



Historic Preservation Board Regular Meeting

Agenda

March 13, 2024 @ 9:00 AM

City Hall Commission Chambers
401 S. Park Avenue

welcome

Agendas and all backup material supporting each agenda item are accessible via the city's website at cityofwinterpark.org/meetings/ and include virtual meeting instructions.

assistance & appeals

Persons with disabilities needing assistance to participate in any of these proceedings should contact the City Clerk's Office ([407-599-3277](tel:407-599-3277)) at least 48 hours in advance of the meeting.

"If a person decides to appeal any decision made by the Board with respect to any matter considered at this hearing, a record of the proceedings is needed to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based." (F.S. 286.0105).

please note

Times are projected and subject to change.

1. Call to Order**2. Consent Agenda**

- a. Approve the minutes of December 13, 2023.

3. Public Comments (for items not on the agenda): Three minutes allowed for each speaker**4. Public Hearings (Public participation and comment on these matters must be in person.)**

- a. Request by Charles and Lisa Clayton for approval to construct a 355 square foot open porte-cochere over the existing driveway on the north side of the existing home with a side setback of 19.5 feet, at 940 Old England Avenue. 15 minutes
- b. Request by Carolyn Miller for approval to reconstruct the existing one-story Ranch architectural style home at 1430 Glencoe Road into a one-story Spanish Colonial/Spanish Mission architectural style home of 3,700 square feet in size. 1 minute
THIS ITEM HAS BEEN TABLED TO THE APRIL 10, 2024 HISTORIC PRESERVATION BOARD REGULAR MEETING.
- c. Request of Z Properties on behalf of Mr./Mrs. Proudfit to designate the property at 1290 N. Park Avenue to the Winter Park Register of Historic Places. 10 minutes

5. Action Items**6. Non-Action Items****7. Staff Updates****8. Board Comments****9. Upcoming Agenda Items****10. Adjournment**



Historic Preservation Board

agenda item

item type

Consent Agenda

meeting date

March 13, 2024

prepared by**approved by****subject**

Approve the minutes of December 13, 2023.

motion | recommendation**background****strategic objectives****alternatives | other considerations****fiscal impact****attachments**

1. Draft Historic Preservation Board Meeting Minutes



Historic Preservation Board Regular Meeting Minutes

December 13, 2023 at 9:00 AM

City Hall Commission Chambers
401 S. Park Avenue

Present

Lee Rambeau, John Skolfield, Lucy Boudet, Wade Miller, and Kelsey Wolfe. Staff: Planning Consultant Jeff Briggs and Recording Secretary Mary Bush.

Absent

Aimee Spencer and Drew Henner.

1. Call to Order

Chairman Wade Miller called the meeting to order at 9:02 a.m.

2. Consent Agenda

- a. Approve the minutes of November 8, 2023.

Motion made by John Skolfield, seconded by Lucy Boudet to approve the November 8, 2023 meeting minutes.

The motion carried unanimously by a 5-0 vote. (Aimee Spencer and Drew Henner were absent from the meeting.)

3. Public Comments (for items not on the agenda): Three minutes allowed for each speaker

No one from the public wished to speak. The public hearing was closed.

4. Public Hearings (Public participation and comment on these matters must be in person.)

5. Action Items

6. Non-Action Items

- a. Review of proposal for 1430 Glencoe Road

Mr. Briggs noted to the Board that the agenda item would only be discussed as it was not a public hearing item to be decided on. He indicated that the discussion would

be an opportunity for the applicant to receive Board feedback and design direction before proceeding to a public hearing. He also noted that there was currently not much of the existing home left due to the applicant's ongoing renovations.

The applicant, Carolyn Miller and her interior designer, Julie Lamar of Lamar Design spoke to the Board. Ms. Miller indicated that she specifically chose the Spanish colonial style as it is a predecessor to the current ranch style of the existing home and would add more historical character and charm to the neighborhood. Ms. Lamar then addressed the Board and noted that she and the applicant had looked into the historical documentation of the Spanish colonial style in past years, and determined it to be the dominant style of the surrounding area. She went on to note that the project meets code requirements for the front and rear setbacks, is less than the maximum height allowed, less than the maximum FAR allowed and less than the maximum impervious allowed. She then briefly discussed the parapet height, the impervious coverage for the project, and the design details of the proposed home. Ms. Lamar added that the applicant was proposing to remove a portion of the back wall to create an open living space. She noted that the applicant's goal was to update the home for contemporary use on the inside, while enhancing the historical character of the East Virginia Heights Historic District with a change to the front elevation on the exterior. She went on to discuss the proposed site plan for the home, noting that due to the width of the lot, the applicant was not able to create a front entry garage, so she was proposing a two-car garage at the rear of the home.

The Board inquired about the potential impact of the applicant's proposed plans on the neighboring homes, how far the home and garage would be to the neighboring homes, the type of garage that would be created, if there would be a curb cut near the garage, clarification of the driveway location, preservation of the heritage oak tree in the backyard, and the current architecture and historical style of the home. The Board expressed that the ranch-style has been significant for the neighborhood and allowing a change of it would set a precedent.

The Board then provided some options for the applicant to design the home with what she wanted in it but still keep the ranch-style. Discussion ensued regarding why the applicant decided to do a Spanish colonial style rather than keep with the original ranch-style. The Board members were varied in their opinions on the request. Discussion continued regarding the existing style and the proposed style of the home. Homes in the area that provide an example of the authentic Spanish colonial style were also discussed.

Mr. Briggs noted that if the applicant wanted to move forward, that they would need to create a more detailed request and come back to a formal hearing in front of the Board. The Board expressed that they wanted the applicant to have more details on the site plan as well as the specifics of where the heritage oak tree is located, the window details, and the type of ground cover and pavers to be used.

7. Staff Updates

8. Board Comments

9. Upcoming Agenda Items

10. Adjournment

The meeting adjourned at 10:09 a.m.

ATTEST:

/s/ Mary Bush, Recording Secretary



Historic Preservation Board

agenda item

item type

Public Hearings (Public participation and comment on these matters must be in person.)

meeting date

March 13, 2024

prepared by

Jeffrey Briggs

approved by

Jeffrey Briggs

subject

Request by Charles and Lisa Clayton for approval to construct a 355 square foot open porte-cochere over the existing driveway on the north side of the existing home with a side setback of 19.5 feet, at 940 Old England Avenue.

motion | recommendation

Staff recommendation is for approval.

background

In December, 2002, Charles and Lisa Clayton (owners) received approval from the HPB for minor exterior renovations and additions to the existing home at 940 Old England Avenue, which is a Tudor style home, built in 1938. This home was individually designated by the previous owners in 2013. At this time, Clayton's desire to add an open porte-cochere over the existing driveway on the north side of property. The Zoning Code does have a provision to allow such porte-cochere structures to be 5 feet from the side property line if the structure is 250 sq. ft. or less. This porte-cochere is 355 sq. ft. in size. Because this is a very large property that is 175 feet wide the normal side setback is 26 feet. This porte-cochere is proposed at a 19.5-foot side setback. This property is 43,438 square feet in size. Together with the existing home of 5,802 square feet, the cumulative building size on this property will be 6,719 square feet. The resultant home will be a FAR of 15.5%, well within the maximum FAR of 35%. The impervious coverage will be 14,414 sq. ft. (33.2%), and is also well within the maximum allowable of 50%.

Architectural Compatibility:

The one primary matter for the Historic Preservation Board is architectural compatibility of the new porte-cochere construction with the existing home. The intent is to have this addition match the Tudor styling. Their architect, Bernie Johnson, has strived to match exactly this with existing home. This is a very large lot with the house situated in the middle so there is no impact upon neighbors from this addition.

Summary and Recommendation:

There is no impact on the neighboring affected property. As such, the only focus then is on

architectural compatibility and the architect with the owner as the builder, can assure the HPB of compatible design and materials.

strategic objectives

alternatives | other considerations

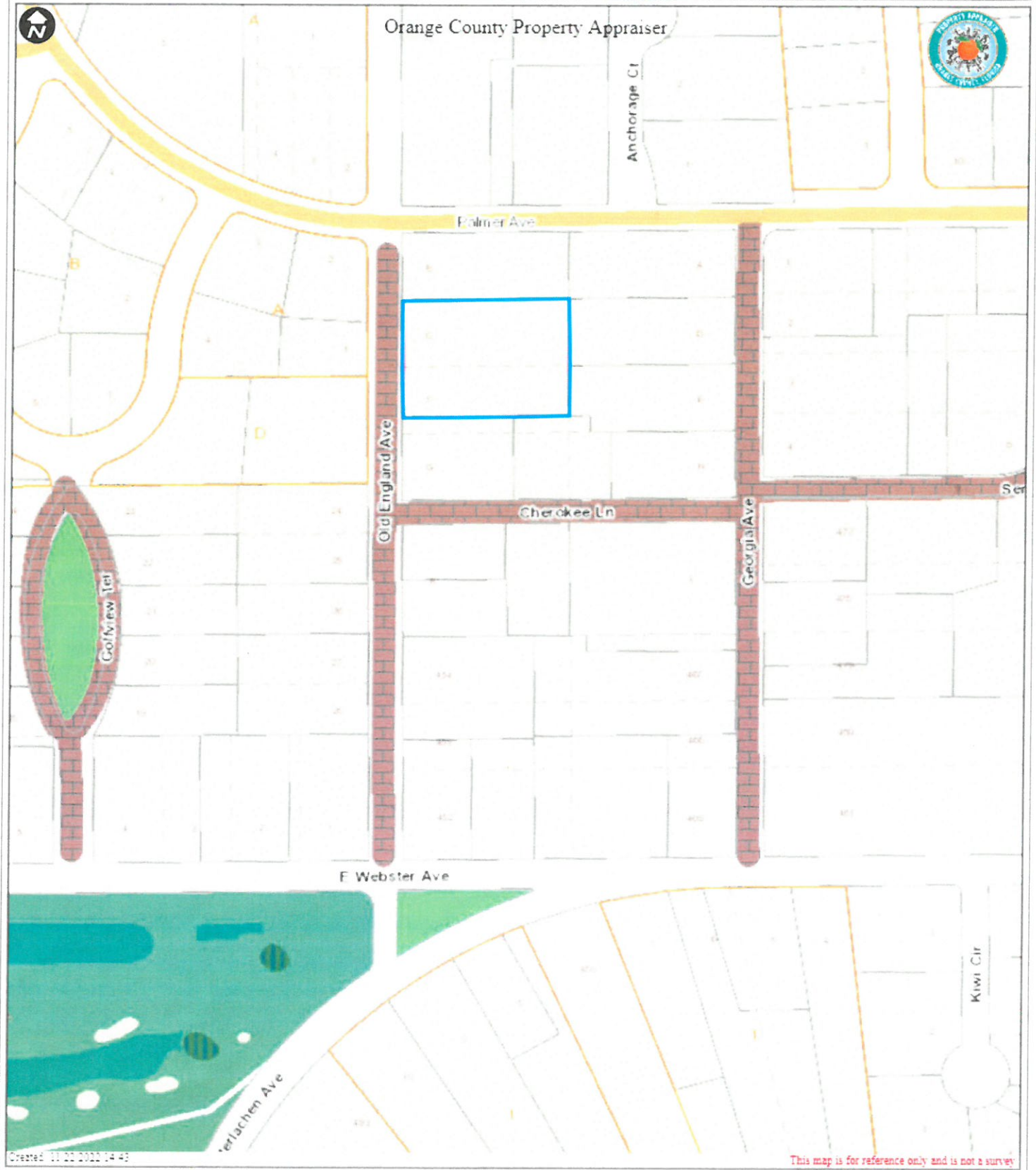
fiscal impact

attachments

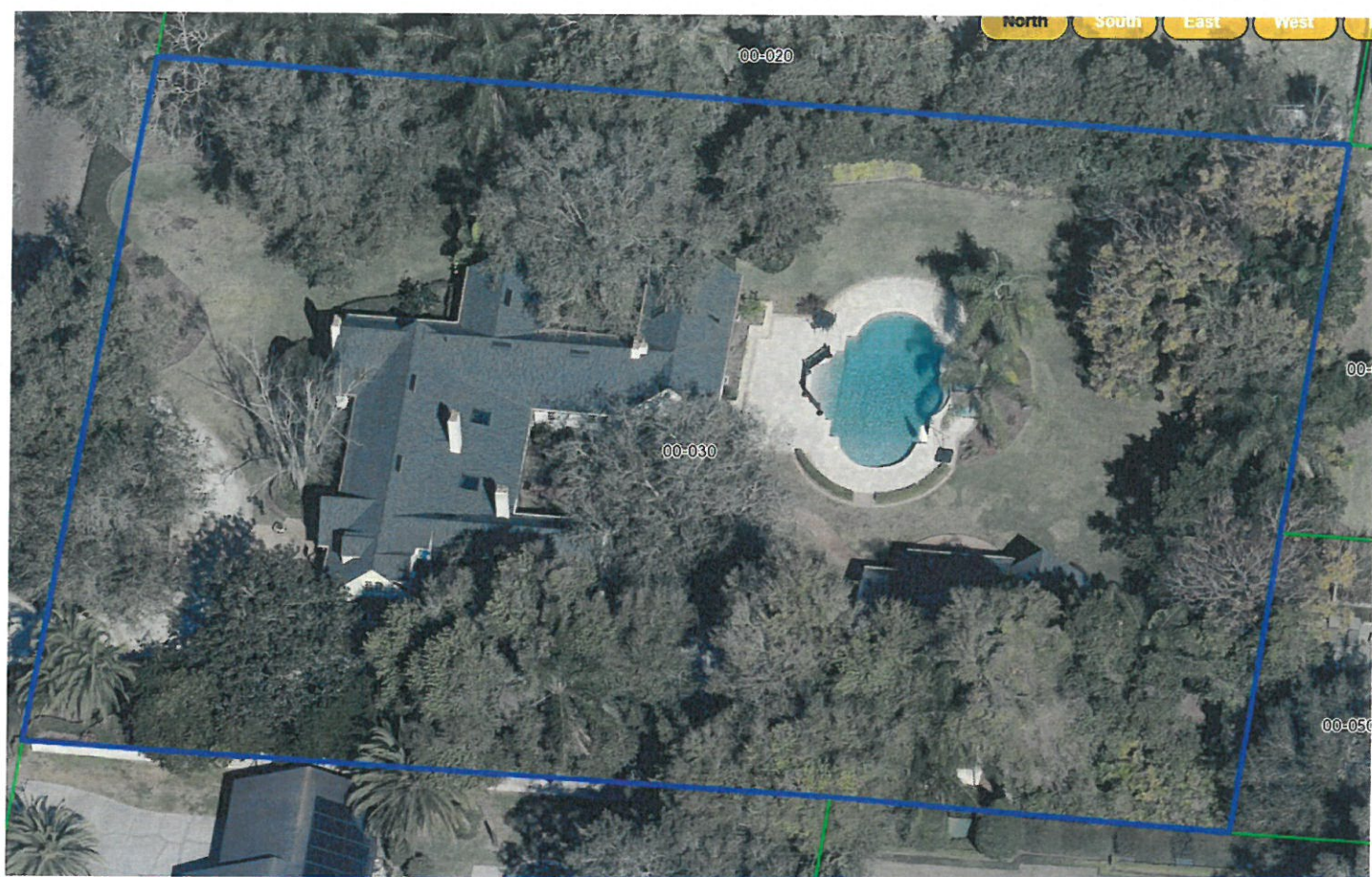
1. Map, Aerial, Staff Pictures
2. Application and plan package
3. Survey and Site Plan

OCA Web Map

Florida Turnpike	Major Roads	Proposed Road	Block Line	Commercial/Institutional	Hydro	Golf Course
Interstate 4	Public Roads	Brick Road	Lot Line	Governmental/Institutional/Misc	Waste Land	Lakes and Rivers
Toll Road	Gated Roads	Rail Road	Residential	Commercial/Industrial/Vacant Land	County Boundary	Building
Road Under Construction	Proposed SunRail	Agriculture	Agricultural Curtilage	Parks	Hospital	



Aerial view of 940 Old England





940 OLD ENGLAND AVE, WINTER PARK, FL 32789 8/22/2018 2:34 PM





City of Winter Park
Planning & Zoning Department
Historic Preservation Board
401 South Park Avenue
Winter Park, Florida 32789
407-599-3440

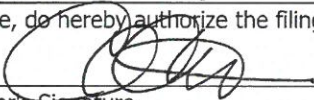
Certificate of Review Application

1. 940 Old England Ave. Winter Park, FL 32789
Building address
Charles and Lisa Clayton 940 Old England Ave 407-832-8725
Owner's name(s) Address Telephone

2. Please indicate the work you propose to undertake:
☐ Minor alteration ☐ New construction ☒ Addition ☐ Demolition ☐ Rehabilitation
☒ Variance request (additional information required) ☐ Other:

3. Proposed project narrative: *(attach additional page if necessary)*
Would like a Porte Cachere at Kitchen entrance-Garage is disconnected from the home-Need cover from rain storms etc.
Would like the structure to allows for whole car to be out of elements

4. The following supplementary information shall be provided as applicable to describe the proposal:
☒ Site plan ☐ Floor plan(s) ☒ Elevations(s) ☒ Photo(s) ☒ Survey
☒ Material and product information ☒ Setback/Coverage worksheet

5. I, Charles Clayton III, as owner of the property described above, do hereby authorize the filing of this application on my behalf.

Owner's Signature 1/30/24
Date

Historic Preservation Commission Office Use		
Date received: _____	HPC Meeting: _____	Case File No _____
Historic name of building (if any) _____		Historic district name (if any) _____
Parcel Identification Number _____	Year built _____	
☐ historic landmark ☐ historic building/structure		
☐ district contributing element ☐ district non-contributing element		

**Historic Preservation Board
Certificate of Review
Supplemental Application for Variance Request**

1. Describe variance request:

Owners would like a Porte Cachere at Kitchen entry. There are no entry points to the home that are covered/roofed from elements

2. What are the special conditions and circumstances peculiar to the land, building(s), and structure(s), involved especially as they are established by the historic character of the afore mentioned?

The historic home does not offer the basic of Covered entry to the home

3. Describe the requirements, from the Land Development Code upon which this request is based.

The Land development code would allow the porte Cachere in the setback up to 250 square feet. We are asking for a **105** square feet Variance. The Porte Cachere will still provide a 19' Sideyard Setback.

4. Describe how the requested variance may be appropriate to achieve the design review standards for historic preservation.

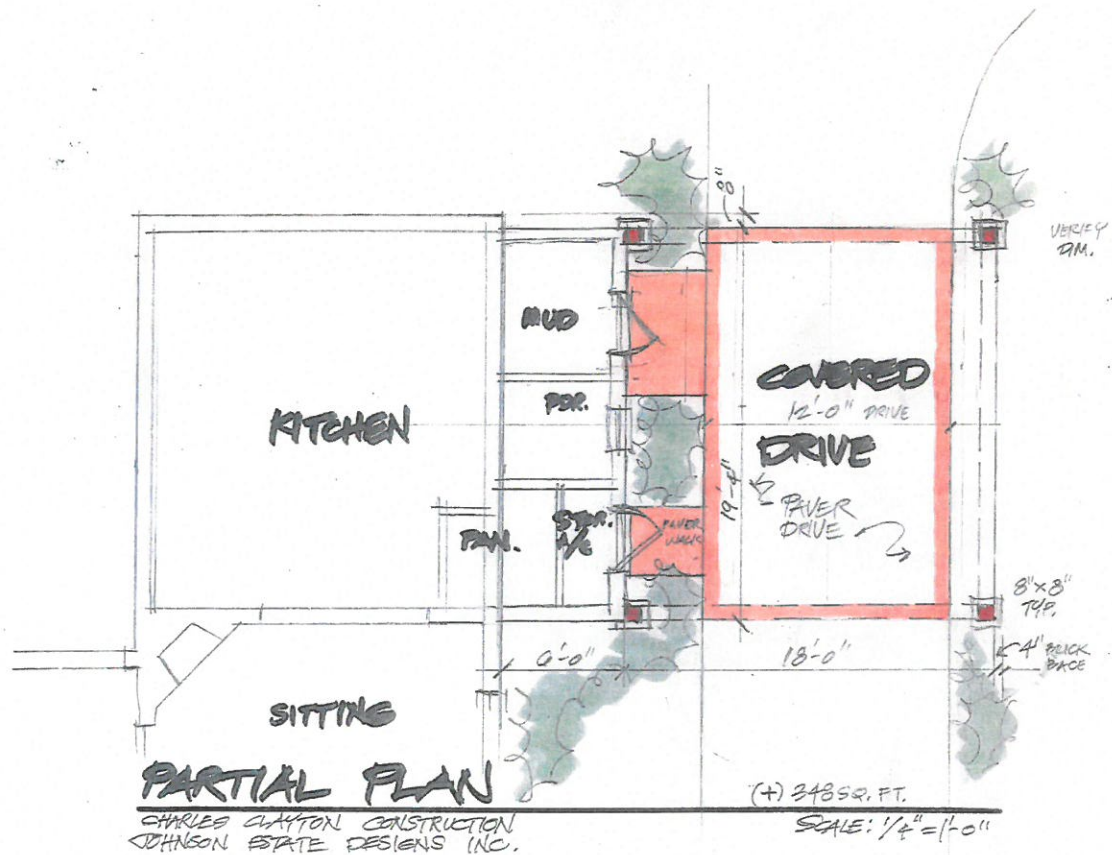
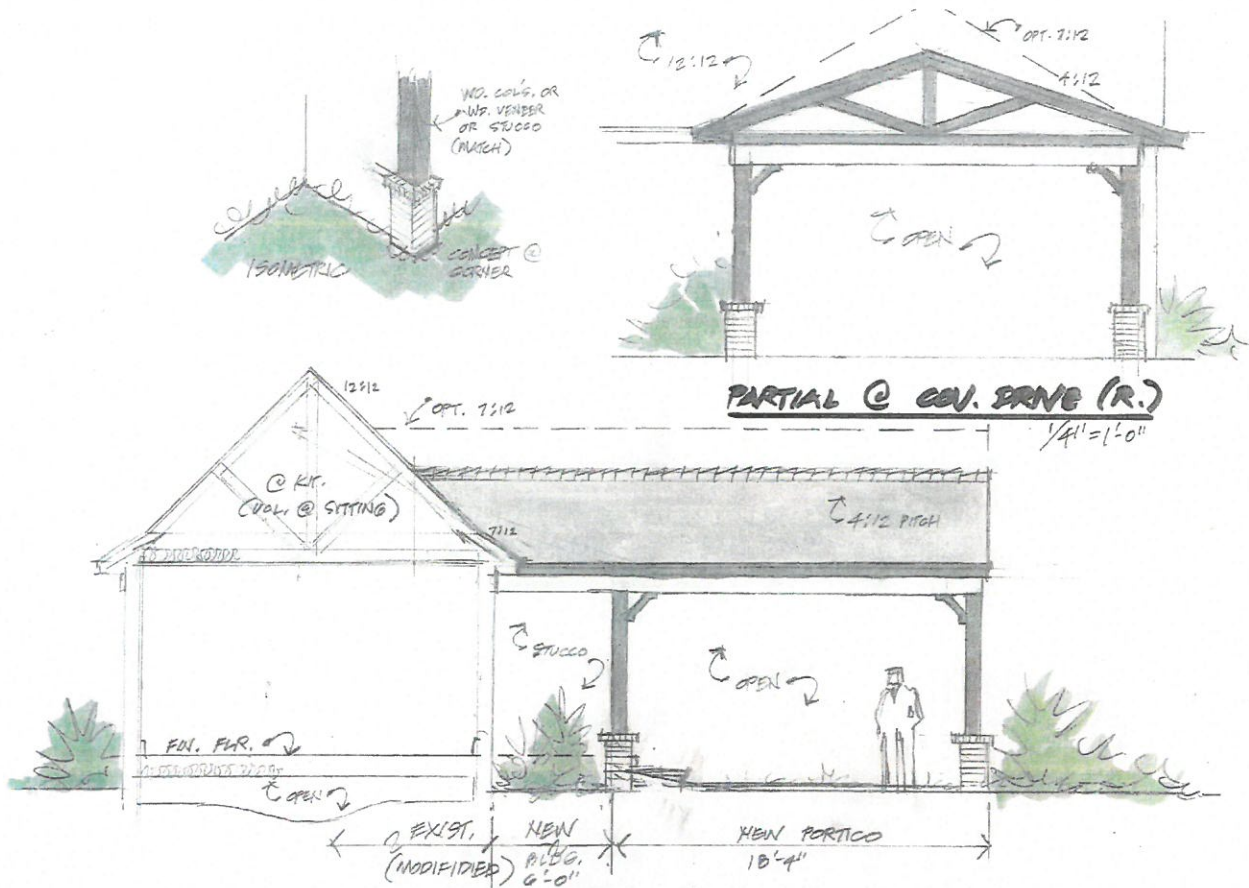
Bernie Johnson has drawn and designed a complimentary Tudor styled Porte Cachere incorporating the existing home's Architectural features.

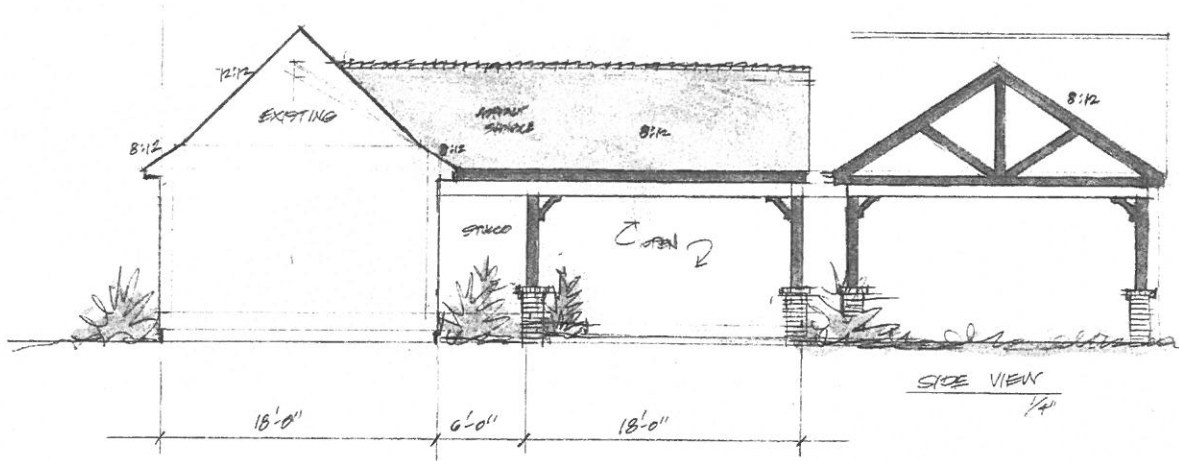
5. Complete the setback and coverage calculations on the appropriate form and include with this application.

Completed and Attached

File this form with your completed Certificate of Review application.



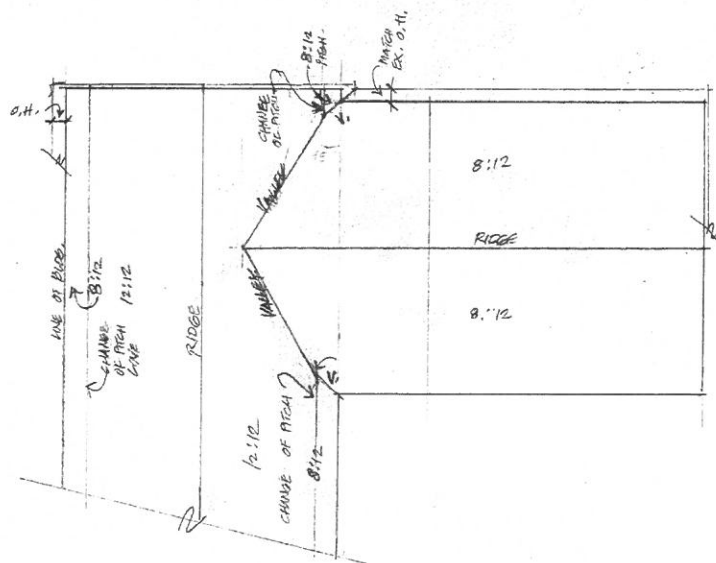




PARTIAL ELEVATION @ FRONT

OPTIONAL - 8:12 PITCH @ COV. DRIVE

SCALE: 1/4" = 1'-0"



PARTIAL ROOF PLAN @ COV. DRIVE

OPTIONAL - 8:12 PITCH @ COV. DRIVE

SCALE: 1/4" = 1'-0"

WINTER PARK HISTORIC PRESERVATION BOARD

940 Old England Proposed Scope of Work

PORTE CACHERE

Match existing home's details

EXISTING HOME'S DETAILS WILL BE INCORPORATED IN NEW WORK

- Roof Match existing Certainteed Landmark series Shingle Roof
- Plaster/Stucco match existing texture
- Gable woodwork match existing gables found on home
- Tudor style post detail on Brick pedestals



Porte Cochere

SETBACK / COVERAGE WORKSHEET

For Single Family Zoning Districts (R-1A, R-1AA & R-1AAA)¹

Address:

Submitted by:

940 OLD ENGLAND
Charles Clayton

Lot width²:

Lot area³:

175

43438

	Maximum % Allowed ⁴	Existing Area ⁹	Maximum Allowed Area	Additional Proposed Area ⁹	New Total Area
IMPERVIOUS LOT COVERAGE	INCLUDE: building footprint, driveways, sidewalks, patios, swimming pools, A/C pads, artificial turf, etc.				
	50%	14,414	21,719	348	14,762

FLOOR AREA RATIO (F.A.R.)	INCLUDE: First and second floors, garages/carports, attic areas with permanent access, stair areas on both floors, areas on second floors which are open to the first floor ⁵ , and accessory buildings. EXCLUDE: pool screen enclosure areas and certain open front, side and rear porches ⁶ .				
	Lots 12,500 sq. ft. or less: 40%				
	Lots over 12,500 sq. ft.: 35% or 5,000 sq.ft., whichever is greater	6671	15203	348	7019

Attic Area(s) ⁷	N/A 3% FAR ⁸				
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FRONT YARD LANDSCAPE COVERAGE	N/A	INCLUDE: Count all landscaped green areas EXCLUDE: hard surfaces and all driveway surfaces (pervious & impervious).			
FRONT LOT AREA	50%				

NOTES:

- Windsong & Waterbridge may use these standards, except lot types A, B, & C in Windsong.
- Lot width is measured at the front building line across the lot. The building line is located at the required front setback for vacant lots or the front building wall, closest to the street for existing homes.
- Submerged lands or land located across the street shall not be included.
- Percentage based on the lot area.
- Vaulted and cathedral ceiling areas count twice if the height from the floor to the ceiling is 17.5 feet or greater.
- The area of open front porches and entries may be excluded from the gross floor area subject to a maximum excluded area of 400 square feet. The area within open or screened rear and/or side porches, lanais, porte cocheres or other covered areas may be excluded from the gross floor area up to 500 square feet in total for all areas.
- Attics are defined as the space enclosed within the roof structure of a building accessed by a pulldown ladder. Spaces or rooms on the same floor as living areas, which are more than five (5) feet in height, are not included in the definition of attic, and therefore count towards FAR. Attic areas are not to be habitable areas but shall serve only as storage areas or for mechanical equipment. Attics shall not contain plumbing fixtures or finished room areas. Attics shall have minimal lighting and air-circulation fans.
- Any living area directly within the roof slope(s) not accessed by a pulldown ladder, that is over five (5) feet in height, is permitted up to an additional three percent (3%) of the maximum floor area ratio allowed for the lot. These areas include bonus rooms, air-conditioned storage areas, etc. In addition, dormers or windows above the second-story may only face the public right-of-way. Homes with a mansard, gambrel, or flat roof types may not utilize this exception. This area shall also comply with the Building Code.
- These columns only apply to existing homes.

SETBACKS

	Minimum Allowable Dimensions		Existing		Proposed	
FRONT	20% of the lot depth or existing setback ¹ , whichever is greater ²					
 SIDES ³			Left	Right	Left	Right
	1st Floor	30% of lot width ^{4,5}		26.25		19.58
	2nd Floor	40% of lot width ^{4,5}				
REAR ^{3,6}	1st Floor	25 ft.				
	2nd Floor	35 ft.				
	Lakefront	see note 7				
CORNER LOT (street-side yard)	Lot width of 70 ft. or less	15 ft.				
	Lot width over 70 ft.	20 ft.				
BUILDING HEIGHT ^{8,9,10}	Lots 12,500 sq. ft. or less	32 ft.				
	Lots over 12,500 sq. ft.	35 ft.				

Notes:

1. The existing front setback shall be calculated using the front setback of the existing home or the most recently demolished home, that conformed with the then applicable front setback requirement when constructed.
2. Lot depth is the average distance measured perpendicular to the front lot line and the rear lot line.
3. Any building wall that exceeds 12 ft. in height measured from existing grade to top of the wall plate must meet the setbacks for the second floor.
4. Lot width is measured at the building line across the front of the existing or proposed home.
5. Side setbacks shall be equally divided on each side of the lot, unless otherwise specified in the code.
6. Rear setbacks for properties abutting non-residential zoned, R-3/R-4, or a permanent stormwater retention area over 25 ft. in width may be 10 ft. Lots that are 75 ft. deep or less may utilize a first floor rear setback of 10 ft. and a second floor rear setback of 20 ft. Lots which are 115 ft. deep or less may utilize a first floor setback of 15 ft and a second floor setback of 25 ft.
7. **Requires Planning & Zoning Board approval.** Lakefront setback is based on the average setback established by the adjacent residences or 50 ft., whichever is greater, measured from ordinary high water line.
8. Building height is the vertical distance measured from the average elevation of the existing lot grade measured directly adjacent to the front of the building or proposed building.
9. Roofs with a pitch of 2:12 or less shall be a maximum of 28 ft.
10. Properties or lots exceeding 50,000 square feet in size with at least 100-ft. width at the building line may be permitted building heights up to 40 ft. if all side setbacks are increased to 35 ft.



Historic Preservation Board

agenda item

item type

Public Hearings (Public participation and comment on these matters must be in person.)

meeting date

March 13, 2024

prepared by

Jeffrey Briggs

approved by

Jeffrey Briggs

subject

Request by Carolyn Miller for approval to reconstruct the existing one-story Ranch architectural style home at 1430 Glencoe Road into a one-story Spanish Colonial/Spanish Mission architectural style home of 3,700 square feet in size.

THIS ITEM HAS BEEN TABLED TO THE APRIL 10, 2024 HISTORIC PRESERVATION BOARD REGULAR MEETING.

motion | recommendation

background

strategic objectives

alternatives | other considerations

fiscal impact

attachments

None



Historic Preservation Board

agenda item

item type

Public Hearings (Public participation and comment on these matters must be in person.)

meeting date

March 13, 2024

prepared by

Jeffrey Briggs

approved by

Jeffrey Briggs

subject

Request of Z Properties on behalf of Mr./Mrs. Proudfit to designate the property at 1290 N. Park Avenue to the Winter Park Register of Historic Places.

motion | recommendation

Staff Recommendation is for approval.

background

Z Properties on behalf of the property owners, Mr./Mrs. Proudfit are voluntarily agreeing to designate the existing home at 1290 N. Park Avenue to the Winter Park Register of Historic Places. This home is a Gamble Rogers design and home built in 1930. This home is a two-story, 2,623 sq. ft. home.

Per Jack Rogers, this home is arguably the first Gamble Rogers home built in the City of Winter Park. It is the first Winter Park home that has documentation as being a Gamble Rogers home. It was built for Zoe Shippen, who was a nationally acclaimed artist who had exclusive art shows across the country. She married Dr. Shippen, who was one of the founders of the Jewett Clinic. They together later built the Arte Modern or Presidential style home at 1280 N. Park Avenue on the corner of Park/New York Avenue.

There may be some future exterior additions requested to add a new two-car garage to the home and a new detached accessory building to be in styling to match the current home.

However, that discussion is premature until other decisions are made concerning this property.

This historic designation is being made subject to the future approval by the City Commission of a lot split to create a new non-lakefront lot and new home in between this existing home and the one at 1280 N. Park Avenue. That decision is entirely in the purview of the Planning and Zoning Board for a recommendation and the City Commission for the decision. If the lot split is declined, then the owners plan to demolish the existing home for a new lakefront home on the entire site.

The only role of the Historic Preservation Board is to offer a recommendation on the qualifications of this home for inclusion on the Winter Park Register of Historic Places. The Historic Preservation Board has no role or input into the decision concerning the lot split or any companion setback variance requests that might be made. Again, that is the sole jurisdiction of the Planning and Zoning Board and City Commission.

strategic objectives

alternatives | other considerations

fiscal impact

attachments

1. Location Map
2. House Pictures
3. Historic Designation Application
4. Neighbor Letter

OCPA Web Map

Florida Turnpike	Major Roads	Proposed Road	Block Line	Commercial/Institutional	Hydro	Golf Course
Interstate 4	Public Roads	Brick Road	Lot Line	Governmental/Institutional/Misc	Waste Land	Lakes and Rivers
Toll Road	Gated Roads	Rail Road	Residential	Commercial/Industrial/Vacant Land	County Boundary	Building
	Road Under Construction	Proposed SunRail	Agriculture	Agricultural Curtilage	Parks	Hospital



Created: 3/4/2024 15:25, undefined

This map is for reference only and is not a survey.

Winter Park, Florida

Google Street View

Jun 2019

[See more dates](#)

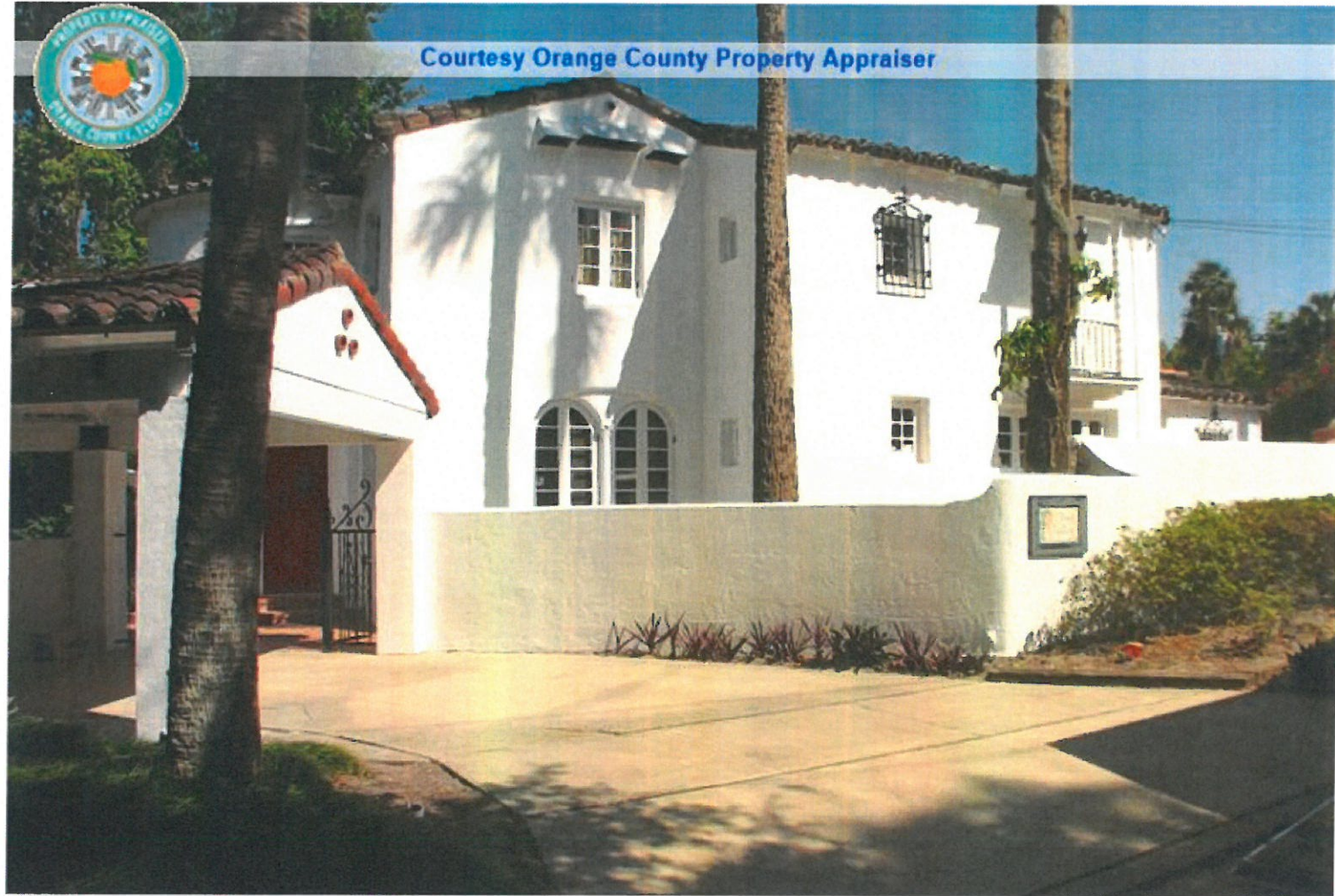


Image capture: Jun 2019 © 2024 Google



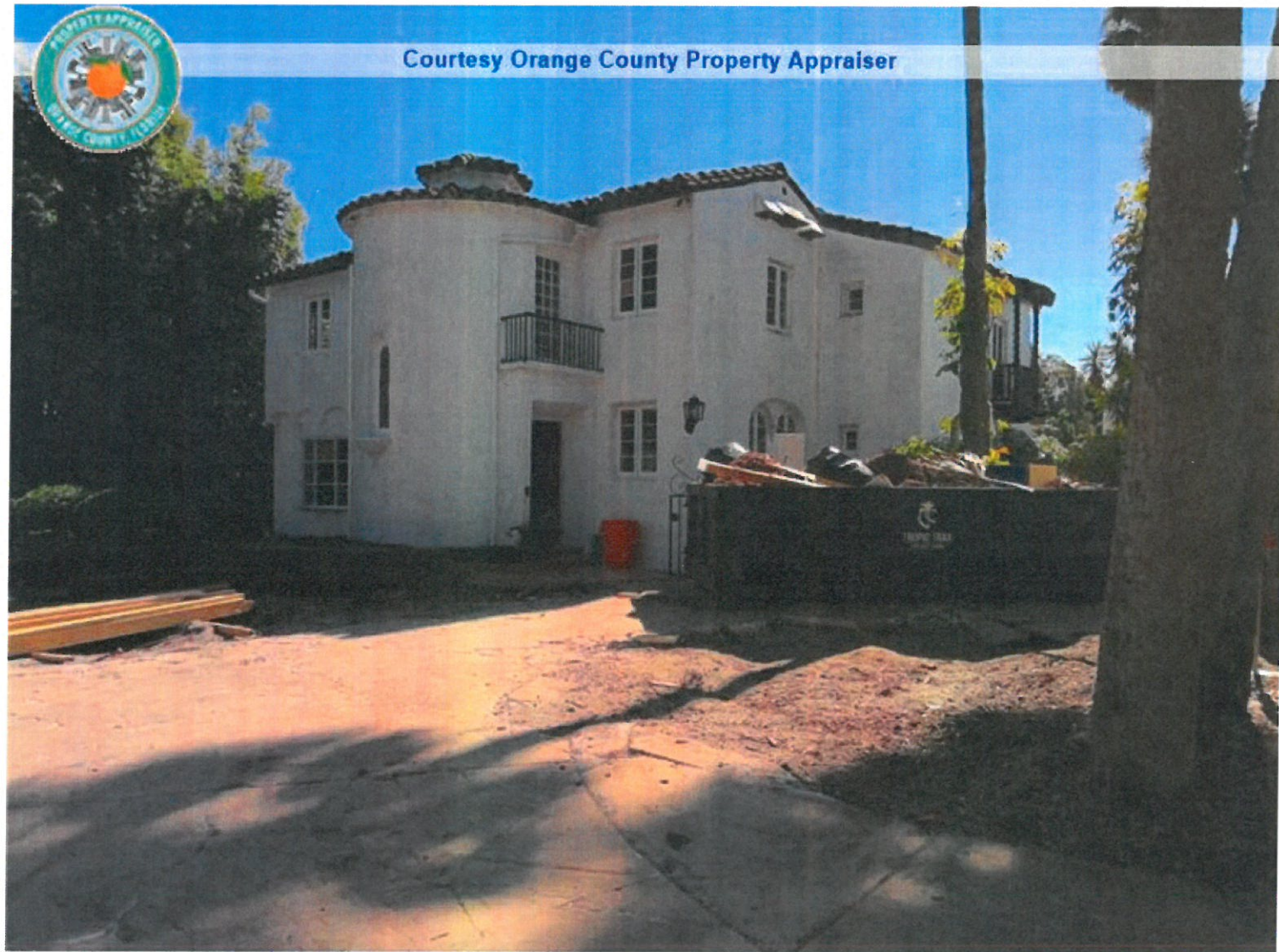


Courtesy Orange County Property Appraiser



302131000000005 03/28/2006

Parcel Photos - 1290 N Park Ave



1290 N PARK AVE, WINTER PARK, FL 32789 2/2/2024 12:12 PM



City of Winter Park
Planning & Zoning Department
401 Park Avenue, South
Winter Park, Florida 32789
407-599-3440

City of Winter Park Historic Designation Application

1. 1290 N. Park Avenue, Winter Park, FL. 32789

Building address

Carrie & Randy Proudfit

Owner's name(s)

2000 Sharon Road

Address

Winter Park

407 949 8639

Telephone

info@zpropertiesinc.com

E-mail Address

2. I, Randolph Proudfit, as owner of the property described above, do hereby authorize the filing of this application for historic designation for that property.

[Signature]
Owner's Signature

2/20/24
Date

Historic Preservation Board Office Use

Criteria for Designation

- ☐ A. Association with events that have made a significant contribution to the broad patterns of history including the local pattern of development; or
- ☐ B. Association with the lives of a person or persons significant in our past; or that
- ☐ C. Embodies the distinctive characteristics of a type, period, or method of construction or that represents the work of a master, or that possesses high artistic values or that represents a significant and distinguishable entity whose components may lack individual distinction; or
- ☐ D. Has yielded or are likely to yield information important in prehistory or history.

Legal description

Year built

Historic name of building (if any)

Historic district name (if any)

Date received: _____

HPC Meeting: _____

Case File No.: _____

Florida Master Site File No.: OR-

☐ Local Historic Landmark

☐ Local Historic Resource

Jason W. Searl | Jason.Searl@gray-robinson.com | D 407.244.5601
301 East Pine Street, Suite 1400, Orlando, Florida 32801 | T 407.843.8880 | F 407.244.5690

March 4, 2024

VIA EMAIL (CHANEL@ZPROPERTIESINC.COM) AND FEDERAL EXPRESS

Chanel Magid
Z Properties
219 West Comstock Avenue
Winter Park, Florida 32789

Re: 1290 N. Park Ave. / Lot Split Design Proposal, Preliminary Arch. Set, dated January 31, 2024

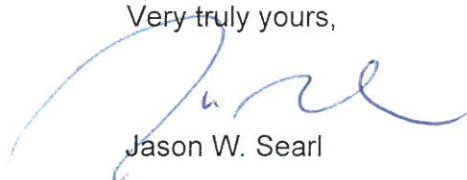
Dear Chanel:

On behalf of our clients, Peter and Lynn DiPasqua, the adjacent property owner (1250 N. Park Ave.), I am writing to thank you for the opportunity to review the above Lot Split Design Proposal Packet (17 pages total) you emailed to them on February 20, 2024. In reviewing the various Survey, Site Plan, Floor Plans, Renderings and Elevations in this Packet, I am writing to notify Z Properties and the City of Winter Park ("City") of our objections to the pending City Historic Designation Application, together with any associated City applications that may later be requested for any property split / subdivision, variance, or additions / renovations to be heard by the City Planning and Zoning Board, the City Board of Adjustments, and/or the City Commission.

Generally, we believe any action (or series of related actions), that may result in any property split for 1290 N. Park Ave. does not promote quality development to strengthen the character of the City. Rather, it would be inconsistent with the traditional residential scale of the City, and, in turn, negatively impact our clients' property value. Specifically, we intend to note in our Meeting(s) Presentation for the pending City Historic Designation Application (any associated later City Meetings) several current City Land Development Code Sections that are applicable to, and illustrative of, the negative impacts that any such approvals are likely to have in the future.

If you have any questions, please do not hesitate to contact me. Thank you.

Very truly yours,



Jason W. Searl

cc: Peter and Lynn DiPasqua (via email only)
Zane Williams, Z Properties (via email zane@zpropertiesinc.com and Federal Express)
✓ Jeffrey Briggs, Planning Director, City of Winter Park (via email JBriggs@cityofwinterpark.org only)
City Clerk, City of Winter Park (via email cityclerk@cityofwinterpark.org and Federal Express)
The Proudfits, 1290 N. Park Ave., Winter Park, Florida 32789 (via Federal Express only)