



Historic Preservation Board Regular Meeting

Agenda

April 10, 2024 @ 9:00 AM

City Hall Commission Chambers
401 S. Park Avenue

welcome

Agendas and all backup material supporting each agenda item are accessible via the city's website at cityofwinterpark.org/meetings/ and include virtual meeting instructions.

assistance & appeals

Persons with disabilities needing assistance to participate in any of these proceedings should contact the City Clerk's Office ([407-599-3277](tel:407-599-3277)) at least 48 hours in advance of the meeting.

"If a person decides to appeal any decision made by the Board with respect to any matter considered at this hearing, a record of the proceedings is needed to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based." (F.S. 286.0105).

please note

Times are projected and subject to change.

-
- 1. Call to Order**
 - 2. Consent Agenda**
 - a. Approve the minutes of March 13, 2024. 1 minute
 - 3. Public Comments (for items not on the agenda): Three minutes allowed for each speaker**
 - 4. Public Hearings (Public participation and comment on these matters must be in person.)**
 - a. Request by Carolyn Miller for approval to reconstruct the existing one-story Ranch architectural style home at 1430 Glencoe Road into a one-story Spanish Colonial/Spanish Mission architectural style home of 3,700 square feet in size. 30 minutes
 - 5. Action Items**
 - 6. Non-Action Items**
 - 7. Staff Updates**
 - 8. Board Comments**
 - 9. Upcoming Agenda Items**
 - 10. Adjournment**



Historic Preservation Board

agenda item

item type

Consent Agenda

meeting date

April 10, 2024

prepared by

Mary Bush, Administrative Coordinator III

approved by**subject**

Approve the minutes of March 13, 2024.

motion | recommendation**background****strategic objectives****alternatives | other considerations****fiscal impact****attachments**

1. Draft Historic Preservation Board Regular Meeting Minutes



Historic Preservation Board Regular Meeting Minutes

March 13, 2024 at 9:00 AM

City Hall Commission Chambers
401 S. Park Avenue

Present

Kelsey Wolfe, John Skolfield, Drew Henner, Aimee Spencer, Wade Miller, Lucy Boudet

Absent

N. Lee Rambeau

Staff Present

Planning Consultant Jeff Briggs, Planner I Corinna Lundgren, Administrative Coordinator Mary Bush

1. Call to Order

Chairman Miller called the meeting to order at 9:02 a.m.

2. Consent Agenda

- a. Approve the minutes of December 13, 2023.

Motion made by John Skolfield, seconded by Lucy Boudet to approve the March 13, 2024 meeting minutes.

The motion carried unanimously by a 6-0 vote. (N. Lee Rambeau was absent from the meeting.)

3. Public Comments (for items not on the agenda): Three minutes allowed for each speaker

No one from the public wished to speak. The public hearing was closed.

4. Public Hearings (Public participation and comment on these matters must be in person.)

- a. Request by Charles and Lisa Clayton for approval to construct a 355 square foot open porte-cochere over the existing driveway on the north side of the existing home with a side setback of 19.5 feet, at 940 Old England Avenue.

Mr. Briggs provided a summary of the item. He presented a site plan for the proposed project. He explained that the applicant previously received approval for renovations and additions to the house in December 2002. He further explained that the applicant

now wanted to build an open porte-cochere that would provide shelter for their cars and would be located next to one of the previously approved existing additions. He indicated that the porte-cochere would be 355 square feet and located on the north side of the house. He discussed the normal allowance for setbacks per square footage of the house and noted that the porte-cochere would be an open structure and would meet all zoning requirements for floor-area-ratio and impervious coverage. He also noted that per code, due to the size of the proposed porte-cochere and the significant width of the lot, a 26-foot side setback from the property line is required, but the applicant was seeking a 19.5-foot setback. He expressed that staff felt that the porte-cochere would have minimal impact on neighboring homes and would be architecturally compatible with the existing house.

Staff recommendation was for approval.

The Board asked if any comment had been received from the neighbor to the north of the applicant's property, to which Mr. Briggs responded that there had not been any comment received.

The applicant, Charles Clayton of 940 Old England Avenue, Winter Park, FL 32789, addressed the Board. Mr. Clayton spoke about how the location of the porte-cochere was decided and why the variance was requested.

A brief discussion ensued regarding the pitch of the roof on the proposed porte-cochere, with the Board ultimately recommending a 4/12 pitch rather than an 8/12 pitch to minimize the visual impact.

No one from the public wished to speak. The public hearing was closed.

Motion made by John Skolfield, seconded by Lucy Boudet for approval to construct a 355 square foot open porte-cochere over the existing driveway on the north side of the existing home with a side setback of 19.5 feet, at 940 Old England Avenue.

The motion carried unanimously by a 6-0 vote. (N. Lee Rambeau was absent from the meeting.)

- b. Request by Carolyn Miller for approval to reconstruct the existing one-story Ranch architectural style home at 1430 Glencoe Road into a one-story Spanish Colonial/Spanish Mission architectural style home of 3,700 square feet in size.

**THIS ITEM HAS BEEN TABLED TO THE APRIL 10, 2024
HISTORIC PRESERVATION BOARD REGULAR MEETING.**

Mr. Briggs announced that the applicant requested the item to be tabled to the next

Planning & Zoning Board regular meeting scheduled for April 10, 2024.

- c. Request of Z Properties on behalf of Mr./Mrs. Proudfit to designate the property at 1290 N. Park Avenue to the Winter Park Register of Historic Places.

Mr. Briggs provided a summary of the item. He presented an area map and site plan for the project. He provided the Board with details regarding the history of the house and the previous owners. He noted that the house was constructed in 1930 by renowned architect Gamble Rogers and is believed to be the very first home Mr. Rogers built in the City of Winter Park. He also noted that the original owners were Zoe Schifrin, a nationally recognized artist, and Dr. Schifrin, a prominent medical figure, who both enrich the property's historical context. He indicated that the applicant had done some interior demo to advance any construction timetable in the future. He added that although an application for a lot split on the property seems likely to happen, no application has been submitted to the City at this time. Mr. Briggs explained that if the applicant submitted a request for a lot split, it would have to go before the Planning & Zoning Board and then before the City Commission for a public hearing. He reminded the Board that their purview was only to determine if the home was worthy of a historical designation.

Staff recommendation was for approval.

The Board expressed favor of the designation, noting that it being a 1930s Gamble Rogers house made it original, a wonderful part of Winter Park's history, and worthy of designation. The Board also asked if the owner could tear down the house if it was not designated, to which Mr. Briggs replied that the applicant could in fact tear the house down because they had already applied for demolition and waited 90 days per code.

The Board heard public comment from the following residents:

Jason Searl of 301 E. Pine Street, Orlando, FL 32801 addressed the Board. Mr. Searl indicated that he was counsel for Peter DePasqua, the adjacent neighbor of the applicant's lot, at 1250 North Park Avenue. He spoke about his client's objection to the process. He expressed that the process is merely a ruse to try and get an otherwise non-compliant lot split with variances approved as part of a later related action before another city board. He noted that the applicant's lot split design proposal preliminary architectural set predated the applicant's submittal of its designation application. He also noted that demolition activity had been occurring on the applicant's lot since November 2023 and a porte-cochere had been demoed. He added that the future contemplated structure would also block the front right portion of the house. Mr. Searl indicated that his client along with an adjacent neighbor to the property had signed a support letter in regards to the stated objections. He asked the Board to remedy issues with the process by conditioning the designation so that any later or related actions pursued by the

applicant with the City would not result in any negative impacts to the neighbors.

Brief discussion ensued with the Board regarding the following:

- how Mr. Searl's client felt about the worthiness of the designation,
- the client's request being a concern needed to be brought up to the City Commission rather than the Historic Preservation Board,
- the structures that have already been demoed not being a part of the original principal structure,
- the Board's role of only providing recommendation as to the designation of the existing principal structure,
- whether or not a historic designation includes the entirety of a property,
- and if the Board would need to be part of the review process if the applicant ever submitted for a lot split.

The neighbor represented by Jason Searl, Peter DePasqua at 1250 N. Park Avenue, Winter Park, FL 32789 addressed the Board. Mr. Depasqua spoke about the possible lot split and expressed that there was no room for green space on the applicant's plans. He also expressed that if the lot were split it would change the entire scenery in the neighborhood and would not be consistent with the City of Winter Park.

Brief discussion ensued, which concluded with the Board re-iterating that they were only able to decide on whether the existing house should be designated or not. The Board advised that Mr. DePasqua take his concerns on to the next step in the process.

No one else from the public wished to speak. The public hearing was closed.

Motion made by John Skolfield, seconded by Lucy Boudet for approval to designate the property at 1290 N. Park Avenue to the Winter Park Register of Historic Places.

The motion carried unanimously by a 6-0 vote. (N. Lee Rambeau was absent from the meeting.)

5. Action Items

6. Non-Action Items

7. Staff Updates

Mr. Briggs provided an update on the historical landmark signs that have been ordered and placed around the City. He noted that a marker had been placed at The Woman's Club of Winter Park and at the Winter Park Freight Depot. With regard to the proposed landmark sign for All Saints Episcopal Church, Mr. Briggs indicated that he would be

discussing it with the church now that the markers that have already been installed can be used as a reference. Mr. Briggs also noted that he had already ordered markers for the Dinky Line Railroad, the First Congregational Church of Winter Park, and Cady Way Pool.

8. Board Comments

9. Upcoming Agenda Items

10. Adjournment

The meeting adjourned at 9:55 p.m.

ATTEST:

/s/ Mary Bush, Board Secretary



Historic Preservation Board

agenda item

item type

Public Hearings (Public participation and comment on these matters must be in person.)

meeting date

April 10, 2024

prepared by

Jeffrey Briggs

approved by

Jeffrey Briggs

subject

Request by Carolyn Miller for approval to reconstruct the existing one-story Ranch architectural style home at 1430 Glencoe Road into a one-story Spanish Colonial/Spanish Mission architectural style home of 3,700 square feet in size.

motion | recommendation

STAFF RECOMMENDATION IS FOR APPROVAL with the condition that the driveway section adjacent to the live oak tree be gravel and not concrete/asphalt.

background

Carolyn Miller (owner) with assistance from Julie Lamar (architect) is requesting approval for exterior remodeling and additions at 1430 Glencoe Road which will transform the home from a Ranch architectural style to a Spanish Mission/Spanish Colonial architectural style. The property and home are within the Virginia Heights, East historic district.

Historic District Development Option Background:

When there exists a building in a historic district that is deemed to be “contributing”, the owners have only two options. One is to preserve the existing architectural style and undertake exterior renovations and/or additions that are complimentary to the existing architectural style. This is what the HPB often sees on your agendas. A second option is for the owners to propose conversion of the structure to an alternative authentic version of another architectural style that was popular during the similar era of the original building. This is discretionary on the part of the HPB, to accept this architectural transformation or not.

The applicants presented their preliminary concept plans for the transformation of the home to the HPB in December, 2023. With some suggested modifications, the HPB expressed that the applicants were on the right track with exterior styling that appeared to be authentic and would produce a building that would look like a building from the 1920's -1940's.

This has been successfully done before at several locations on Holt Avenue. The three Bungalow cottages built in 2005, near the corner of Pennsylvania Avenue at 530; 546 and 550 Holt Avenue replaced previous structures and now present an image of Bungalow architectural

styling from the 1920's. Similarly, Rollins College in 2017, replaced two very unattractive structures at 363 Holt Avenue and at 483 Holt Avenue with authentic replicas of Craftsman houses that were popular in the 1920's. These were scenarios where a previous HPB felt that the existing buildings did not possess any worthwhile architectural styling and while re-creations, the resultant Bungalow and Craftsman homes, authentically present the image of homes as if they were built in the 1920's. It has also been unsuccessfully accomplished at 774 Maryland Avenue and at 1471 Highland Road. In those instances, the resultant rebuilds are not readily distinguishable from the typical new custom homes built in the city.

Spanish Colonial/Spanish Mission Architectural Compatibility:

The applicants have presented their plans for the transformation of styling and additions. The home is one-story, consistent with most examples of this architectural styling from the 1920's.

The existing home is 2,058 sq. ft. in size (living area and garage) and with the additions, it will be 3,700 sq. ft. in size (living area plus garage). This is a FAR of 28.7% which is well within the maximum permitted FAR of 35%. The new home meets the front, side and rear setbacks with one small variation. The existing house setback on the south side of the lot is 10 feet and the applicants wish to continue the addition in line with that 10-foot setback plus articulation in lieu of the required 13-foot side setback.

The commentary at the HPB meeting in December highlighted protection of the live oak tree along the north property line. The plans propose concrete paving in proximity to that live oak tree. The excavation of 6-9 inches will remove the surface roots and the compaction will also be injurious to the live oak. Staff believes that the plans need to alter the surface of the driveway in that area to gravel versus concrete/asphalt in order to avoid construction impacts to the root system.

The staff also would encourage the applicant to consider a slight enlargement of the garage to the architectural design standards of 22 x 22 versus the 20 x 20 shown. That extra width and depth will be most welcome when one needs a place to put the garbage cans, store bicycles, etc. and comfortably fit two cars in the garage.

The applicant's architectural package contains detailed information on the styling aspects of the exterior for the HPB to review as to authenticity. Architecturally, these proposed modifications appear to match the essential elements of Spanish Colonial/Spanish Mission architecture.

strategic objectives

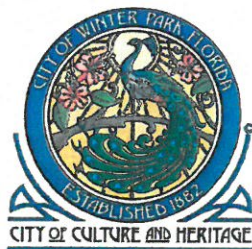
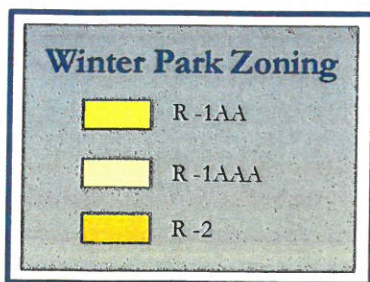
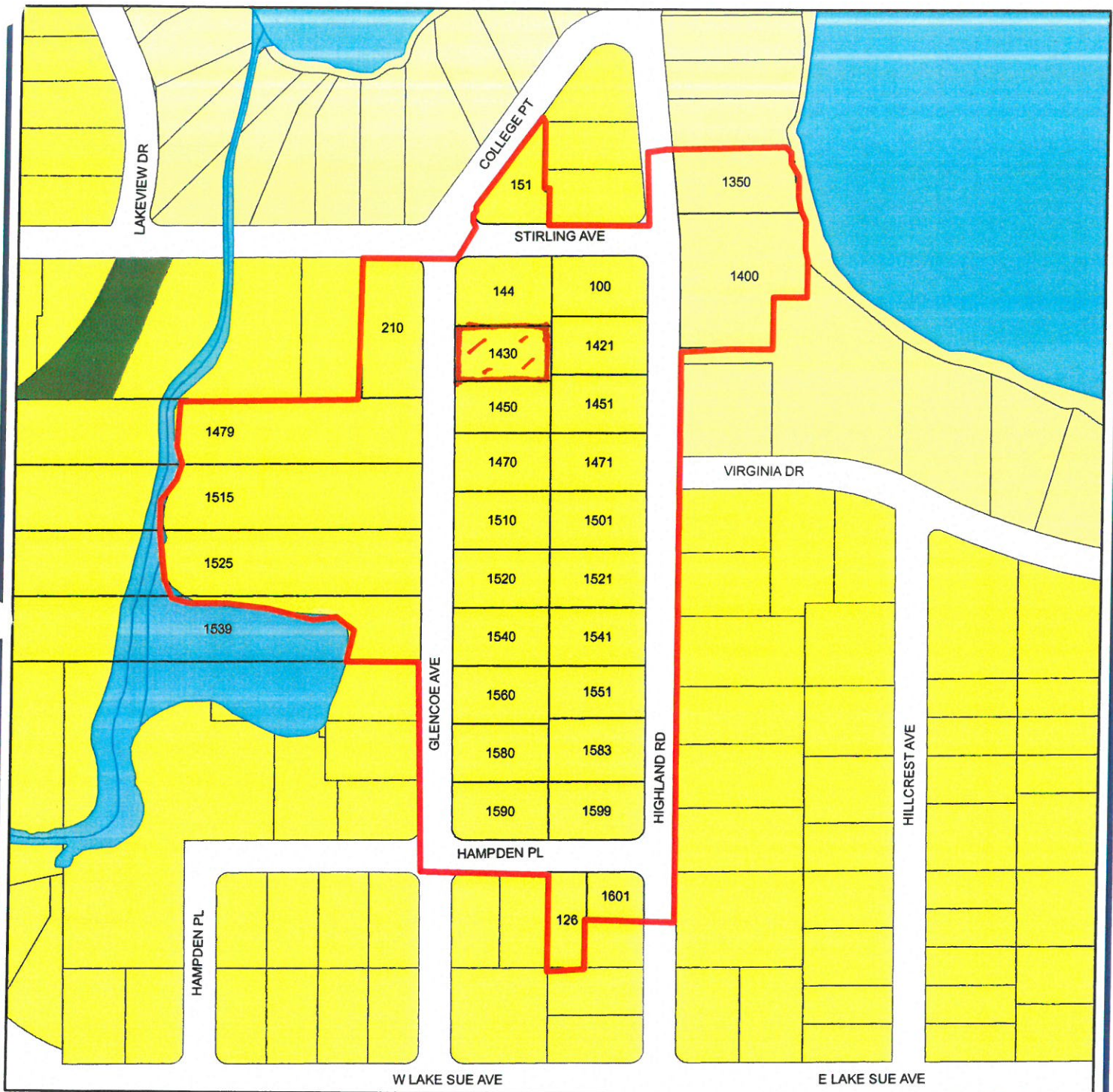
alternatives | other considerations

fiscal impact

attachments

1. Location Map
2. Existing House Pictures
3. 1430 Glencoe Architectural Plan submittal_March 2024

Virginia Heights East Historic District



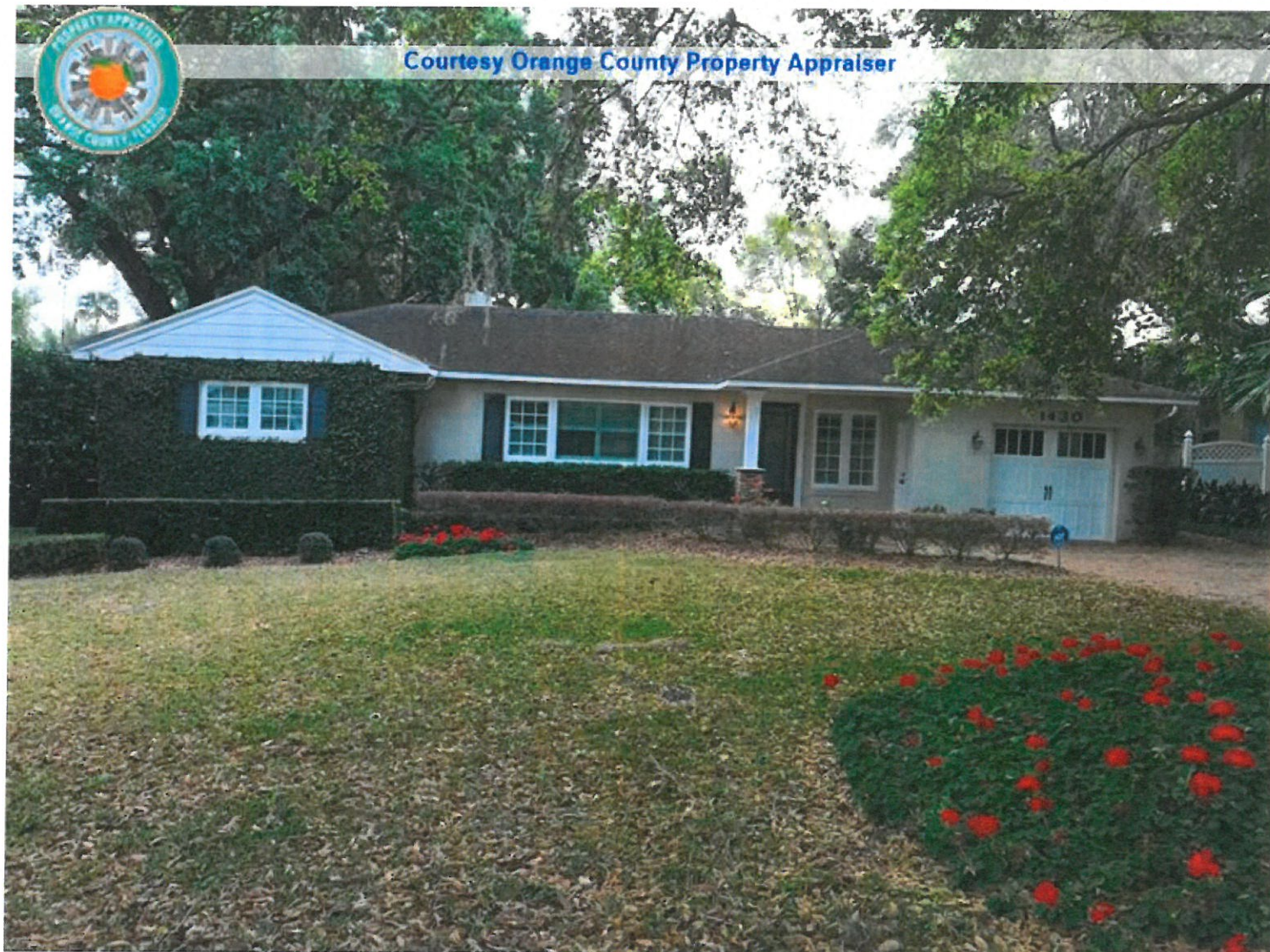
Parcel Photos - 1430 Glencoe Rd



1430 GLENCOE RD, WINTER PARK, FL 32789 12/22/2020 9:40 AM



Courtesy Orange County Property Appraiser



1430 GLENCOE RD, WINTER PARK, FL 32789 3/9/2020 8:35 AM



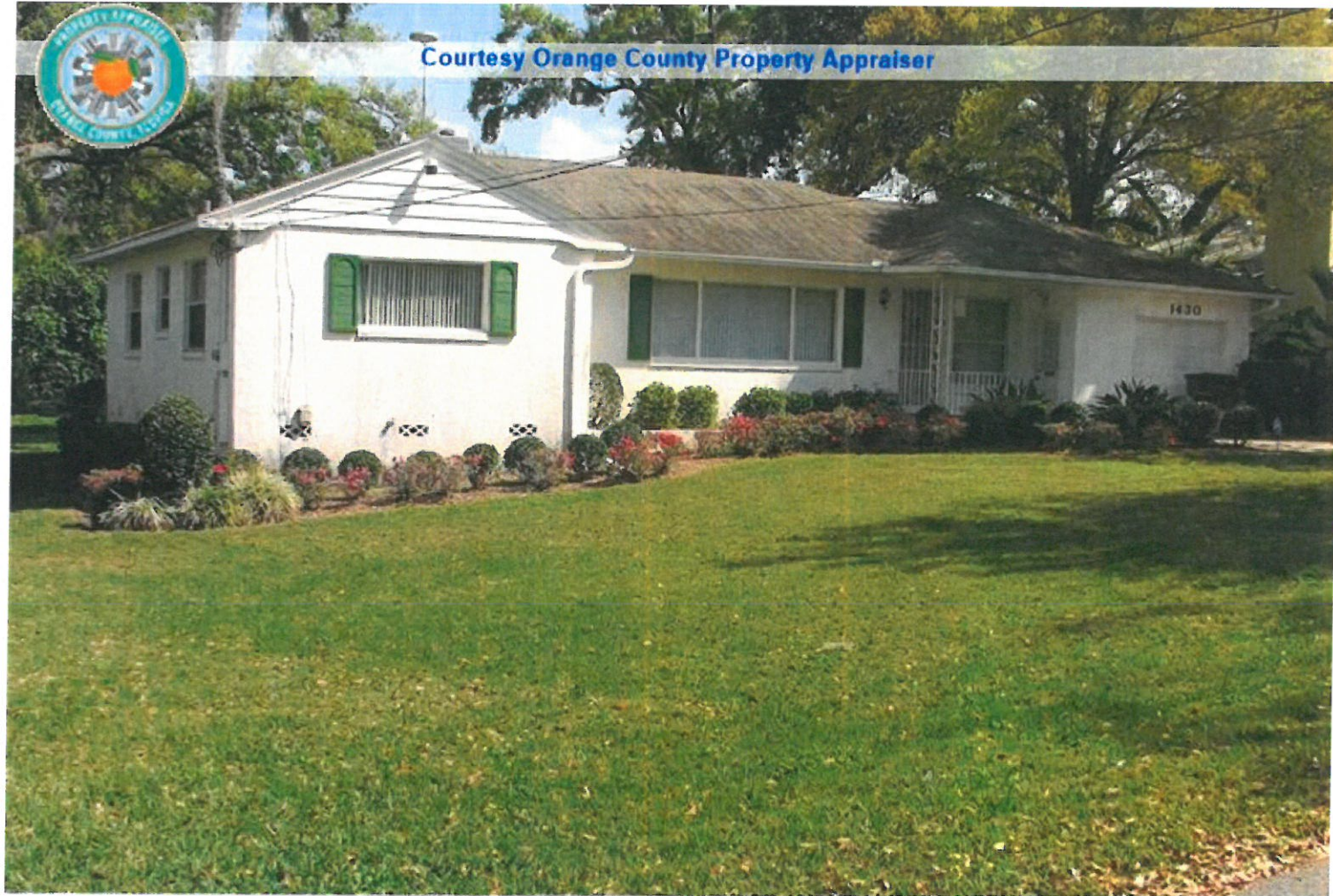
Courtesy Orange County Property Appraiser



1430 GLENCOE RD, WINTER PARK, FL 32789 11/19/2015 3:03 PM



Courtesy Orange County Property Appraiser



302207890814021 03/09/2006



1430 Glencoe Road
WINTER PARK, FL 32789



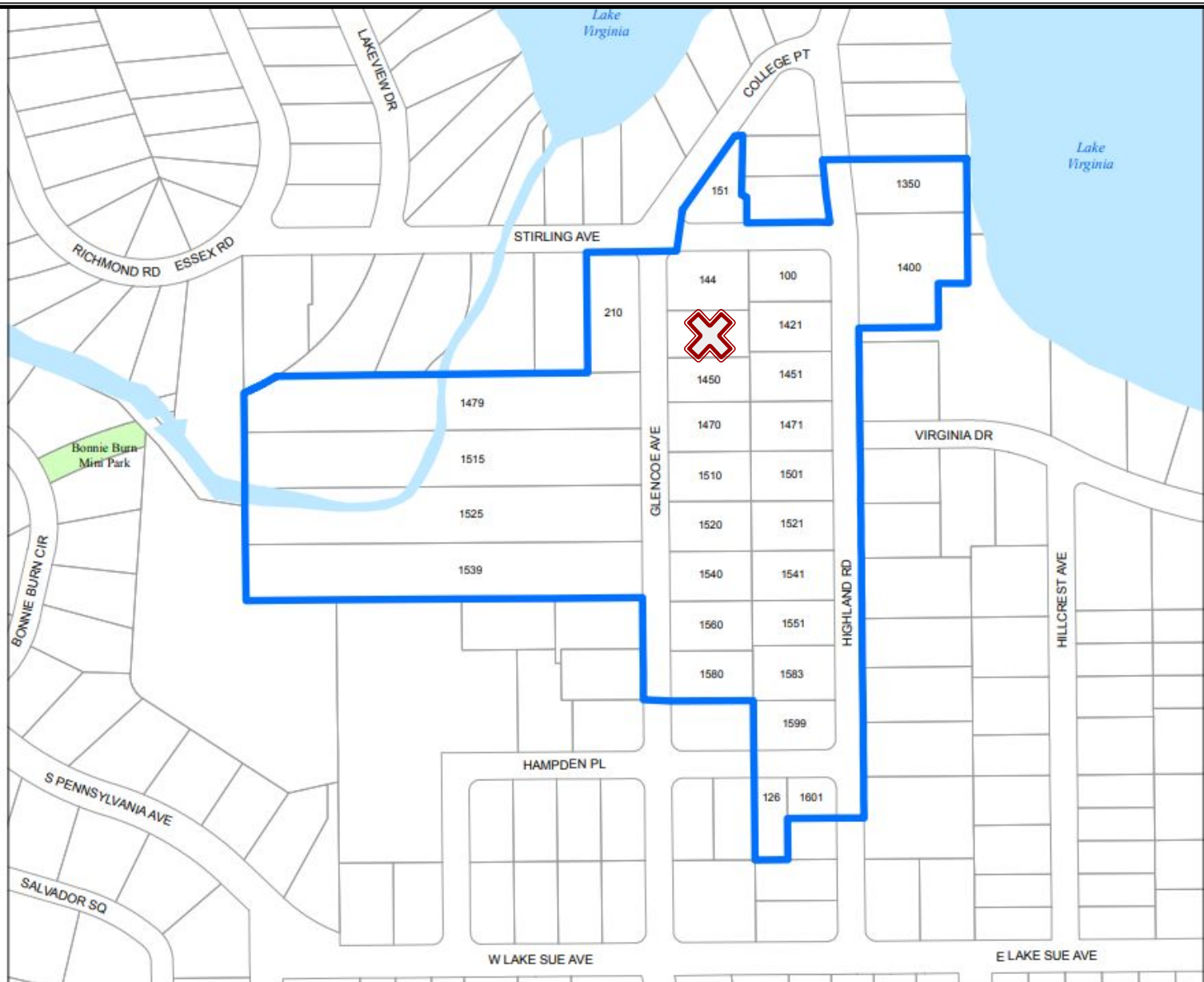
EAST VIRGINIA HEIGHTS HISTORIC DISTRICT

City of Winter Park
Florida

Legend

-  Historic Districts
-  Parcels
-  Parks
-  Water
-  Railroads

VICINITY MAP



1430 Glencoe Road
WINTER PARK, FL 32789

ZONING INFORMATION

1430 Glencoe Road

WINTER PARK, FL 32789

LEGAL DESCRIPTION: VIRGINIA HEIGHTS G/107 THE S 76 FT OF LOT 2 & N 10 FT OF LOT 3 BLK N

ZONING: R-1AA

LOT DIMENSIONS PER SURVEY: 86' wide by 150' deep

LOT AREA PER OCPA: 12,883 sqft (+/-) or 0.30 acres (+/-)

PLAT DATE: 01/20/1922

EXISTING HOUSE SQUARE FOOTAGE: (per OCPA)

GROSS AREA: 2,058 sqft

UNDER AIR AREA: 1,267 sqft

SETBACKS: Per Section 58-65(f) the following building setbacks would be imposed on the property:

FRONT: 40'. A survey of the property shows the existing front setback to be 39.8' from the front property line (not the street). 20% of 150' would be 30', however the code says "whichever is greater", so the existing front setback of 39.8 (40') would be the required front setback.

SIDE 1ST FLOOR: 13'. ($86 \times .30 = 25.8/2 = 12.9$, per SECTION 58-65.(f)(5)d, setbacks are to be rounded to the nearest whole number.

SIDE 2ND FLOOR: 17' ($86 \times .40 = 34.4/2 = 17.2$)

REAR 1ST FLOOR: 25'

REAR 2ND FLOOR: 35'

FLOOR AREA RATIO (FAR): 5,000 sqft as the 35% calculation is less and SECTION 58-65.(f) allows for whichever number is greater to be used ($12,883 \times .35 = 4,509$ sqft) (See also SECTION 58-65.(f)(1)c.d.e.) (Proposed = 4,285 sqft)

MAX. BUILDING HEIGHT: 35' **PROPOSED BUILDING HEIGHT:** 20' (to top of the tower section)

IMPERVIOUS SURFACE RATIO (ISR): 6,441.5 sqft ($12,883 \times .50 = 6,441.5$) (See also SECTION 58-65.(f)(2)b.c.) (Proposed = 6,156 sqft)

PROPOSED HOUSE SQUARE FOOTAGE:

GROSS AREA: 4,742 sqft (incl. porch & garage)

UNDER AIR AREA: 3,300 sqft

1430 Glencoe Road

WINTER PARK, FL 32789



1430 Glencoe Road
WINTER PARK, FL 32789



1430 Glencoe Road
WINTER PARK, FL 32789

PROPOSAL

The proposed plan calls for keeping the footprint of the existing house along with its exterior walls, adding an addition in the rear and changing the front elevation. Our plan meets code requirements for the front and rear setbacks, is less than the maximum height allowed, less than the maximum FAR allowed and less than the maximum impervious allowed. Since we are working with the existing house, we are utilizing the side setback exemption to continue the non-conforming south side setback for 16'8", less than the maximum of 24'. The north side of the home meets the side setback requirement.

Our goal is to update the home for contemporary use on the inside, while enhancing the historical character of the East Virginia Heights Historic District with a change to the front elevation on the exterior. Since the origin of the American Ranch is the Spanish Colonial, we believe our design contributes to the historic character of the district. The elements we are adding, such as arch top windows, wood corbels at the covered front entry, iron work window details, barrel tile roof, clay scuppers and a parapet wall will enhance the charm of the neighborhood.

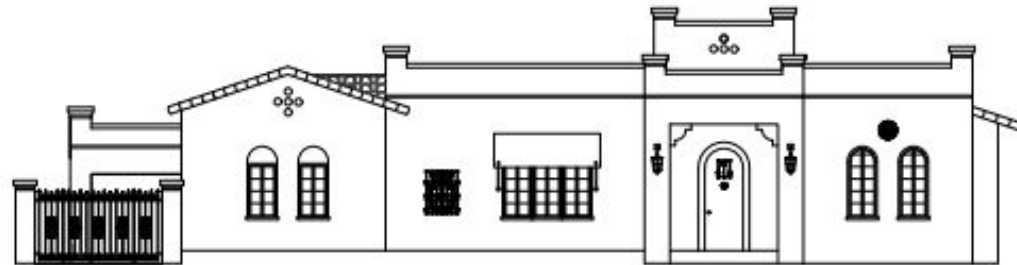
We appreciate the opportunity to collaborate with the Historic Preservation Board on our ideas for adapting this home for contemporary living. We believe our proposed exterior front elevation change is appropriate to the property, and a compatible design which is harmonious with the exterior architectural and landscape features of neighboring buildings, sites, and streetscapes.

PROPOSED REMODEL FOR THE MILLER RESIDENCE

1430 GLENCOE ROAD
WINTER PARK, FL 32751

INDEX OF DRAWINGS

CS	COVER SHEET
SP1	EXISTING SITE PLAN
SP2	PROPOSED SITE PLAN
A-1	EXISTING FLOOR PLAN
A-2	EXISTING ELEVATIONS
A-3	PROPOSED FLOOR PLAN
A-4	PROPOSED ELEVATIONS
A-5	PROPOSED ROOF PLAN



PROPOSED FRONT ELEVATION



VICINITY MAP
SCALE: N.T.S.

PARCEL ID#

07-20-20-000-14-01

LEGAL DESCRIPTION

VERMONT ACRES 0.1751 THE S 75
FT OF LOT 2 & S 75 FT OF LOT 3
AREA 15

MUNICIPALITY

CITY OF WINTER PARK

ZONING

R-1A

GENERAL NOTES

1. THE CONTRACTOR IS TO VERIFY ALL EXISTING CONDITIONS IN THE FIELD PRIOR TO FABRICATION AND START OF CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE DESIGNER AND COUNCIL OF ANY DISCREPANCY BETWEEN THE EXISTING CONDITIONS AS SHOWN ON THE CONSTRUCTION DRAWINGS AND THE CONDITIONS OBSERVED IN THE FIELD. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL EXISTING NEIGHBORLY DRAINAGE CONDITIONS.

2. DESIGN CRITERIA
- FLORIDA BUILDING CODE RESIDENTIAL, 7TH ED.
 - ROOF DEAD LOAD (SLAB WEIGHT) = 20 PSF
 - ROOF DEAD LOAD (SPRINT WEIGHT) = 10 PSF
 - ROOF LIVE LOAD = 40 PSF
 - SECOND FLOOR LIVE LOAD = 40 PSF
 - SECOND FLOOR DEAD LOAD = 10 PSF

3. THE STRUCTURE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE FLORIDA BUILDING CODE - RESIDENTIAL, 7TH EDITION. THE FOLLOWING WIND LOAD REQUIREMENTS, IN ACCORDANCE WITH THE FLORIDA BUILDING CODE - RESIDENTIAL, CHAPTER 6, SECTION 601 AND 602 7-16, SHALL BE EMPLOYED IN THE DESIGN OF THE STRUCTURE.

- ULTIMATE DESIGN WIND SPEED (V) 140 MPH
- 2 SECOND GUST WIND SPEED (V_G) 140 MPH
- WIND CATEGORY: I
- ROOF CLASSIFICATION: S
- WIND EXPOSURE: B
- APPLICABLE INTERNAL PRESSURE COEFFICIENT (+/-) 0.18
- DESIGN WIND PRESSURE FOR EXISTING CONDITIONS AND CLASSING
- ROOF IS TO BE DETACHED BY THREE MANUFACTURER
- WALLS - 1/2" x 8" SIPS (2" x 8" SIPS)

3. ROOF SYSTEM
- TYPE OF ROOF SYSTEM: SEE ELEVATIONS FOR ROOF COVERING
 - MATERIALS: OVER 1/2" CORRUGATED GALV. OR EQUIV.
 - FASTENING REQUIREMENTS PER MANUFACTURER'S SPECIFICATIONS
 - FLASHING REQUIREMENTS PER 20 SHINGLES FLASHING

EXISTING CONDITIONS

- ALL WORK SHALL BE PER 2008 FLORIDA BUILDING CODE, 7TH EDITION UNLESS OTHERWISE SPECIFIED. CONSTRUCTION SHALL BE ACCORDANT WITH ALL CITY ORDINANCES.
- ALL ELECTRICAL WORK SHALL BE PER NATIONAL ELECTRICAL CODE (NEC) (2009)

DATE	REVISION

LAMAR
DESIGN

MILLER RESIDENCE
1430 GLENCOE ROAD
WINTER PARK, FL 32789

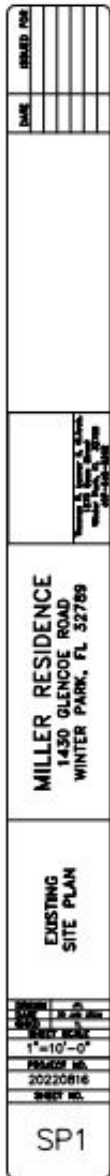
COVER SHEET

DATE	BY	IN	REV

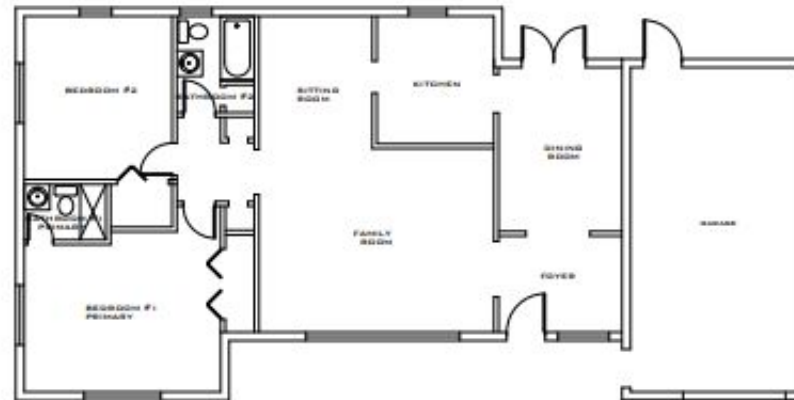
PROJECT NO.
20230713
SHEET NO.

CS

1430 Glencoe Road
WINTER PARK, FL 32789



Page 24 of 36



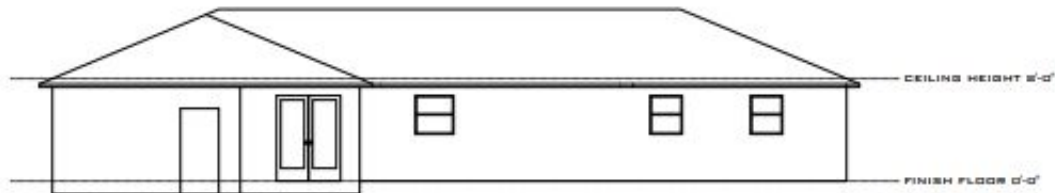
DATE	SHEET NO.	LAMAR DESIGN 1430 GLENCOE ROAD WINTER PARK, FL 32789 TEL: 407-938-1100 FAX: 407-938-1101	MILLER RESIDENCE 1430 GLENCOE ROAD WINTER PARK, FL 32789	EXISTING FLOOR PLAN	SCALE: 1/4"=1'-0" PROJECT NO. 20230713 SHEET NO.
					A-1



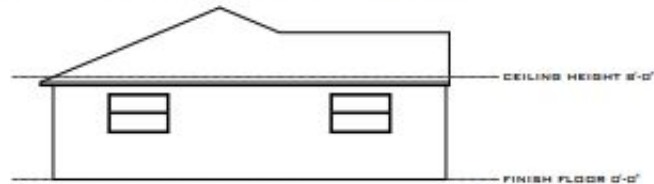
EXISTING WEST (FRONT) ELEVATION



EXISTING SOUTH (GARAGE SIDE) ELEVATION



EXISTING EAST (REAR) ELEVATION



EXISTING NORTH (SIDE) ELEVATION

NO.	REVISION

LAMAR
DESIGN
ARCHITECTS
P.A.
1430 GLENCOE ROAD
WINTER PARK, FL 32789
(407) 938-1111

MILLER RESIDENCE
1430 GLENCOE ROAD
WINTER PARK, FL 32789

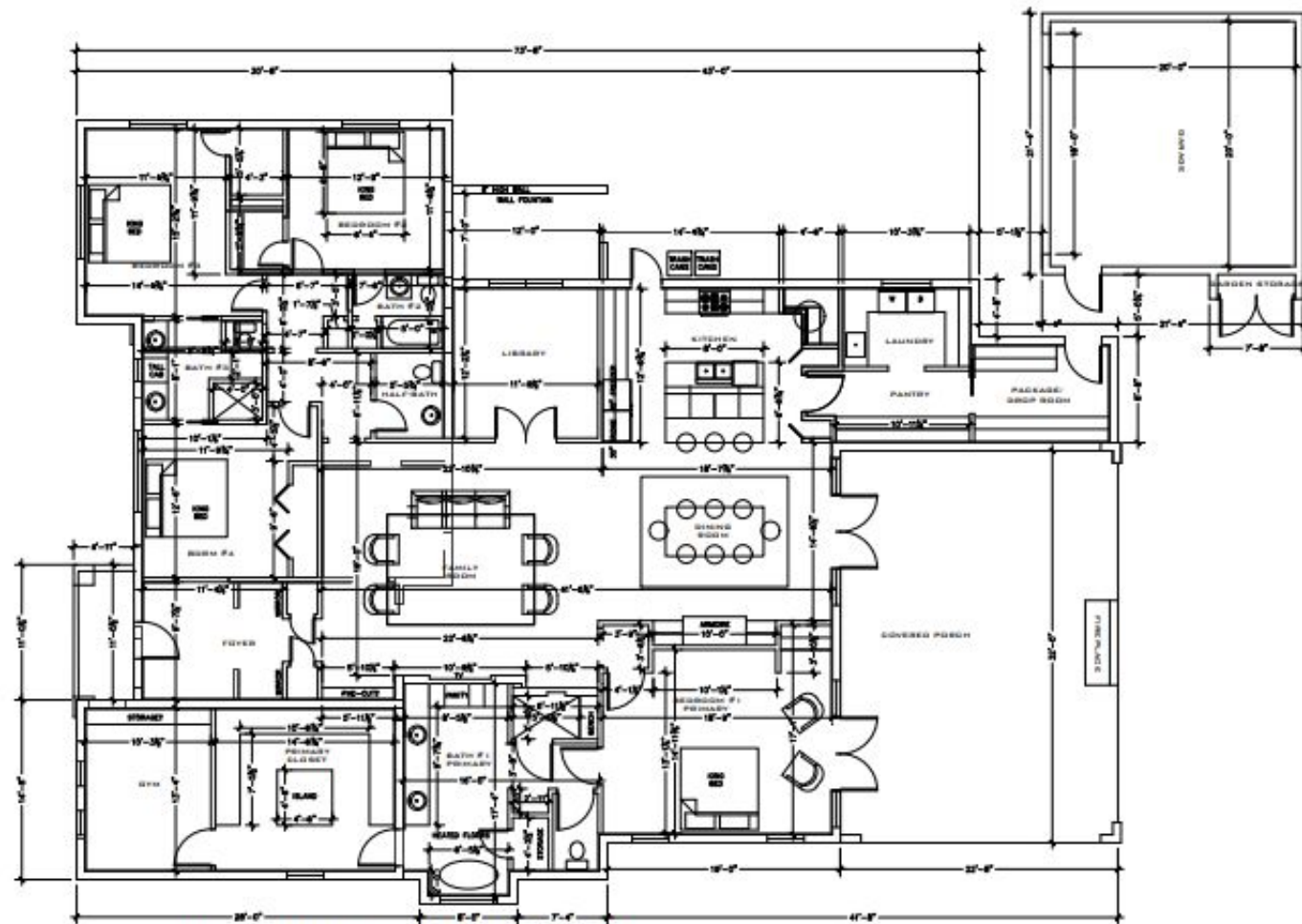
**EXISTING
ELEVATIONS**

DATE	BY	CHKD.	APP'D.

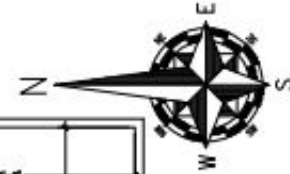
1/4" = 1'-0"
PROJECT NO.
20230713
SHEET NO.

A-2

1430 Glencoe Road
WINTER PARK, FL 32789



**PROPOSED FLOOR PLAN
3300 SQFT UNDER AIR**



DATE	REVISION

**LAMAR
DESIGN**

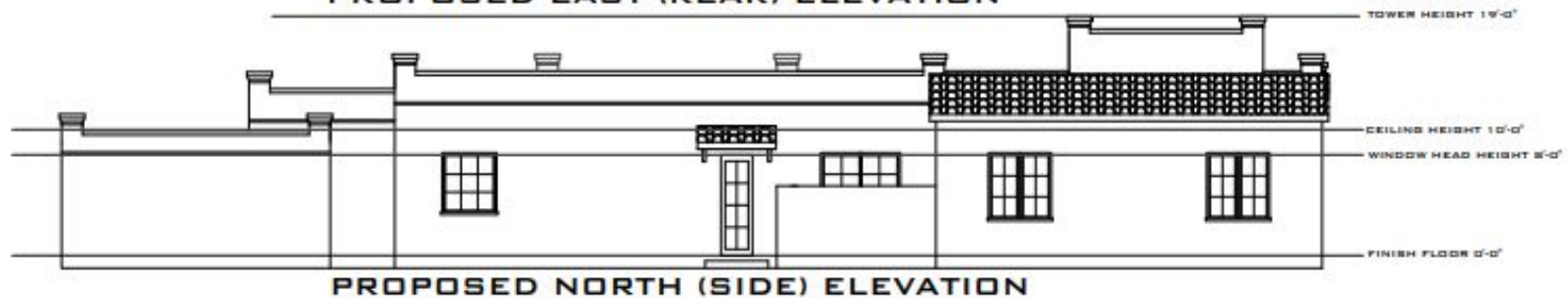
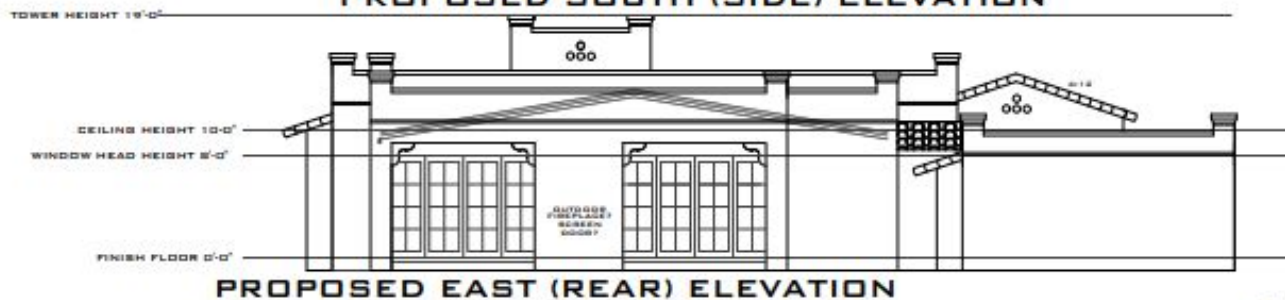
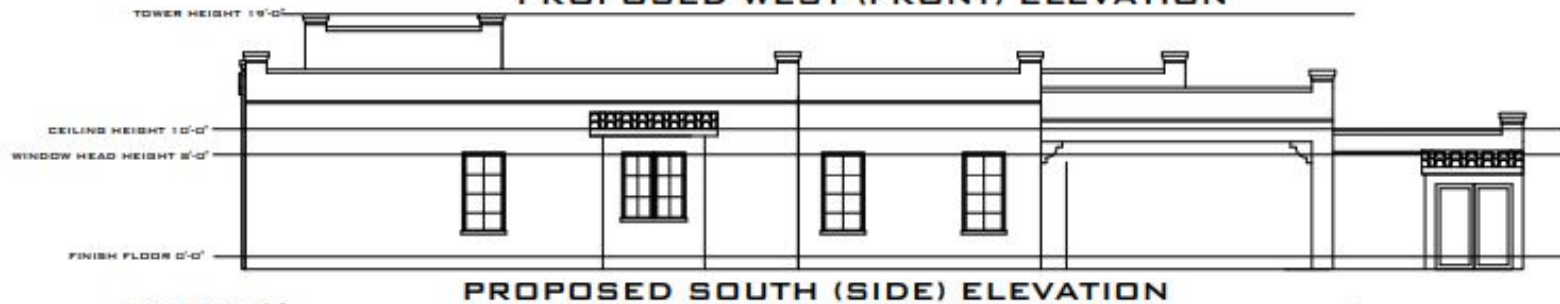
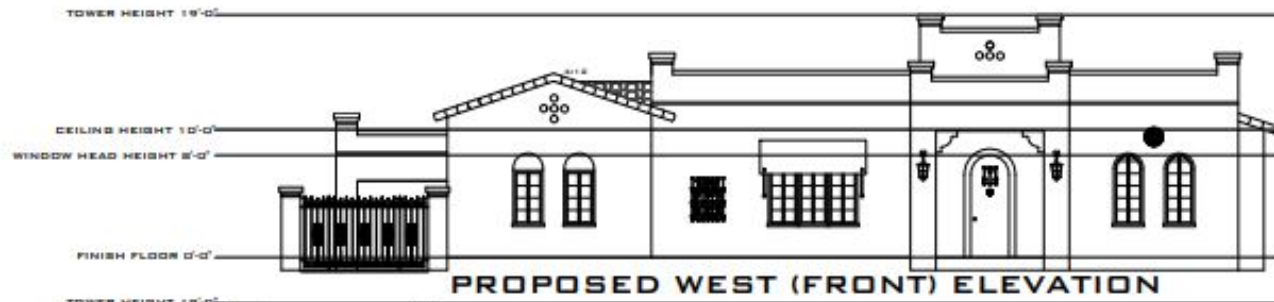
**MILLER RESIDENCE
1430 GLENCOE ROAD
WINTER PARK, FL 32789**

**PROPOSED
FLOOR PLAN**

DATE	10/10/13
BY	W. J. B. JR.
CHECKED BY	W. J. B. JR.
SCALE	1/4"=1'-0"
PROJECT NO.	20230713
SHEET NO.	

A-3

**1430 Glencoe Road
WINTER PARK, FL 32789**



DATE	REVISION

LAMAR
DESIGN
ARCHITECTS
P.A.
1430 GLENCOE ROAD
WINTER PARK, FL 32789
(407) 938-1234

MILLER RESIDENCE
1430 GLENCOE ROAD
WINTER PARK, FL 32789

**PROPOSED
ELEVATIONS**

DATE	12-11-2023
SCALE	AS SHOWN
GRAPHIC SCALE	1/4"=1'-0"
PROJECT NO.	20230713
SHEET NO.	

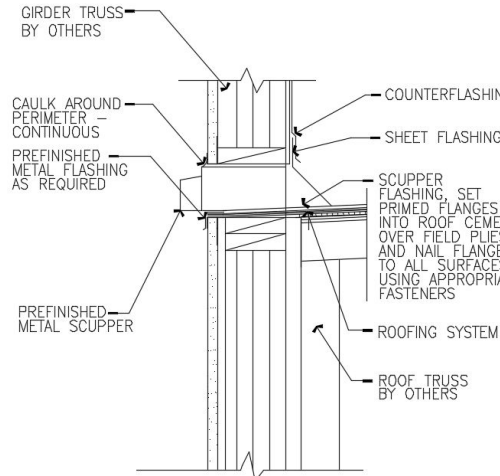
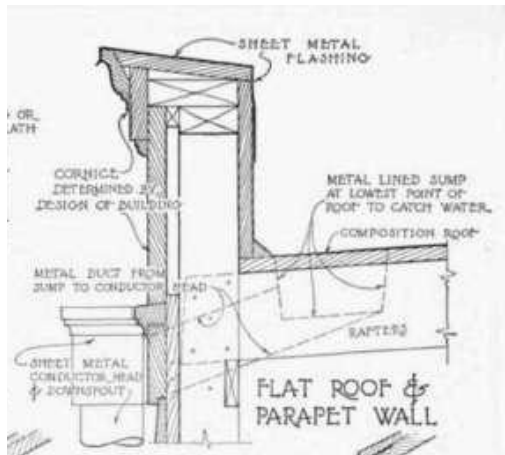
A-4

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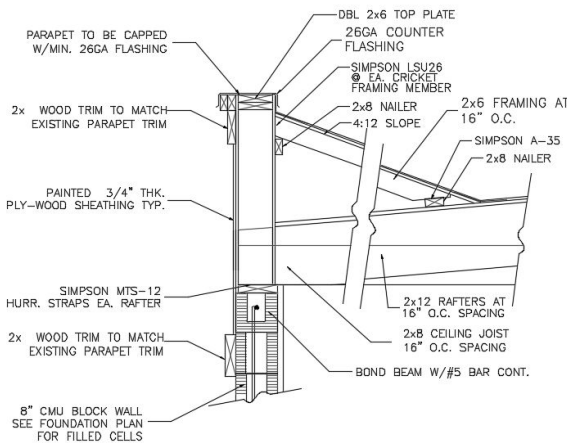


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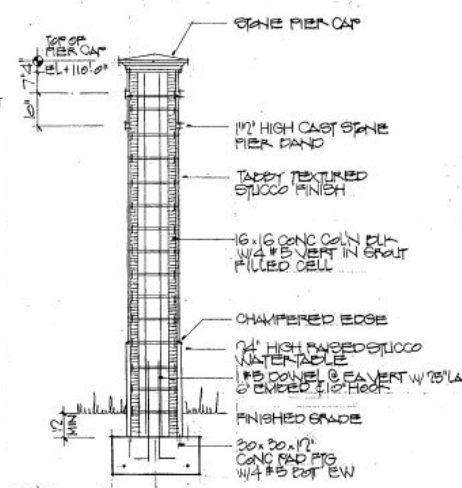
Architectural Details



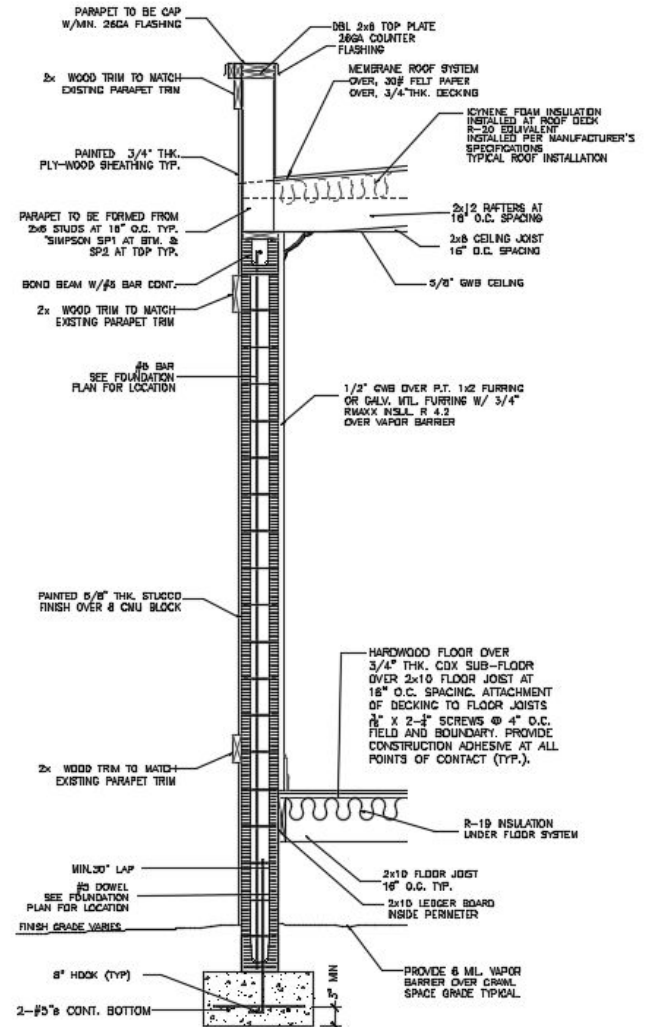
SCUPPER FRAMING DETAIL



**DETAIL
3
S-2
PARAPET AT CRICKET**



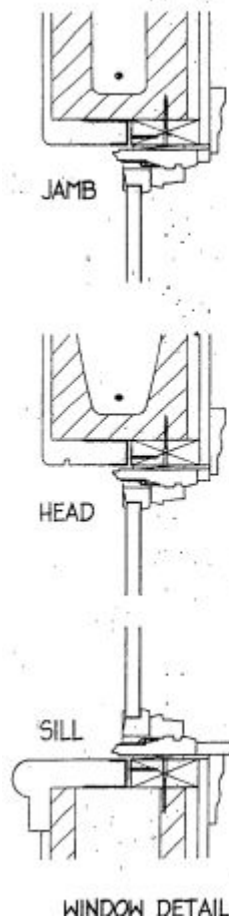
CONCRETE BLOCK PIER DETAIL



TYPICAL WALL SECTION

**1430 Glencoe Road
WINTER PARK, FL 32789**

Architectural Details



(1) PREPARATION OF WINDOW OPENING

- LINE THE OPENING WITH VAPOR BARRIER
- INSTALL PRESSURE TREATED WOOD BUCK TO PERIMETER OF OPENING USING NEW TAPCON 1/4" X 3-1/2" OR EQUAL PROVIDING 500LB. SHEAR STRENGTH 8" ON CENTER
- APPLY A CONTINUOUS BEAD OF CAULKING TO SEAL WOOD BUCK TO MASONRY OPENINGS
- ENSURE THAT A CLEARANCE OF 1/4" PER SIDE IS LEFT FOR SHIPING
- FILL CELLS WITH CONCRETE AND REBAR AS REQUIRED BY LOCAL CODE

(2) INSTALLATION OF WINDOW

- REFER TO INSTALLATION INSTRUCTIONS FOR THE SPECIFIC PRODUCT BEING INSTALLED
- SET WINDOW IN OPENING, SHIPING, LEVELING, AND SQUARING TO ENSURE PROPER OPERATION
- INSTALL MIN 1-1/4" PAN HEAD WOOD SCREWS THRU ALL PREDRILLED HOLES IN THE INSTALLATION PIN TO SECURE UNIT (8" ON CENTER)
- ENSURE THAT THE INSTALLATION PIN IS SEALED TO THE WOOD BUCK WITH A CONTINUOUS BEAD OF CAULKING
- FILL VOID BETWEEN WINDOW AND WOOD BUCK WITH INSULATION BEING CAREFUL NOT TO BOW WINDOW FRAME

(3) APPLICATION OF STUCCO

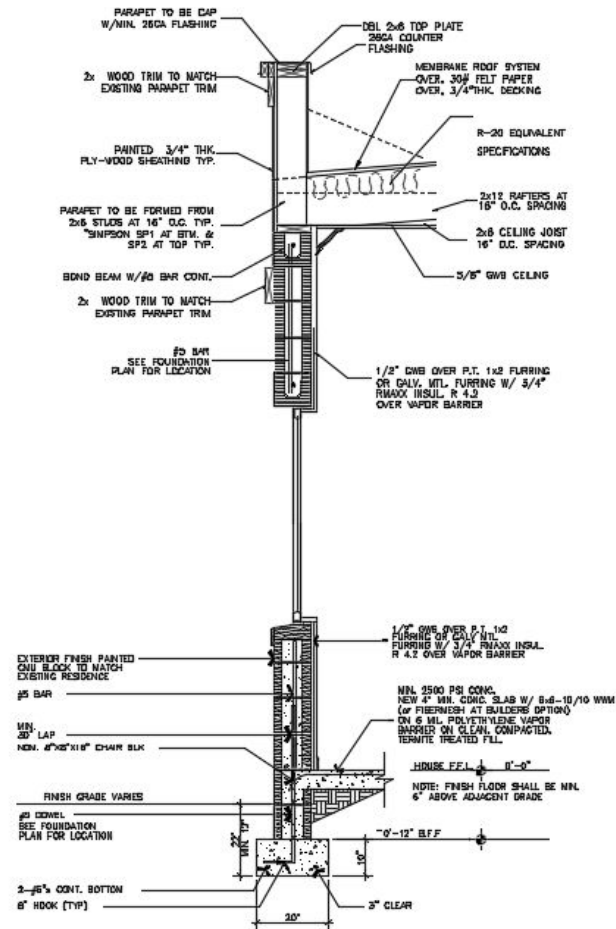
- INSTALL ALUMINUM 1/2" MOULD AROUND PERIMETER LEAVING A MINIMUM OF 1/4" FOR BACKER ROD AND SEALANT
- PROTECT EXTERIOR OF WINDOW WITH PLASTIC COVER TO ELIMINATE SCRATCHING OF FRAME OR GLASS SURFACES
- DO NOT LAP STUCCO ONTO WINDOW FRAME, IT IS NECESSARY TO LEAVE CLEARANCE FOR BACKER ROD AND SEALANT

(4) APPLICATION OF CAULKING

- INSERT STYROFOAM BACKER ROD INTO THE OPENING BETWEEN WINDOW FRAME AND 1/2" MOULD
- APPLY A CONTINUOUS BEAD OF URATHANE SEALANT, REFER TO SEALANT MANUFACTURERS RECOMMENDATIONS FOR SURFACE PREPARATION AND APPLICATION

(5) INSTALLATION LIMITATIONS

- WINDOW INSTALLATION TO MEET THE REQUIREMENTS OF THE 120 MPH WIND LOADS OF THE SECTION 1606 OF THE 2001 FLORIDA BUILDING CODE



TYPICAL WALL SECTION AT WINDOW

SCALE: 3/4" = 1'-0"

A
A-B

Architectural Selections



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14764. Arched Spanish Revival Door #3

1920's panel door with lock

79.5" H x 36" W x 1.25" D



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Tuesday 2024-01-30 2:46:53 PM PST



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14762. Spanish Revival Arched Door With Original Hardware

1920's arched front door with all original hardware and grill.

82.75" H x 35.75" W x 1.75" D



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Spanish Revival
Lighting

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FINISHING OPTIONS

HOME > SHOP > 7160-1 SPANISH REVIVAL OUTDOOR LIGHTING/ FIXTURE

7160-1 Spanish Revival Outdoor Lighting/ Fixture



Finish Options *

Matt Black ▼

* Required

Glass Panel/Mica Options *

Clear Glass ▼

QTY

1 ▲ ▼

ADD TO CART

[Spanish Revival Outdoor Lighting/ Fixture](#)

DIMENSIONS: Height : 35", Width: 13" , Extension: 20"

LAMPING: 60 watt light Bulb

PASADENA
ARCHITECTURAL
SALVAGE



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MED. WOODEN CORBEL (CB-44)

QUANTITY

- 1 +

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13570. Spanish Revival 1920's Iron Grill
Circa 1920's hand forged iron window grill.

50" H x 34" W x 1.75" D



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WROUGHT-IRON GATE (OE-33)



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15841. 1 of 2 1920's Pair of Hand Forged Iron Gates
Sold and priced individually. Each gate has two panels. A very rare find. Salvaged locally
84.25" H x 93" W



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