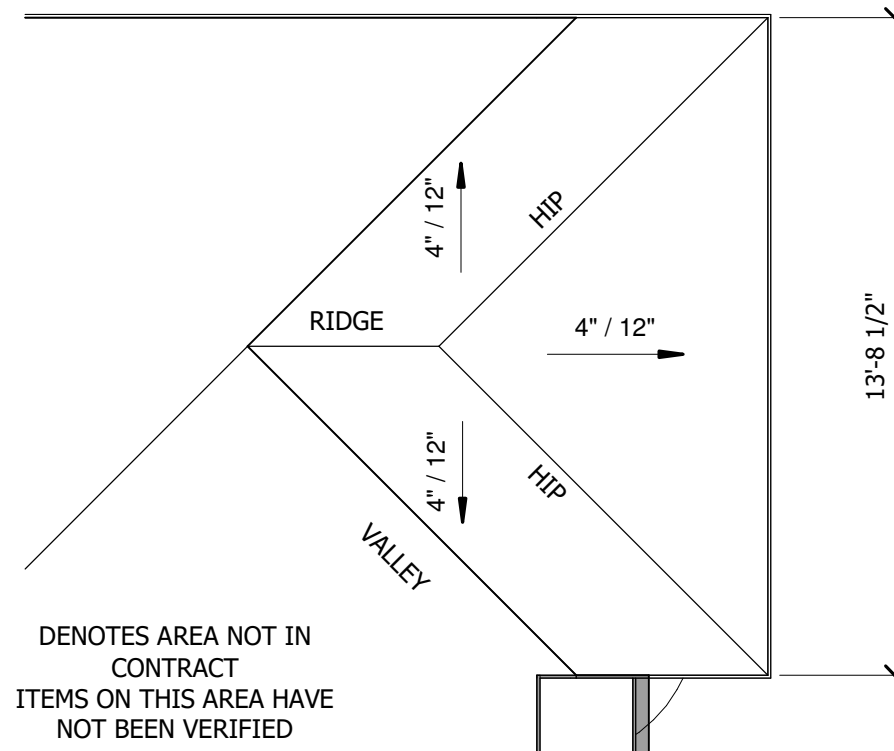
NAIL SCHEDULE

SCALE: NOT TO SCALE



2 ROOF FRAMING PLAN.

SCALE: 1/4" = 1'-0"



1 ROOF PLAN

SCALE: 1/4" = 1'-0"

IF THIS SHEET DOES NOT MEASURE TO 24 x 36, IT HAS BEEN ENLARGED OR REDUCED. ADJUST SCALE ACCORDINGLY.

THIS SHEET IS PART OF THE DOCUMENT SET AND SHOULD NOT BE SEPARATED.

ALWAYS REFER TO THE LATEST DRAWING SET.

EACH CONTRACTOR SHALL COORDINATE THEIR WORK WITH ALL OTHER TRADES.

WATERPROOFING

#	NOTE	REV
1	IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY ALL WATERPROOFING AND FLASHING CONDITIONS. IF THERE IS NOT A DETAIL FOR THE WATERPROOFING CONDITION, IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO CONTACT THE ARCHITECT OR WATERPROOFING CONSULTANT PRIOR TO CONSTRUCTION.	
2	ALL EXPOSED LUMBER SHALL HAVE WATERPROOFING.	
3	IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO INSTALL ALL WATERPROOFING MATERIALS PER MANUFACTURER'S REQUIREMENTS.	
4	IF THERE IS A CONFLICT BETWEEN CONSTRUCTION DOCUMENTS AND CONSTRUCTION CONDITIONS IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO CONTACT THE ARCHITECT.	
5	IT IS RECOMMENDED THAT THERE BE A PRE-CONSTRUCTION MEETING FOR WATERPROOFING.	
6	ALL SEALANTS, MASTICS, MEMBRANES, CONCRETE, METAL, ETC. SHALL BE COMPATIBLE FOR INSTALLATION TOGETHER WITHOUT FAILURE. VERIFY WITH ALL MANUFACTURERS.	
7	PROVIDE PRE-FAB FLASHING BOOT WITH RUBBER GASKET CENTER ALL DRYER VENT EXHAUST AND CONDENSATE PIPING WALL PENETRATIONS, THEN TAPE BOTTOM, SIDES, AND TOP EDGES.	
8	PROVIDE KICK-OUT FLASHING AT BOTTOM OF SLOPED ROOF / WALL INTERSECTIONS TO DIVERT WATER AWAY FROM FACE OF WALL.	

TRUSS NOTES

#	NOTE	REV
1	THIS IS A TRUSS STRAP PLACEMENT PLAN. ITS INTENDED TO AID IN THE INSTALLATION OF TRUSS STRAPS ONLY. THE ARCHITECT'S OR ENGINEER'S SEAL DOES NOT RELIEVE THE TRUSS CO. & TRUSS DESIGNER OF THEIR RESPONSIBILITIES TO ENSURE THE INTEGRITY OF THE TRUSS STRUCTURE. VERIFY THE TRUSS CO. SEALED TRUSS PLACEMENT PLAN AND SEALED PROFILES.	
2	THIS DIAGRAM IS INTENDED FOR USE BY PERSONS KNOWLEDGEABLE IN AND FAMILIAR WITH GENERALLY ACCEPTED METHODS AND STANDARDS OF TRUSS ERECTION. TRUSS ERECTIONS SHOULD NOT BE ATTEMPTED BY ANY PERSON WITHOUT THESE QUALIFICATIONS.	
3	TRUSS ERECTION AND BRACING RESPONSIBILITIES MUST LIE WITH THE BUILDER. IT'S THE RESPONSIBILITY OF THE BUILDER TO VERIFY ALL DRAWINGS	
4	ANY AND ALL REPAIRS/ALTERATIONS TO ANY TRUSS MUST BE APPROVED AND ACCEPTED BY A REPRESENTATIVE OF THE TRUSS CO.	
5	ALL TRUSS TO TRUSS HANGERS SHALL BE SPECIFIED AND SUPPLIED BY THE TRUSS CO. UNLESS OTHERWISE NOTED ON THIS TRUSS LAYOUT BY THE SIGNING ARCHITECT.	
6	ALL TRUSS CONNECTORS ARE TYPICAL UNLESS A CONNECTOR NUMBER IS CALLED OUT.	
7	GENERAL CONTRACTOR SHALL SUBMIT TRUSS LAYOUT AND TRUSS PROFILES FROM THE TRUSS COMPANY, SIGNED AND SEALED BY THE TRUSS COMPANY ENGINEER. NOTE ALL REACTIONS AT SUPPORTS INCLUDING UPLIFT.	
8	PREFABRICATED WOOD TRUSSES AT 2'-0" O.C., 15/32" OSB OR CDX PLYWOOD, EXPOSURE CATEGORY C.	
9	SEE CONNECTOR SCHEDULE	
10	TRUSS LAYOUT BY TRUSS COMPANY	

ROOF NOTES

#	NOTE	REV
1	ARROW INDICATES DOWNWARD DIRECTION OF ROOF SLOPE.	
2	ALL ROOF INSULATION TO EQUAL R-20 MIN.	
3	USE 3x4. DOWNSPOUT, TYP. UNO. REFER TO FLOOR PLAN & ELEVATIONS FOR LOCATIONS.	
4	USE 6" GUTTER @ 1/4" UNIT VERTICAL IN 12 UNITS HORIZONTAL, TYP. UNO.	
5	ANY ROOF PENETRATIONS CREATED AFTER ROOF INSTALLATION ARE TO BE PERFORMED BY THE ROOF CONTRACTOR.	
6	MAINTAIN EXISTING ROOFS AND WALLS IN A WATERPROOF CONDITION. SEAL OPENINGS AND EXPOSED PORTIONS OF CONSTRUCTION WATERTIGHT UNTIL NEW WORK IS IN PLACE.	
7	TYPICAL ROOFING DETAILS ARE SCHEMATIC IN NATURE. ROOFING CONTRACTOR SHALL COMPLY WITH ALL MANUFACTURER SPECIFICATIONS AND INSTALL PER MANUFACTURER DETAILS.	
8	ALL RIDGE VENTS TO BE 24" AWAY FROM ALL DRAFT STOPS.	
9	PENETRATIONS ARE REQUIRED TO BE A MINIMUM OF 12 INCHES FROM A WALL OR OTHER PENETRATIONS.	
10	ALL MECHANICAL PENETRATIONS THROUGH WALLS MUST BE A MINIMUM 24 INCHES ABOVE THE ROOF DECK TO PROVIDE ADEQUATE ROOM FOR INSTALLATION OF ROOFING.	

SHEATHING NOTES

#	NOTE	REV
1	ROOF SHEATHING: EXPOSURE CATEGORY B: 150 MPH - 15/32" OSB OR CDX PLYWOOD, 140 MPH (OR BELOW) 7/16" OSB OR CDX PLYWOOD, EXPOSURE CATEGORY C.	
2	ALL ROOF SHEATHING SHALL BE FASTENED TO ROOF FRAMING AS FOLLOWS: 15/32" THICKNESS OR LESS - WITH 8d RING SHANK NAILS WITH THE FOLLOWING MINIMUM DIMENSIONS: (2 3/8"x0.113) INCH NOMINAL SHANK DIAMETER, RING DIAMETER OF 0.012 OVER SHANK, 16 TO 20 RINGS PER INCH, 0.280 INCH FULL ROUND HEAD DIAMETER, 2 INCH NAIL LENGTH. GREATER THAN 15/32" THICKNESS - WITH 8d RING SHANK NAILS WITH THE FOLLOWING DIMENSIONS: (2 1/2" x 0.131) INCH NOMINAL SHANK DIAMETER, RING DIAMETER OF 0.012 OVER SHANK, 16 TO 20 RINGS PER INCH, 0.280 INCH FULL ROUND HEAD DIAMETER, 2 IN CH NAIL LENGTH.	
3	ROOF NAILING PATTERN SHALL BE AS FOLLOWS: EXPOSURE CATEGORY B: 150 MPH Vult & BELOW: 6" O.C. EXPOSURE CATEGORY C: 150 MPH Vult & BELOW: 4" O.C.	
4	ROOF SHEATHING ACTS AS HORIZONTAL DIAPHRAGM	
5	NAILS USED IN WALL SHEATHING APPLICATIONS SHALL BE 8d, COMMON RING OR SPIRAL SHANK, OR HOT DIPPED GALVANIZED, HAND OR GUN DRIVEN. (FOR GUN DRIVEN NAIL, THE SHANK SHALL BE 0.113 DIA. x 2 1/2" LONG W/ 15/64" DIA. HEAD, FULL ROUND), NAILING PATTERN SHALL BE AS FOLLOWS: 4" O.C. EDGES, 8" O.C. FIELD	
6	FULL DEPTH BLOCKING SHALL BE PLACED AT ALL WALL SHEATHING JOINTS NOT OCCURRING @ PLATES	

INSULATION NOTES

#	NOTE	REV
1	FLOOR CEILING ASSEMBLIES SEPARATING UNITS SHALL HAVE A MINIMUM STC-50 & IIC-50 PER FBC-B.	
2	ALL ATTIC INSULATION SHALL BE BLOW-IN TYPE (WHEREVER POSSIBLE; ALL OTHER INSULATION IS TO BE BATT.	
3	INSULATION IN EXTERIOR WALLS AT CONDITIONED SPACES SHALL BE R-19.	
4	INSULATION IN DOUBLE TENANT WALLS SHALL BE R-11, BOTH SIDES.	
5	INSULATION IN ATTICS SHALL BE R-38.	
6	FLOOR INSULATION TO BE R-19 FOR LIVING SPACE OVER UNCONDITIONED SPACE AND R-11 BETWEEN UNITS, INSTALLED AT UNDERSIDE OF SHEATHING.	

CONNECTOR SCHEDULE

WOOD/TRUSS TO MASONRY CONNECTIONS									
NOTE: USE CONNECTOR M1 UNLESS NOTED OTHERWISE									
MODEL *	ID*	HTS16	HTS20	HTS24	HTS28	HTS32	HTS36	HTS40	HTS44
1d x 15 NAILS UPLIFT (LBS)	M1	1450	1725	2000	2275	2550	2825	3100	3375
MISSING CONNECTOR NOTES:									
MISSING UNTIL STRAPS FOR MASONRY CONSTRUCTION MAY BE SUBSTITUTED WITH (1) 8MPHSON HTS16 STRAP W/ (4) 1/4" x 2 1/4" LONG TITEN 2 MASONRY SCREWS TO BOND BEAM BLOCK AND (8) 1d x 1 1/2" NAILS TO TRUSS. (MAX UPLIFT VALUE ITS LBS.)									
MISSING BOLTED GIRDER ANCHORS MAY BE SUBSTITUTED WITH (1) 8MPHSON PGTR W/ (2) 1/4" x 5" TITEN HD TO BOND BEAM AND (8) 1/4" x 3" SD6 SCREWS TO TRUSS. (MAX UPLIFT VALUE 5000 LBS.)									
WOOD/TRUSS TO WOOD STRAP/CLIP CONNECTIONS									
NOTE: USE CONNECTOR M1 UNLESS NOTED OTHERWISE									
MODEL *	ID*	HTS16	HTS20	HTS24	HTS28	HTS32	HTS36	HTS40	HTS44
1d x 15 NAILS TO PLATE/STUD UPLIFT (LBS)	M1	1450	1725	2000	2275	2550	2825	3100	3375
MODEL * <th>ID*</th> <th>HTS16</th> <th>HTS20</th> <th>HTS24</th> <th>HTS28</th> <th>HTS32</th> <th>HTS36</th> <th>HTS40</th> <th>HTS44</th>	ID*	HTS16	HTS20	HTS24	HTS28	HTS32	HTS36	HTS40	HTS44
1d x 15 NAILS TO PLATE/STUD UPLIFT (LBS)	N1	1450	1725	2000	2275	2550	2825	3100	3375
TRUSS/HEADER CONNECTIONS									
NOTE: USE CONNECTOR R1 UNLESS NOTED OTHERWISE									
MODEL *	ID*	HTS16	HTS20	HTS24	HTS28	HTS32	HTS36	HTS40	HTS44
1d x 15 NAILS TO PLATE/STUD UPLIFT (LBS)	R1	1450	1725	2000	2275	2550	2825	3100	3375
FOST TO SLAB (UNDER GIRDER)									
MODEL *	ID*	HTS16	HTS20	HTS24	HTS28	HTS32	HTS36	HTS40	HTS44
1d x 15 NAILS TO PLATE/STUD UPLIFT (LBS)	V1	1450	1725	2000	2275	2550	2825	3100	3375
FOST TO SLAB CONNECTIONS									
MODEL *	ID*	HTS16	HTS20	HTS24	HTS28	HTS32	HTS36	HTS40	HTS44
1d x 15 NAILS TO PLATE/STUD UPLIFT (LBS)	W1	1450	1725	2000	2275	2550	2825	3100	3375
MISC. CONNECTIONS									
DESCRIPTION	MODEL *	ID*	HTS16	HTS20	HTS24	HTS28	HTS32	HTS36	HTS40
WOOD HDR TO MASONRY FASTENERS UPLIFT	X1	HTS16	1450	1725	2000	2275	2550	2825	3100
WOOD HDR TO WOOD HDR FASTENERS UPLIFT	X2	HTS16	1450	1725	2000	2275	2550	2825	3100
WOOD HDR TO MASONRY FASTENERS UPLIFT	X3	HTS16	1450	1725	2000	2275	2550	2825	3100
WOOD HDR TO WOOD HDR FASTENERS UPLIFT	X4	HTS16	1450	1725	2000	2275	2550	2825	3100

*PRODUCT MAY BE USED FOR A SINGLE FLY TRUSS PROVIDE THE TRUSS IS BLOCKED TO RECEIVE THE 3 INCH SD6 SCREWS AND THE BLOCKING IS ATTACHED TO THE TRUSS TO ACT AS A SINGLE UNIT.
*1d x 15" NAILS MAY BE USED ILO SD6 SCREWS. UPLIFT VALUE IS REDUCED TO 3610
NOTE:
ALL TRUSS TO TRUSS HANGERS ARE TO BE SPECIFIED & PROVIDED BY THE TRUSS MANUFACTURER

Submissions

#	DATE	DESCRIPTION
1		INITIAL SUBMISSION

CLOSET EXTENSION
2960 PARKLAND DRIVE
WINTER PARK, FL

BUECHELE
RESIDENCE

DATE:

2024 March,26

SCALE:

AS SHOWN

JOB NUMBER:

24107

I agree to the terms defined by the placement of my signature on this document.

ALEJANDRO J. MUNOZ
AR 102135

This form has been electronically signed and sealed by the architect. Printed copies of this document are not considered signed and sealed and the signature must be verified on the electronic version.

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ROOF PLAN

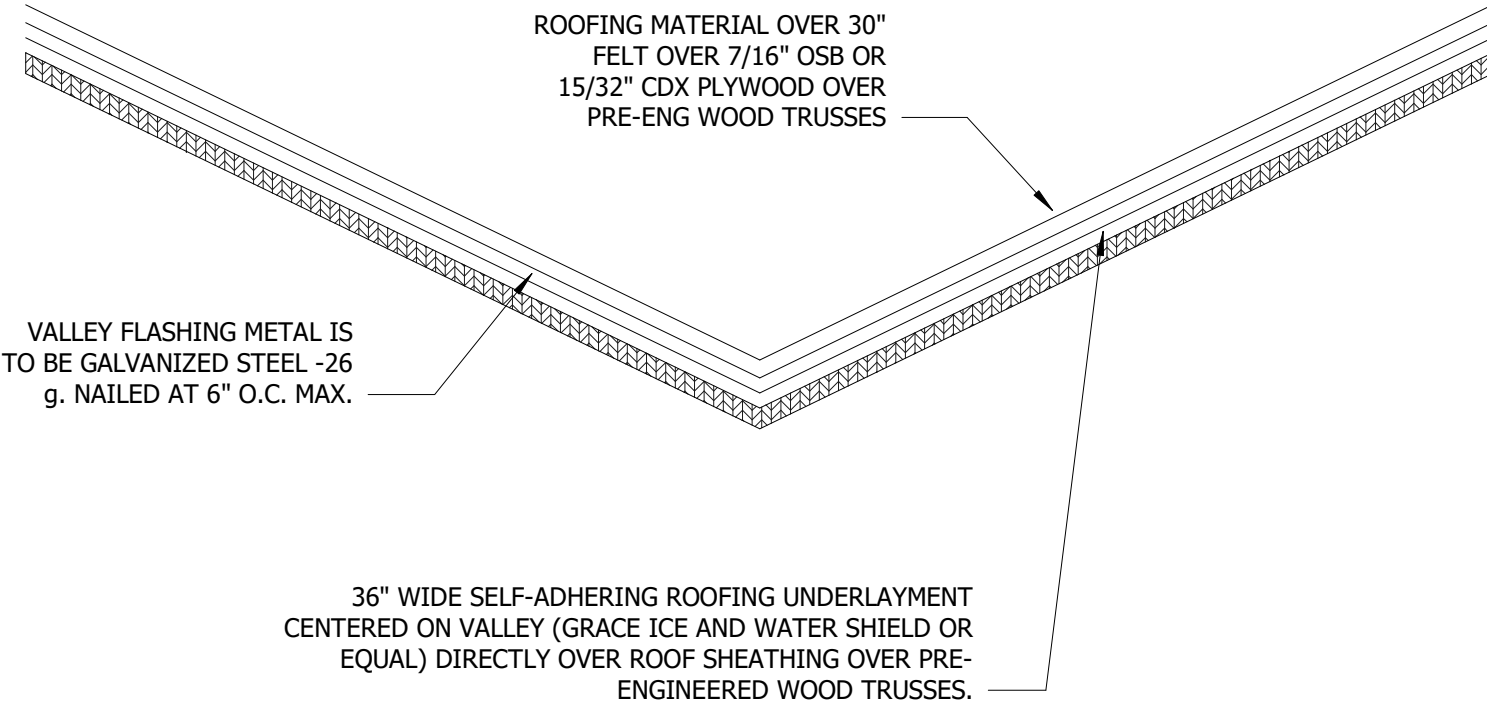
Written dimensions on these drawings shall have precedence over scaled dimensions. Contractor shall verify and be responsible for all dimensions and conditions on the job. STUDIO AM must be notified immediately in writing of any variation from the dimensions and conditions shown on these drawings. Field verify all conditions prior to laying out or fabricating associated work. Bring to the architect's attention any deviation from designed conditions and field conditions prior to ordering materials and installing work, and cooperate with architect to modify such conditions at no additional cost to the owner, architect or architect's consultants. Shop details must be submitted to the architect prior to ordering materials, fabrication and delivery to the job site, unless otherwise provided for under the specific contractual agreement between the architect and client. STUDIO AM expressly reserves its common law copyright and other property rights in these documents. These documents are not to be reproduced, changed, or copied in any form or manner whatsoever, nor are they to be assigned to a third party without first obtaining the written permission and written consent of STUDIO AM. In the event of unauthorized use of these documents by a third party, the third party shall hold STUDIO AM harmless and agrees to remunerate STUDIO AM for such use in an amount equal to the original fee for the original documents, plus legal fees, court costs, collection fees and other costs.

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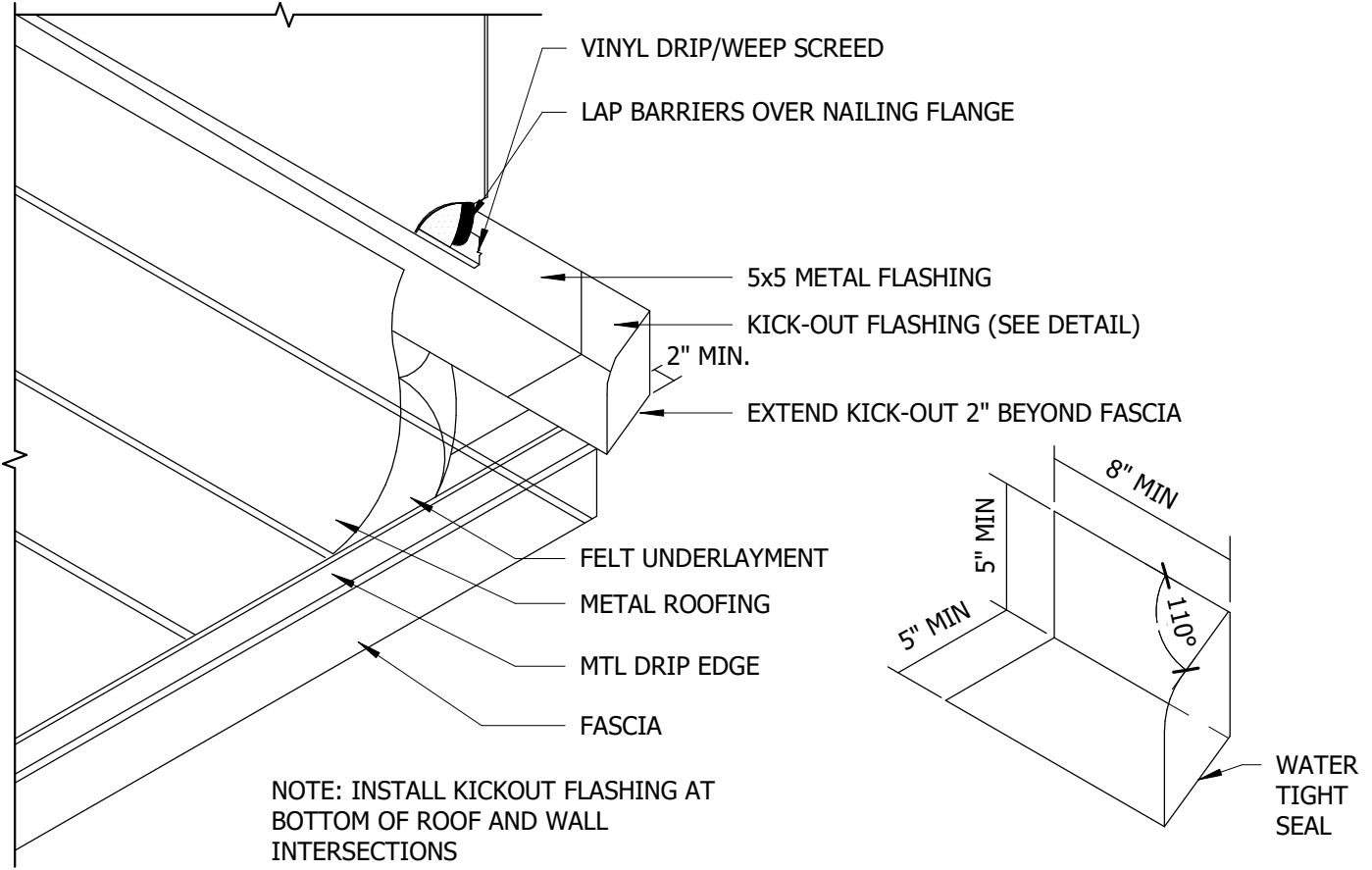
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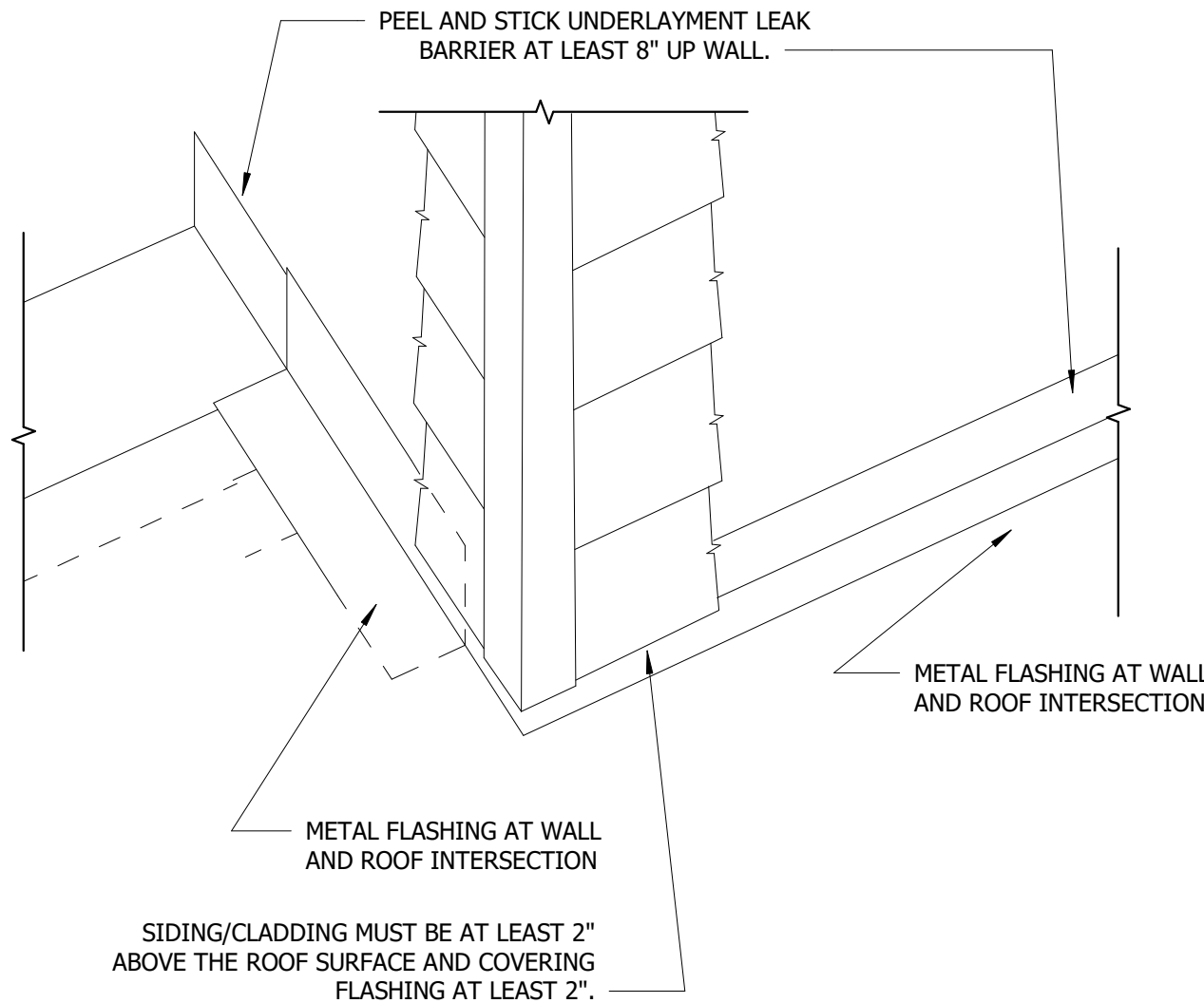
EACH CONTRACTOR SHALL COORDINATE THEIR WORK WITH ALL OTHER TRADES.



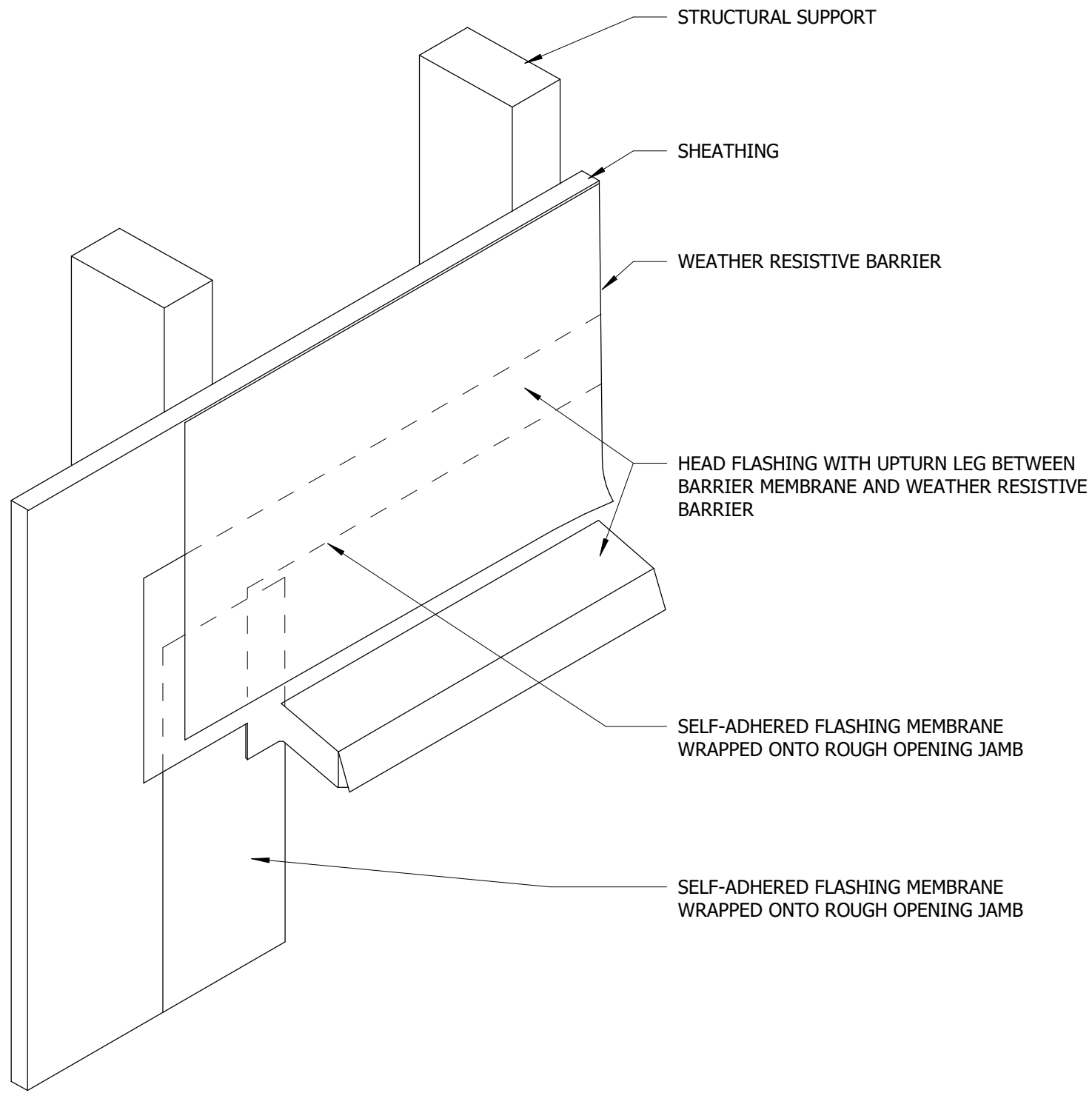
4 VALLEY FLASHING DETAIL
SCALE: 3/4" = 1'-0"



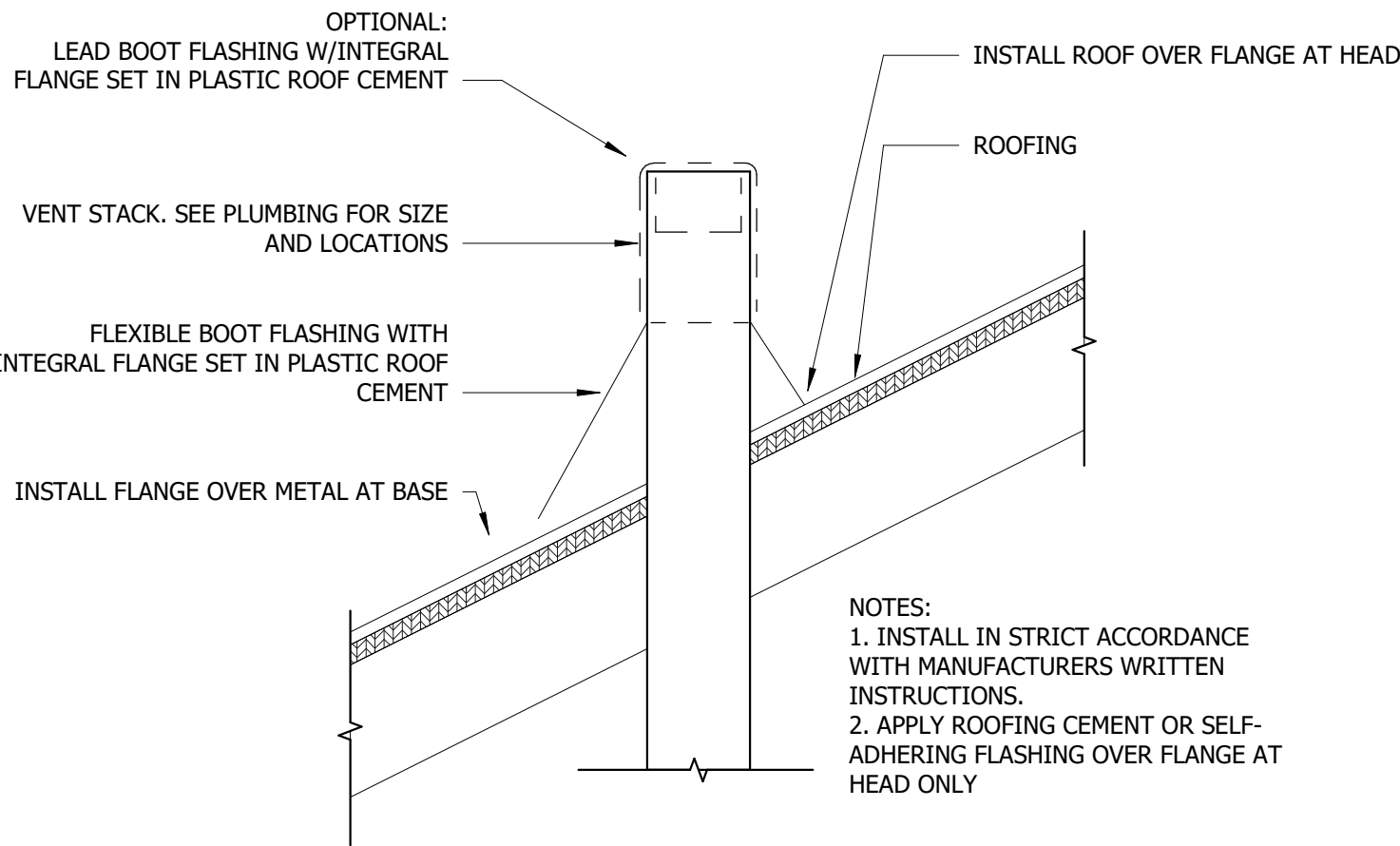
5 WALL/KICKOUT FLASHING DETAIL
SCALE: 3/4" = 1'-0"



1 BASE AND COUNTER FLASHING DETAIL
SCALE: 3/4" = 1'-0"



2 EXTERIOR DOOR, WINDOW, AND HORZ. TRIM HEAD FLASHING DETAIL
SCALE: 3/4" = 1'-0"



3 ROOF PENETRATION FLASHING DETAIL
SCALE: 3/4" = 1'-0"

Waterproofing		
#	DATE	DESCRIPTION
1		INITIAL SUBMISSION
2		
3		
4		
5		
6		
7		
8		

Submissions

CLOSET EXTENSION
2960 PARKLAND DRIVE
WINTER PARK, FL

BUECHELE
RESIDENCE

DATE:
2024 March,26

SCALE:
AS SHOWN

JOB NUMBER:
24107

I agree to the terms defined
by the placement of my
signature on this document.

ALEJANDRO J. MUNOZ
AR 102135

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WATERPROOFING
DETAILS

Page 21 of 24

June 24, 2024

City Of Winter Park

Re: 2960 Parkland Drive Winter Park, FL 32789/Permit for office

To Whom It May Concern:

We are in favor of the proposed work of turning an existing closet into a home office on our neighbor's house at 2960 Parkland Drive Winter Park FL 32789. We are in support of permitting of this project.

Laura Duba

Contact info:

Laura Duba
407 620 7856
2930 Parkland Dr
WP FL 32789

June 24, 2024

City Of Winter Park

Re: 2960 Parkland Drive Winter Park, FL 32789/Permit for office

To Whom It May Concern:

We are in favor of the proposed work of turning an existing closet into a home office on our neighbor's house at 2960 Parkland Drive Winter Park FL 32789. We are in support of permitting of this project.




Contact info:

Jerrod & Katharine Bevan
2926 Parkland Court
Winter Park, FL 32789

Ph: 843-793-9886

June 24, 2024

City Of Winter Park

Re: 2960 Parkland Drive Winter Park, FL 32789/Permit for office

To Whom It May Concern:

We are in favor of the proposed work of turning an existing closet into a home office on our neighbor's house at 2960 Parkland Drive Winter Park FL 32789. We are in support of permitting of this project.

CAROLINA ALVAREZ

A handwritten signature in black ink, appearing to read 'Carolina Alvarez', written over a horizontal line.

Contact info: 321-279-1758
2961 PARKLAND DR.
WINTER PARK 32789