



Historic Preservation Board Regular Meeting

Agenda

December 13, 2023 @ 9:00 AM

City Hall Commission Chambers
401 S. Park Avenue

welcome

Agendas and all backup material supporting each agenda item are accessible via the city's website at cityofwinterpark.org/meetings/ and include virtual meeting instructions.

assistance & appeals

Persons with disabilities needing assistance to participate in any of these proceedings should contact the City Clerk's Office ([407-599-3277](tel:407-599-3277)) at least 48 hours in advance of the meeting.

"If a person decides to appeal any decision made by the Board with respect to any matter considered at this hearing, a record of the proceedings is needed to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based." (F.S. 286.0105).

please note

Times are projected and subject to change.

-
- 1. Call to Order**
 - 2. Consent Agenda**
 - a. Approve the minutes of November 8, 2023. 1 minute
 - 3. Public Comments (for items not on the agenda): Three minutes allowed for each speaker**
 - 4. Public Hearings (Public participation and comment on these matters must be in person.)**
 - 5. Action Items**
 - 6. Non-Action Items**
 - a. Review of proposal for 1430 Glencoe Road 30 minutes
 - 7. Staff Updates**
 - 8. Board Comments**
 - 9. Upcoming Agenda Items**
 - 10. Adjournment**



Historic Preservation Board

agenda item

item type

Consent Agenda

meeting date

December 13, 2023

prepared by**approved by**

Mary Bush, Administrative Coordinator III

subject

Approve the minutes of November 8, 2023.

motion | recommendation**background****strategic objectives****alternatives | other considerations****fiscal impact****attachments**

1. Draft Historic Preservation Board Meeting Minutes 11.08.23



Historic Preservation Board Regular Meeting Minutes

November 8, 2023 at 9:00 AM

City Hall Commission Chambers
401 S. Park Avenue

Present

Aimee Spencer, Lucy Boudet, Kelsey Wolfe, Drew Henner, Lee Rambeau

Absent

Wade Miller, John Skolfield

Staff Present

Director Emeritus of Planning & Zoning Jeff Briggs, Planner I Corinna Lundgren, Senior Planner/Zoning Official John Harbilas, Recording Secretary Mary Bush

1. Call to Order

Vice-Chair Aimee Spencer called the meeting to order at 9:02 a.m.

2. Consent Agenda

- a. Approve the minutes of October 11, 2023.

Motion made by Lucy Boudet, seconded by Drew Henner to approve the October 11, 2023 meeting minutes.

The motion carried unanimously by a 4-0 vote. (N. Lee Rambeau was not present for the approval of the minutes. Wade Miller and John Skolfield were absent from the meeting.)

3. Public Comments (for items not on the agenda): Three minutes allowed for each speaker

No one from the public wished to speak. The public hearing was closed.

4. Public Hearings (Public participation and comment on these matters must be in person.)

- a. Request of Jacob Johnson: to restore the existing home and cottage at 1057 Minnesota Avenue and to build two new single family homes on this R-3 property.

Mr. Briggs gave a summary of the item. He noted that the request had previously come before the Board in February 2020. He added that the property was zoned R-3 and included two platted lots, each more than 50-feet wide. He indicated that a 1920s bungalow and a cottage currently exist on the property and had previously been historically designated. He also indicated that the historic designation allows the applicant to build two additional units on the vacant portion of the property. Mr. Briggs then presented the Board with a survey of the property and site plans for the additional proposed homes, noting that the plans were consistent with the prior approvals received in 2020. He went on to explain that the applicant had to modify the plans after the previous architect for the project, Tom Price, recently retired. He added that the applicant wants to preserve the Live Oak trees on the property and in order to do so, they had to increase the previously approved variance by one foot along the frontage on Minnesota Avenue and change the 15-foot setback on Miles Avenue to 17 feet. Mr. Briggs then briefly discussed the elevations for the proposed homes.

Staff recommendation was for approval.

The applicant's contractor and architect, Rick Jennings, at 238 Saint James Place, Longwood, FL 32750 addressed the Board. Mr. Jennings reviewed the architectural details of the home, cottage, and the additions with the Board. He discussed the materials to be used, which include novelty siding, simulated divided lite windows, shingle roofs, exposed rafters and gable end treatments.

Discussion ensued with the Board. They expressed concerns about the details of the eaves, the exposed rafters, the historical accuracy of the soffits, the trim for the windows and doors, parking, and the placement of the stucco and siding on the additions. It was expressed by the Board that the double layer of exposed decking should not be done with rough-sawn plywood or oriented strand board (OSB) plywood. It was also expressed that the windows should be finished with traditional sills and not picture window frames.

The applicant, Jacob Johnson, at 3907 S. Atlantic Avenue, Port Orange, FL 32127 addressed the Board. Mr. Johnson noted that the placement of the stucco and siding for the additions were consistent with the style of certain historically accurate apartments, duplexes, and homes found in downtown Orlando.

No one from the public wished to speak. The public hearing was closed.

Motion made by Drew Henner, seconded by N. Lee Rambeau, for approval to restore the existing home and cottage at 1057 Minnesota Avenue and to build two new single family homes on the R-3 property.

The motion carried unanimously by a 5-0 vote. (Wade Miller and John

Skolfied were absent from the meeting.)

5. Action Items

6. Non-Action Items

- a. Preliminary discussion of 151 Stirling Avenue.

Mr. Briggs provided a summary of the item. He noted that the request had previously come before the Board on August 9, 2023, but was tabled at that meeting. He indicated that when the Virginia Heights East Historic District was created in 2008, an assessment was completed of all the homes in the district. He explained that the existing home on the property was deemed non-contributing due to being built in 1960. He further explained that in order for the applicant to demolish the existing home and rebuild, they would have to use authentic architectural styling on the new home that mimics the styles of the homes that were built in the neighborhood in the 1920s and 1930s. Mr. Briggs then noted that the triangular shape of the lot poses a challenge for the applicant. He went on to present photos of the existing home and the proposed site and floor plans for the project. He indicated that reductions were made by the applicant to the total amount of square footage, impervious surface, height of the proposed home, and the extent of the requested variances. He then presented the elevations for the proposed home and discussed the requested setback variances. He reminded the Board that staff could not support any of the requested setback variances mainly due to them resulting from the applicant's own design choice. He expressed that the purpose of the current discussion was to obtain feedback and design direction from the Board.

The applicant's contractor, Brad Fess at 1641 Huron Trail, Maitland, FL 32751 addressed the Board. Mr. Fess noted that the existing home built on the property is maxed out on floor-area-ratio (FAR) and the proposed home was being compared to a home that is not in the district. He then indicated that the applicant had made substantial reductions to the living square footage, the number of rooms in the home, the impervious surface, the height of the home, and the FAR. He also indicated that the applicant had increased the original side setback on College Point and the setbacks by the live oak tree in the right-of-way (ROW). He added that the applicant would be willing to eliminate or adjust the variance for the interior side of the rear of the garage.

The Board inquired about the following:

- clarification of the variance requested for the garage,
- the style of the proposed home,
- the reason the property was added to the district,
- whether or not the applicant had inquired with the City's permitting department for information on the triangular lot located north of the applicant's lot,
- and any discussions that the applicant had with the neighbor adjacent to the

proposed garage.

A brief discussion ensued about the options for the garage variance, which included eliminating the right-hand side one-car garage and making it an impervious parking surface.

The Board heard public comment from the following resident:

Orman Kimbrough of 1451 Highland Road, Winter Park, FL 32789 addressed the Board. Mr. Kimbrough expressed that many of the applicant's neighbors were still opposed to the request and were concerned with the setbacks and the number of variances being requested. He indicated that the neighbor to the east of the applicant's property had not received any communication from Mr. Fess or the applicant and was very much opposed to the request.

No one else from the public wished to speak. The public hearing was closed.

Discussion ensued about the possible solutions that would work for the applicant and the neighbors, how the applicant could get closer to meeting the required setbacks, the type of roof tiles that would be used, and the applicant communicating with the neighbors regarding the request.

7. Staff Updates

Mr. Briggs expressed to the Board that staff was still working on a draft of the window design standards.

8. Board Comments

9. Upcoming Agenda Items

10. Adjournment

The meeting adjourned at 10:33 a.m.

ATTEST:

/s/ Mary Bush, Recording Secretary



Historic Preservation Board

agenda item

item type

Non-Action Items

meeting date

December 13, 2023

prepared by

Jeffrey Briggs, Director of Planning and Zoning

approved by

Jeffrey Briggs, Director of Planning and Zoning

subject

Review of proposal for 1430 Glencoe Road

motion | recommendation

Opportunity for comments on feasibility.

background

Julie Lamar, architect, on behalf of the property owner, Carolyn Miller of 1430 Glencoe Road, is seeking preliminary feasibility and design direction from the Historic Preservation Board (HPB) on the feasibility of rebuilding and expanding the existing one-story Ranch style home with a new Mediterranean Mission architectural styling.

In February, 2023 this same property was reviewed by the HPB when Dillon Muto of Florida Custom Homes had it under contract and was proposing a rebuild as a two-story Tudor architectural style. The HPB indicated at that time, the desirability of keeping this home as the existing Ranch styling. Now the property owner is asking a similar question but with a different Mediterranean Mission styling and keeping it at one-story.

The existing home was deemed to be "contributing" when the historic district was created in 2008. Under the Historic Preservation regulations, an owner may preserve the existing architectural style and undertake exterior renovations and/or additions that are complimentary to the existing architectural style. A second option is for the owners to propose demolition or conversion of the structure to an alternative authentic version of another architectural style that was popular during the similar era of the original building. It is discretionary on the part of the HPB, to accept this architectural transformation or not.

There is no staff recommendation at this time. Based upon the commentary from the HPB, the applicant will decide whether to pursue a formal application for approval or not. A formal application then returns to HPB following advertisement and notice to neighbors.

strategic objectives

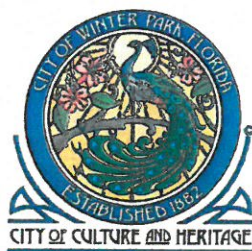
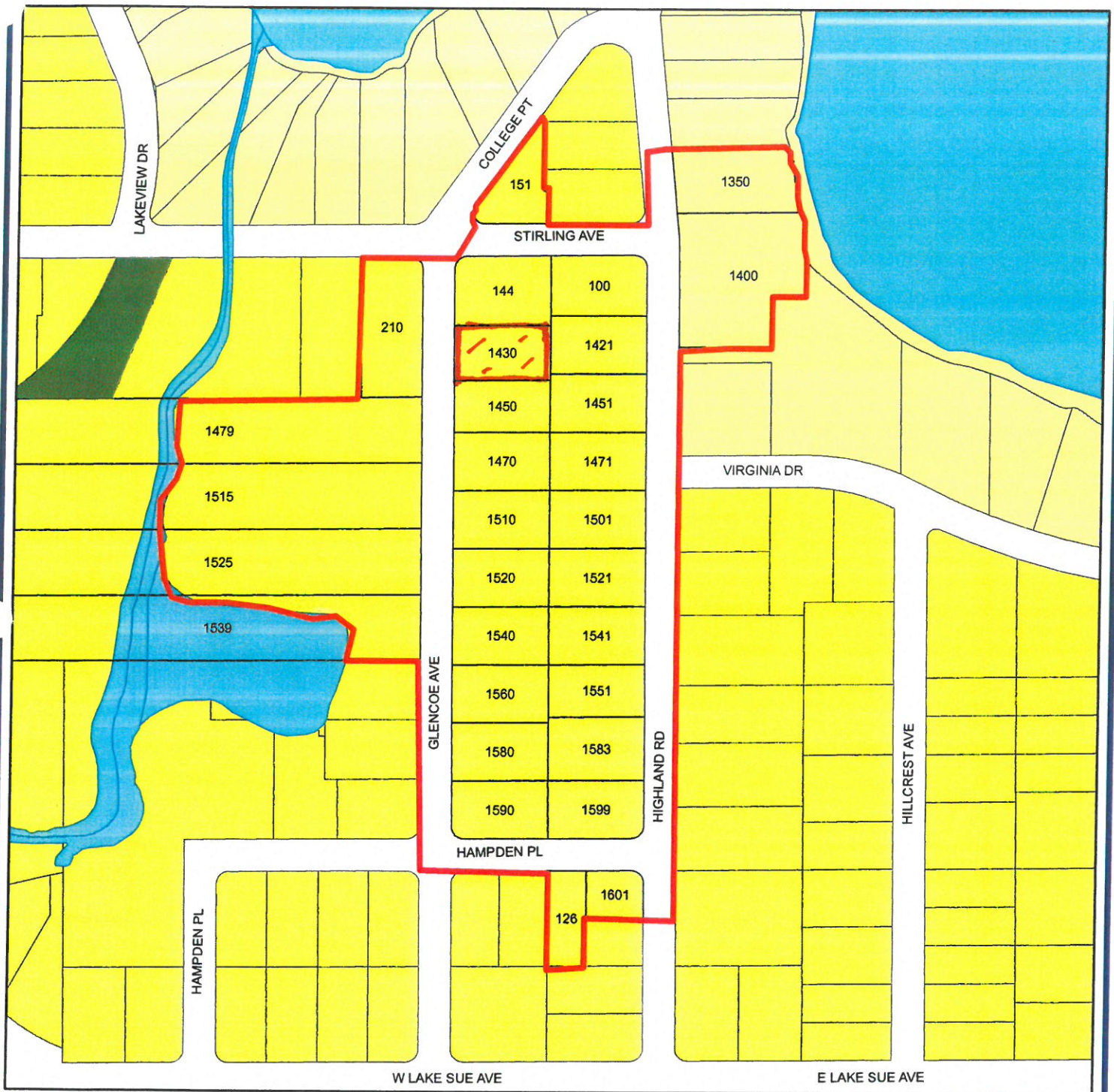
alternatives | other considerations

fiscal impact

attachments

1. Location Map
2. Existing House Pictures
3. 1430 Glencoe HPB Drawings_Dec. 2023
4. 1430 Glencoe HPB Power Point_Dec 2023

Virginia Heights East Historic District



8

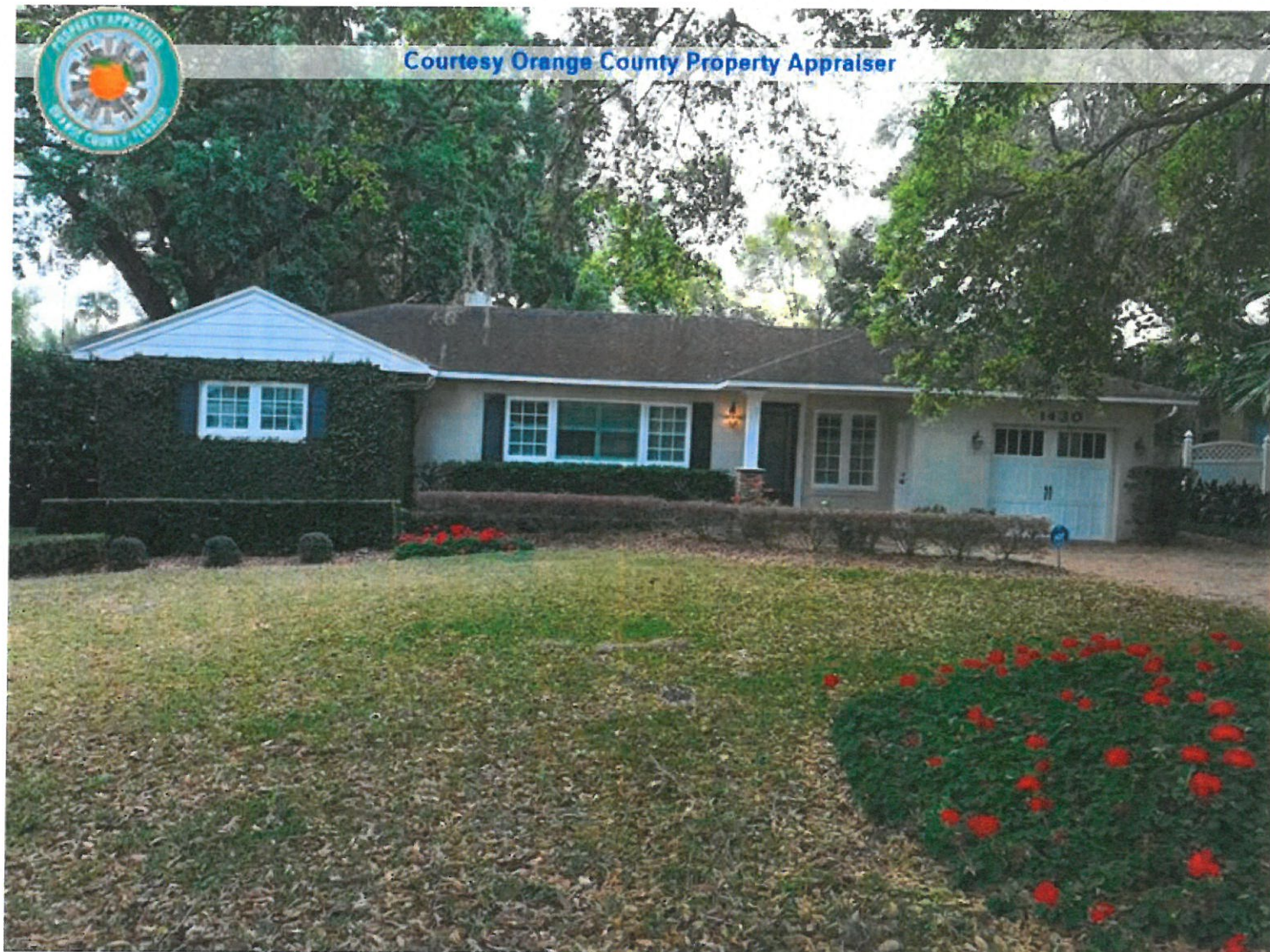
Parcel Photos - 1430 Glencoe Rd



1430 GLENCOE RD, WINTER PARK, FL 32789 12/22/2020 9:40 AM



Courtesy Orange County Property Appraiser



1430 GLENCOE RD, WINTER PARK, FL 32789 3/9/2020 8:35 AM



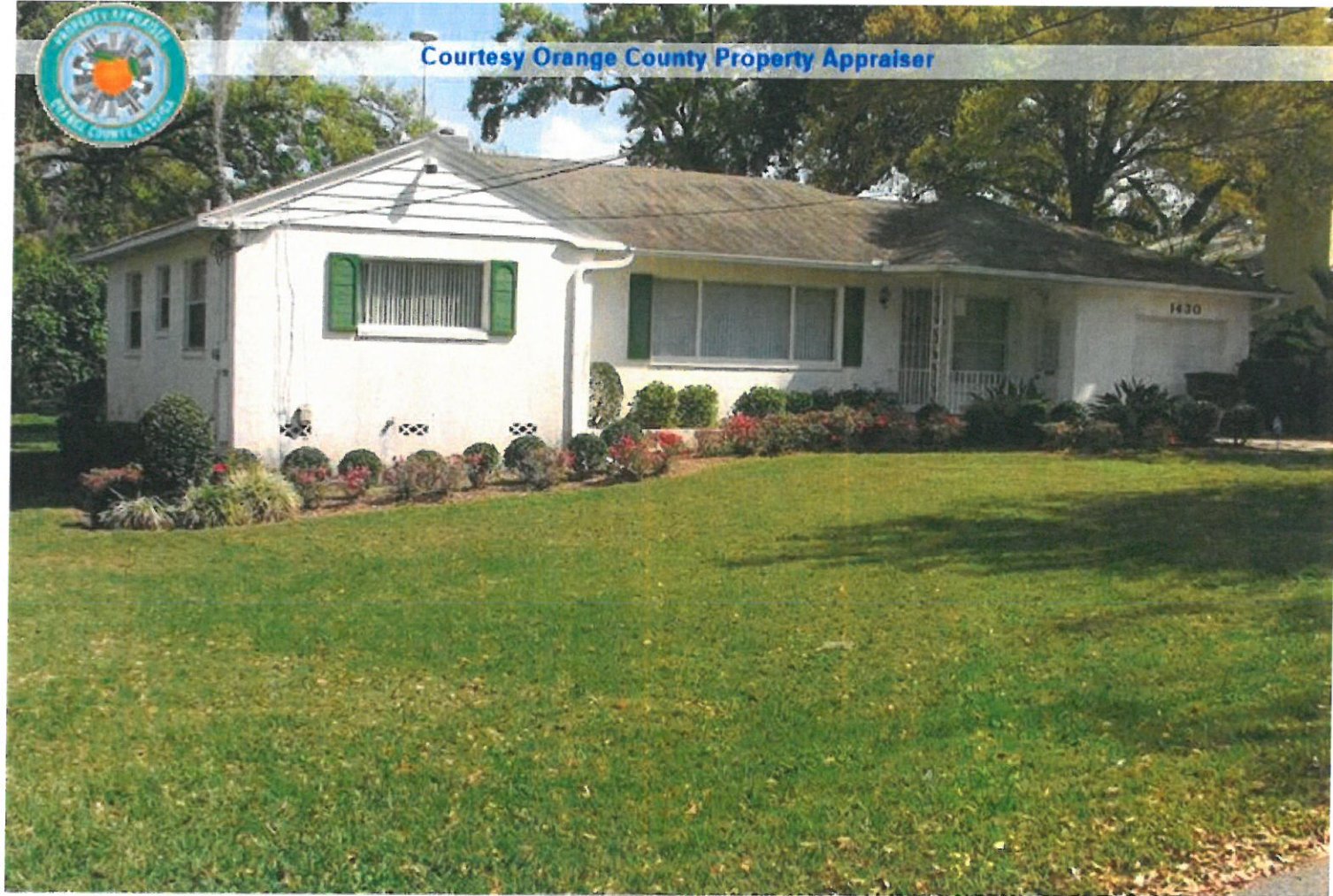
Courtesy Orange County Property Appraiser



1430 GLENCOE RD, WINTER PARK, FL 32789 11/19/2015 3:03 PM



Courtesy Orange County Property Appraiser



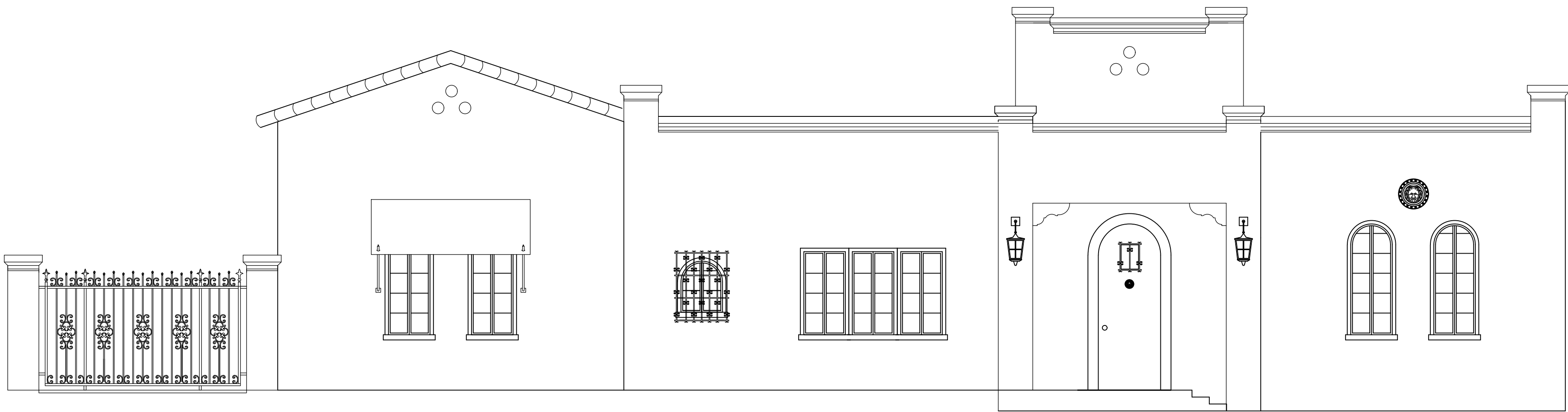
302207890814021 03/09/2006

PROPOSED REMODEL FOR THE MILLER RESIDENCE

1430 GLENCOE ROAD
WINTER PARK, FL 32751

INDEX OF DRAWINGS

CS	COVER SHEET
SP1	EXISTING SITE PLAN
SP2	PROPOSED SITE PLAN
A-1	EXISTING FLOOR PLAN
A-2	PROPOSED FLOOR PLAN
A-3	EXISTING ELEVATIONS
A-4	PROPOSED FRONT ELEVATION



PROPOSED FRONT ELEVATION



VICINITY MAP
SCALE: N.T.S.

PARCEL ID#

07-22-30-8908-14-021

LEGAL DESCRIPTION

VIRGINIA HEIGHTS G/107 THE S 76
FT OF LOT 2 & N 10 FT OF LOT 3
BLK N

MUNICIPALITY

CITY OF WINTER PARK

ZONING

R-1AA

GENERAL NOTES

1. THE CONTRACTOR IS TO VERIFY ALL EXISTING CONDITIONS IN THE FIELD PRIOR TO FABRICATION AND START OF CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE DESIGNER AND ENGINEER OF ANY DISCREPANCY BETWEEN THE EXISTING CONDITIONS AS SHOWN ON THE CONSTRUCTION DRAWINGS AND THE CONDITIONS DETERMINED IN THE FIELD. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL EXISTING BOUNDARY DRAINAGE CONDITIONS.

2. DESIGN CRITERIA:
- 2020 FLORIDA BUILDING CODE RESIDENTIAL, 7TH ED.
 - ROOF DEAD LOAD (GRAVITY LOADING) = 20 PSF.
 - ROOF DEAD LOAD (FOR NET UPLIFT) = 13 PSF.
 - ROOF LIVE LOAD = 20 PSF.
 - SECOND FLOOR LIVE LOAD = 40 PSF.
 - SECOND FLOOR DEAD LOAD = 15 PSF.

THIS STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF THE 2020 FLORIDA BUILDING CODE- RESIDENTIAL, 7TH EDITION. THE FOLLOWING WIND LOAD REQUIREMENTS, IN ACCORDANCE WITH THE 2020 FLORIDA BUILDING CODE - RESIDENTIAL, CHAPTER 3, SECTION 301 AND ASCE 7-16, WERE EMPLOYED IN THE DESIGN OF THE STRUCTURE.

- ULTIMATE DESIGN WIND SPEED (V ult): 139 MPH
- 3 SECOND GUST WIND SPEED (V asd): 108 MPH
- RISK CATEGORY: II
- WIND EXPOSURE: B
- APPLICABLE INTERNAL PRESSURE COEFFICIENT +/- 0.18
- DESIGN WIND PRESSURE FOR EXTERIOR COMPONENTS AND CLADDING:
 - ROOF: TO BE DETERMINED BY TRUSS MANUFACTURER
 - WALLS: +25.7/-34.2 PSF (ZONE 5, 10SF)

3. ROOF SYSTEM
- TYPE OF ROOF SYSTEM: SEE ELEVATIONS FOR ROOF COVERING
 - MATERIALS: OVER 3/4" CDX PLYWOOD MIN. OR EQUIV.
 - FASTENING REQUIREMENTS: PER MANUFACTURER'S SPECIFICATIONS
 - FLASHING REQUIREMENTS: MIN. 26 GAUGE GALVANIZED FLASHING

PLUMBING/DRAINAGE/ELECTRICAL

- ALL WORK SHALL BE PER 2020 FLORIDA BUILDING CODE, 7TH EDITION MINIMUM REQUIREMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR MEETING CODE REQUIREMENTS.
- ALL ELECTRICAL WORK SHALL BE PER NATIONAL ELECTRICAL CODE 2017 (NFPA70)

ISSUED FOR					
DATE					

LAMAR
DESIGN

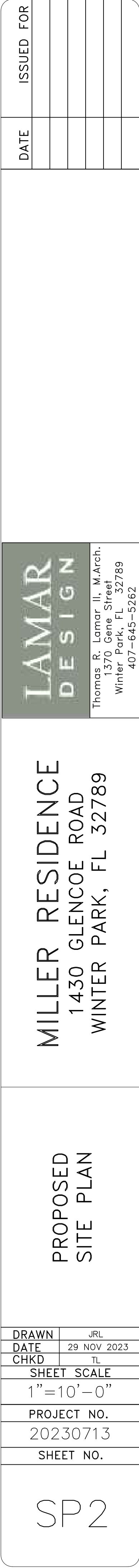
Thomas R. Lamar II, M.Arch.
1370 Gene Street
Winter Park, FL 32789
407-645-5262

MILLER RESIDENCE
1430 GLENCOE ROAD
WINTER PARK, FL 32789

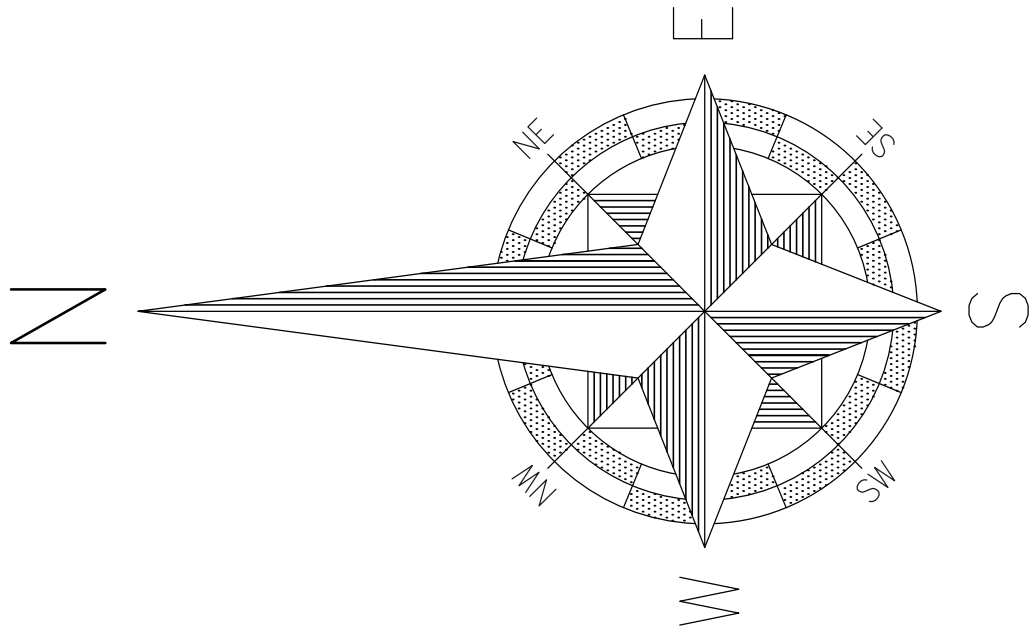
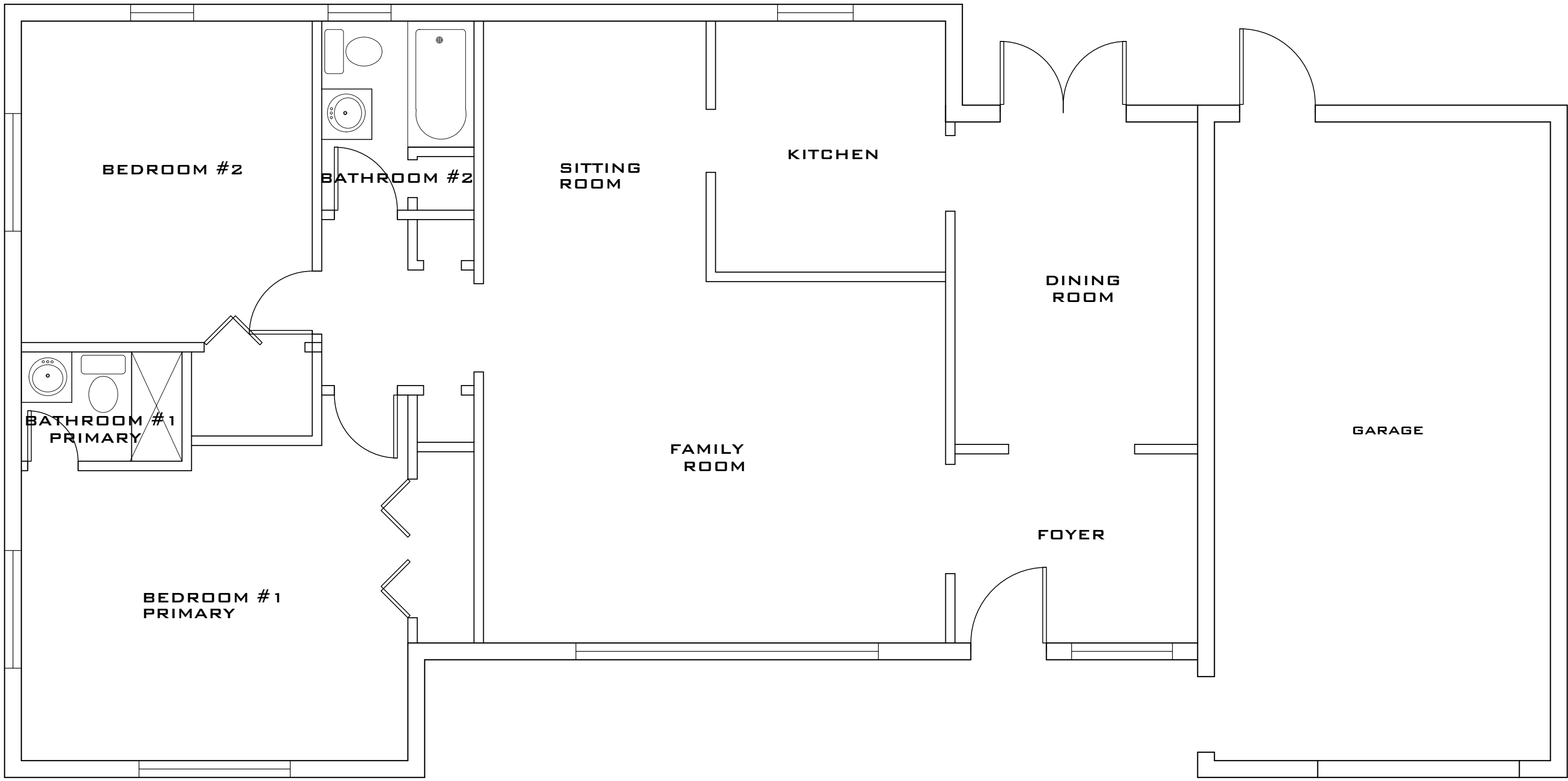
COVER SHEET

DRAWN	JRL
DATE	29 NOV 2023
CHKD	TL
SHEET SCALE	
1/4"=1'-0"	
PROJECT NO.	
20230713	
SHEET NO.	

CS



EXISTING FLOOR PLAN
1 183 SQFT UNDER AIR



LAMAR DESIGN Thomas R. Lamar II, M.Arch. 1370 Glen Cove Street Winter Park, FL 32789 407-645-5262	MILLER RESIDENCE 1430 GLENCOE ROAD WINTER PARK, FL 32789		EXISTING FLOOR PLAN	<table border="1"> <tr><td>DRAWN</td><td>JRL</td></tr> <tr><td>DATE</td><td>25 JULY 2023</td></tr> <tr><td>CHKD</td><td>TL</td></tr> <tr><td colspan="2">SHEET SCALE</td></tr> <tr><td colspan="2">1/4"=1'-0"</td></tr> <tr><td colspan="2">PROJECT NO.</td></tr> <tr><td colspan="2">20230713</td></tr> <tr><td colspan="2">SHEET NO.</td></tr> </table>	DRAWN	JRL	DATE	25 JULY 2023	CHKD	TL	SHEET SCALE		1/4"=1'-0"		PROJECT NO.		20230713		SHEET NO.		<table border="1"> <tr><td>DATE</td><td>ISSUED FOR</td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> </table>	DATE	ISSUED FOR										
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DATE	ISSUED FOR																																

A-1

This floor plan illustrates a spacious 4-bedroom residence. The layout includes a two-car garage, a large covered porch, and a central dining room. The kitchen is equipped with a 4' freezer and 4' fridge. The family room features a fireplace and access to the gym. The primary bedroom includes a king bed and a primary closet. The plan also shows a library, a gym, and four full bathrooms, including a half-bath. A compass rose indicates the orientation of the house.

Room Dimensions and Features:

- Garage:** 9'-0" x 9'-0"
- Covered Porch:** 35'-0" x 14'-4"
- Dining Room:** 15'-11 1/2" x 18'-7 3/4"
- Family Room:** 15'-4" x 12'-6"
- Kitchen:** 8'-1" x 12'-6"
- Library:** 8'-0" x 10'-8 1/2"
- Bedroom #1 Primary:** 15'-11 1/2" x 18'-7 3/4"
- Bedroom #2:** 15'-4" x 12'-9"
- Bedroom #3:** 11'-6" x 30'-8"
- Bedroom #4:** 12'-6" x 12'-6"
- Bathroom #1 Primary:** 8'-0" x 7'-4"
- Bathroom #2:** 10'-8 1/2" x 8'-0"
- Bathroom #3:** 8'-0" x 10'-8 1/2"
- Half-Bath:** 8'-0" x 10'-8 1/2"
- Gym:** 13'-4" x 10'-3 1/2"
- Primary Closet:** 14'-8" x 2'-0"
- Foyer:** 13'-4" x 10'-3 1/2"
- Pantry:** 5'-10 1/2" x 8'-0"
- Laundry:** 7'-4" x 8'-0"
- Package/Drop Room:** 2'-0" x 6'-0"
- Trash Cans:** 6" High Wall
- TV:** 15'-11 1/2" x 18'-7 3/4"
- Vanity:** 8'-0" x 7'-4"
- Bench:** 8'-0" x 7'-4"
- Island:** 14'-8" x 2'-0"
- Tall Cabinet:** 8'-1" x 12'-6"
- Mirror:** 13'-4" x 10'-3 1/2"
- Hidden Storage:** 13'-4" x 10'-3 1/2"

Overall Dimensions:

- Width:** 35'-0"
- Depth:** 28'-0"

Compass Rose: N, NE, E, SE, S, SW, W, NW

DATE	ISSUED FOR

**LAMAR
DESIGN**

Thomas R. Lamar II, M.Arch.
1370 Gene Street
Winter Park, FL 32789
407-645-5262

MILLER RESIDENCE
1430 GLENCOE ROAD
WINTER PARK, FL 32789

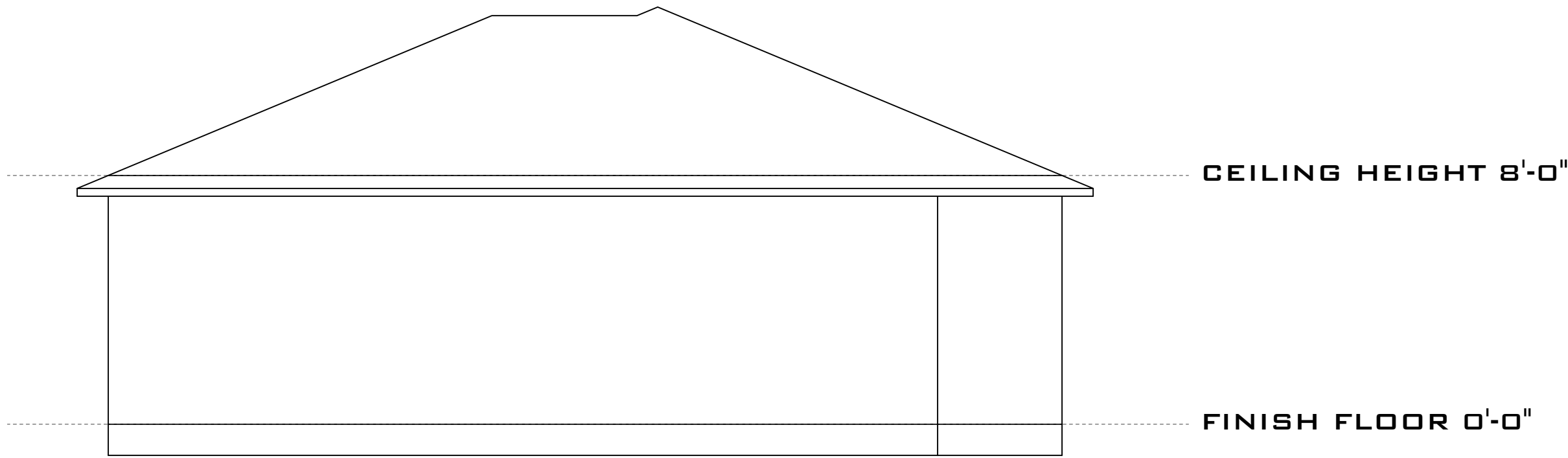
PROPOSED
FLOOR PLAN

DRAWN	JRL
DATE	29 NOV 2023
CHKD	TL
SHEET SCALE	
1/4" = 1' - 0"	
PROJECT NO.	
20230713	
SHEET NO.	

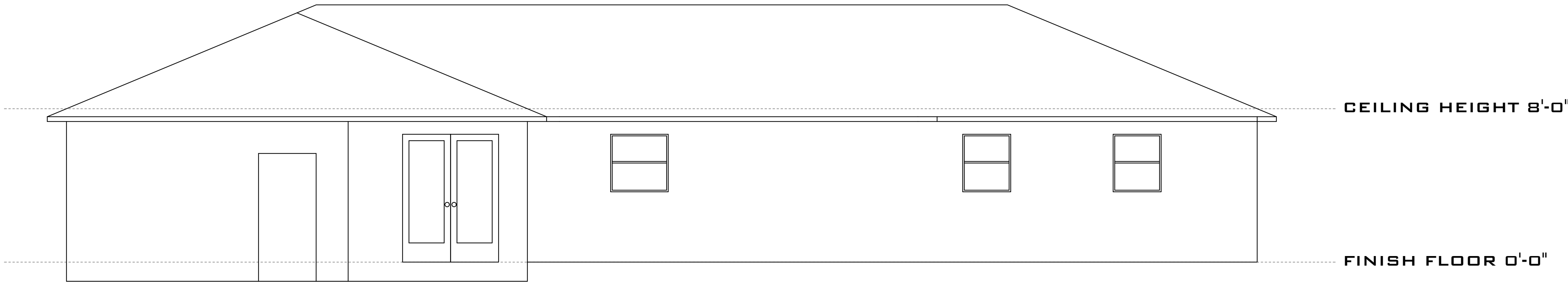
A-2



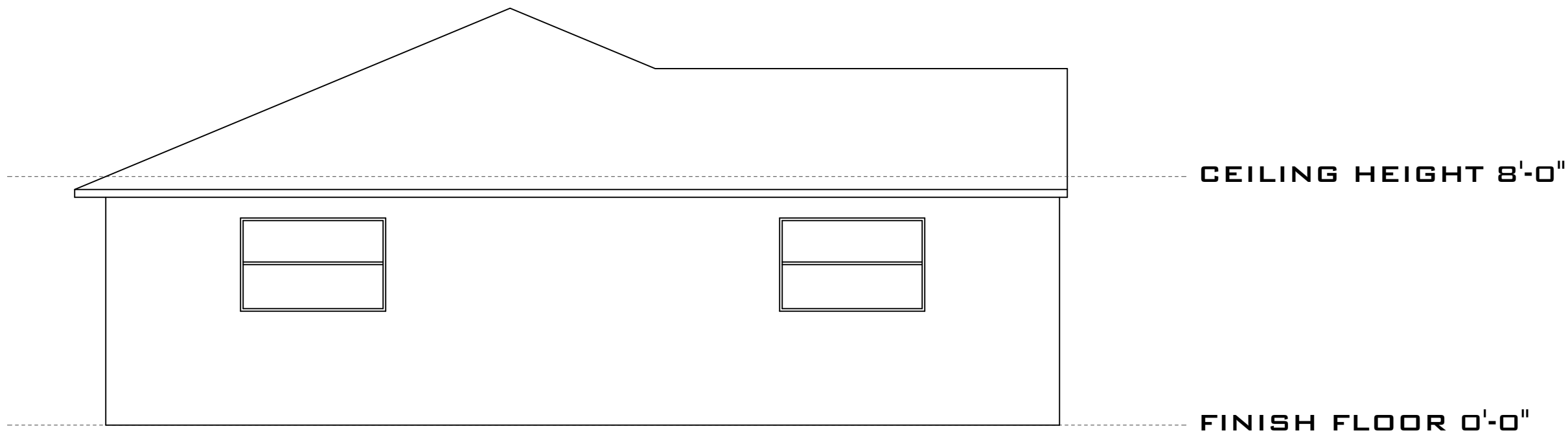
EXISTING WEST (FRONT) ELEVATION



EXISTING SOUTH (GARAGE SIDE) ELEVATION



EXISTING EAST (REAR) ELEVATION



EXISTING NORTH (SIDE) ELEVATION

ISSUED FOR							
DATE							

LAMAR
DESIGN

Thomas R. Lamar II, M.Arch.
1370 Gene Street
Winter Park, FL 32789
407-645-5262

MILLER RESIDENCE
1430 GLENCOE ROAD
WINTER PARK, FL 32789

EXISTING
ELEVATIONS

DRAWN	JRL
DATE	29 NOV 2023
CHKD	TL
SHEET SCALE	
1/4"=1'-0"	
PROJECT NO.	20230713
SHEET NO.	

A-3



MILLER RESIDENCE
1430 GLENCOE ROAD
WINTER PARK, FL 32789

PROPOSED
FRONT
ELEVATION

DRAWN	JRL
DATE	29 NOV 2023
CHKD	TL
SHEET SCALE	
1/4"=1'-0"	
PROJECT NO.	
20230713	
SHEET NO.	

A-4

DATE	ISSUED FOR

**LAMAR
DESIGN**

Thomas R. Lamar II, M.Arch.
1370 Gene Street
Winter Park, FL 32789
407-645-5262



1430 Glencoe Road
WINTER PARK, FL 32789



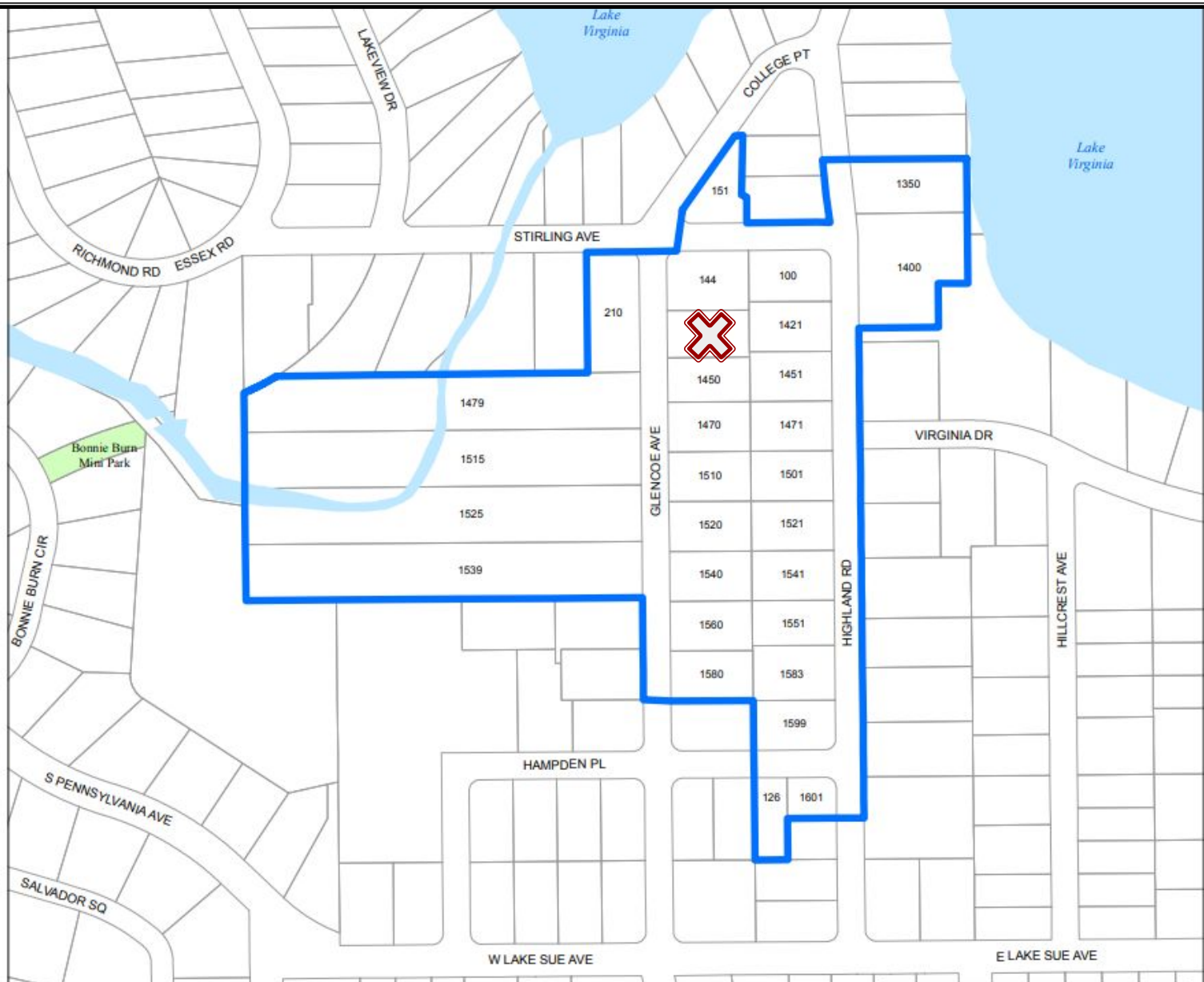
EAST VIRGINIA HEIGHTS HISTORIC DISTRICT

City of Winter Park
Florida

Legend

-  Historic Districts
-  Parcels
-  Parks
-  Water
-  Railroads

VICINITY MAP



1430 Glencoe Road
WINTER PARK, FL 32789

ZONING INFORMATION

1430 Glencoe Road

WINTER PARK, FL 32789

LEGAL DESCRIPTION: VIRGINIA HEIGHTS G/107 THE S 76 FT OF LOT 2 & N 10 FT OF LOT 3 BLK N

ZONING: R-1AA

LOT DIMENSIONS PER OCPA: 85' wide by 150' deep (per OCPA)

LOT AREA PER OCPA: 12,883 sqft (+/-) or 0.30 acres (+/-)

PLAT DATE: 01/20/1922

EXISTING HOUSE SQUARE FOOTAGE: (per OCPA)

GROSS AREA: 2058 sqft

LIVING AREA: 1267 sqft

SETBACKS: Per Section 58-65(f) the following building setbacks would be imposed on the property:

FRONT: 40'. A survey of the property shows the existing front setback to be 39.8' from the front property line (not the street). 20% of 150' would be 30', however the code says "whichever is greater", so the existing front setback of 39.8 (40') would be the required front setback.

SIDE 1ST FLOOR: 13'. $(85 \times .30 = 25.5/2 = 12.75)$, per SECTION 58-65.(f)(5)d, setbacks are to be rounded to the nearest whole number.

SIDE 2ND FLOOR: 17' $(85 \times .40 = 34/2 = 17)$

REAR 1ST FLOOR: 25'

REAR 2ND FLOOR: 35'

FLOOR AREA RATIO (FAR): 5,000 sqft as the 35% calculation is less and SECTION 58-65.(f) allows for whichever number is greater to be used $(12,883 \times .35 = 4,509 \text{ sqft})$ (See also SECTION 58-65.(f)(1)c.d.e.)

MAX. BUILDING HEIGHT: 35'

IMPERVIOUS SURFACE RATIO (ISR): 6,441.5 sqft $(12,883 \times .50 = 6,441.5)$ (See also SECTION 58-65.(f)(2)b.c.)

1430 Glencoe Road

WINTER PARK, FL 32789



1430 Glencoe Road
WINTER PARK, FL 32789



1430 Glencoe Road
WINTER PARK, FL 32789

PROPOSAL

We are not requesting to demolish the existing house. The proposed plan calls for keeping the footprint of the existing house along with its exterior walls, adding an addition in the rear and changing the front elevation. Our plan meets code requirements for the front and rear setbacks, is less than the maximum height allowed, less than the maximum FAR allowed and less than the maximum impervious allowed. Since we are working with the existing house, we are utilizing the side setback exemption to continue the non-conforming south side setback for 16'8", less than the maximum of 24'. The north side of the home meets the side setback requirement.

Our goal is to update the home for contemporary use on the inside, while enhancing the historical character of the East Virginia Heights Historic District with a change to the front elevation on the exterior. Since the origin of the American Ranch is the Spanish Colonial, we believe our design contributes to the historic character of the district. The elements we are adding, such as arch top windows, wood corbels at the covered front entry, iron work window details, barrel tile roof, clay scuppers and a parapet wall will enhance the charm of the neighborhood.

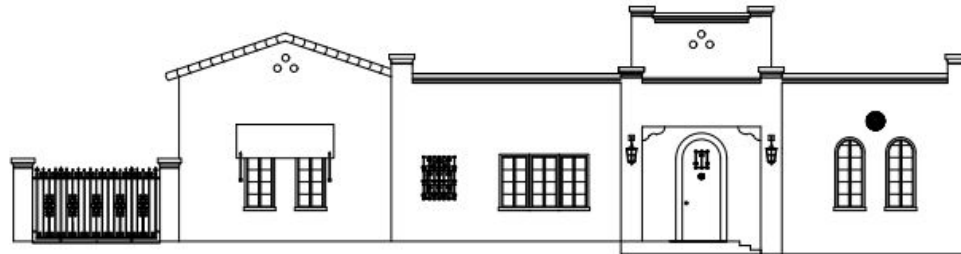
We appreciate the opportunity to collaborate with the Historic Preservation Board on our ideas for adapting this home for contemporary living. We believe our proposed exterior front elevation change is appropriate to the property, and a compatible design which is harmonious with the exterior architectural and landscape features of neighboring buildings, sites, and streetscapes.

PROPOSED REMODEL FOR THE MILLER RESIDENCE

1430 GLENCOE ROAD
WINTER PARK, FL 32751

INDEX OF DRAWINGS

CS COVER SHEET
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SP2 PROPOSED SITE PLAN
A-1 EXISTING FLOOR PLAN
A-2 PROPOSED FLOOR PLAN
A-3 EXISTING ELEVATIONS
A-4 PROPOSED FRONT ELEVATION



PROPOSED FRONT ELEVATION



VICINITY MAP
SCALE: N.T.S.

PARCEL ID#

07-23-30-8959-14-001

LEGAL DESCRIPTION

VIRGINIA HEIGHTS 6/107 THE S 24
FT OF LOT 2 & N 10 FT OF LOT 3
BLK N

MUNICIPALITY

CITY OF WINTER PARK

ZONING

R-1A

GENERAL NOTES

1. THE CONTRACTOR IS TO VERIFY ALL EXISTING CONDITIONS IN THE FIELD PRIOR TO FABRICATION AND START OF CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE DESIGNER AND ENGINEER OF ANY DISCREPANCY BETWEEN THE EXISTING CONDITIONS AS SHOWN ON THE CONSTRUCTION DRAWINGS AND THE CONDITIONS DETERMINED IN THE FIELD. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL EXISTING SURROUNDING DRAINAGE CONDITIONS.

2. DESIGN CRITERIA:
- 2020 FLORIDA BUILDING CODE RESIDENTIAL, 7TH ED.
- ROOF DEAD LOAD (GRAVITY LOADING) = 20 PSF.
- ROOF DEAD LOAD (FOR NET UP/LIFT) = 13 PSF.
- ROOF LIVE LOAD = 20 PSF.
- SECOND FLOOR LIVE LOAD = 40 PSF.
- SECOND FLOOR DEAD LOAD = 15 PSF.

THIS STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF THE 2020 FLORIDA BUILDING CODE - RESIDENTIAL, 7TH EDITION. THE FOLLOWING WIND LOAD REQUIREMENTS, IN ACCORDANCE WITH THE 2020 FLORIDA BUILDING CODE - RESIDENTIAL, CHAPTER 3, SECTION 301 AND ASCE 7-16, WERE EMPLOYED IN THE DESIGN OF THE STRUCTURE.

- ULTIMATE DESIGN WIND SPEED (V_W) = 130 MPH
- 3 SECOND GUST WIND SPEED (V_G) = 108 MPH
- RISK CATEGORY: II
- WIND EXPOSURE: B
- APPLICABLE INTERNAL PRESSURE COEFFICIENT ±/∓: 0.18
- DESIGN WIND PRESSURE FOR EXTERIOR COMPONENTS AND GLAZING:
ROOF: TO BE DETERMINED BY TRUSS MANUFACTURER
WALLS: ±0.21/-0.42 PSF (ZONE 6, 100%)

3. ROOF SYSTEM:
- TYPE OF ROOF SYSTEM: SEE ELEVATIONS FOR ROOF COVERING
- MATERIALS: OVER 1/2" GIB PLASTER MIN. OR EQUIV.
- FASTENING REQUIREMENTS: PER MANUFACTURER'S SPECIFICATIONS
- FLASHING REQUIREMENTS: MIN. 36 GAUGE GALVANIZED FLASHING

PLUMBING/DRAINAGE/ELECTRICAL

- ALL WORK SHALL BE PER 2020 FLORIDA BUILDING CODE, 7TH EDITION MINIMUM REQUIREMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR MEETING CODE REQUIREMENTS.
- ALL ELECTRICAL WORK SHALL BE PER NATIONAL ELECTRICAL CODE 2017 (NFPA70E)

DATE	ISSUED FOR

LAMAR
DESIGN
Lamar S. Lamar, AIA, LEED AP
1111 N. Palm Ave., #100
Winter Park, FL 32789
407-442-1070

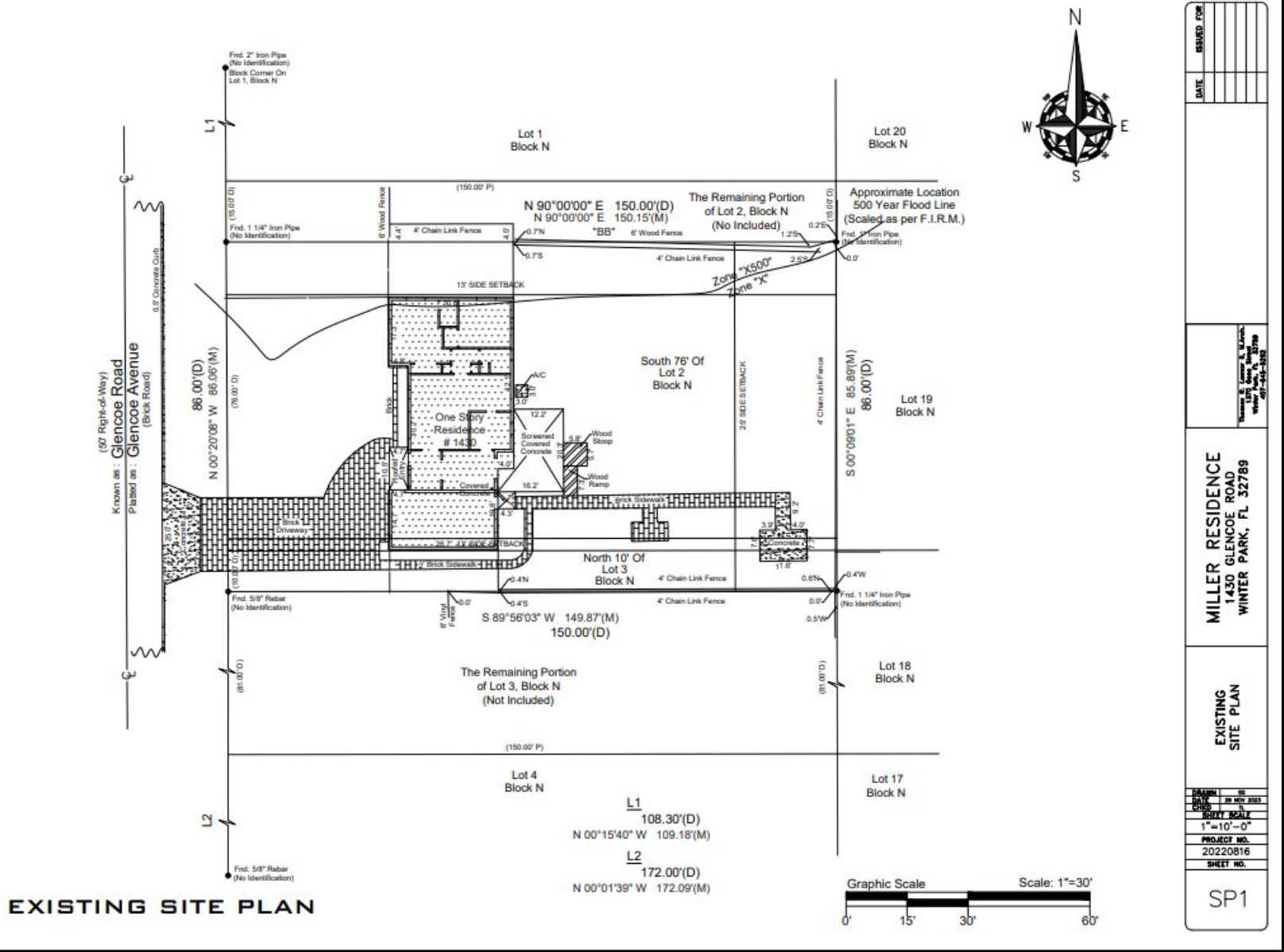
MILLER RESIDENCE
1430 GLENCOE ROAD
WINTER PARK, FL 32789

COVER SHEET

DATE	28 NOV 2023
BY	
SHEET SCALE	1/4"=1'-0"
PROJECT NO.	20230713
SHEET NO.	

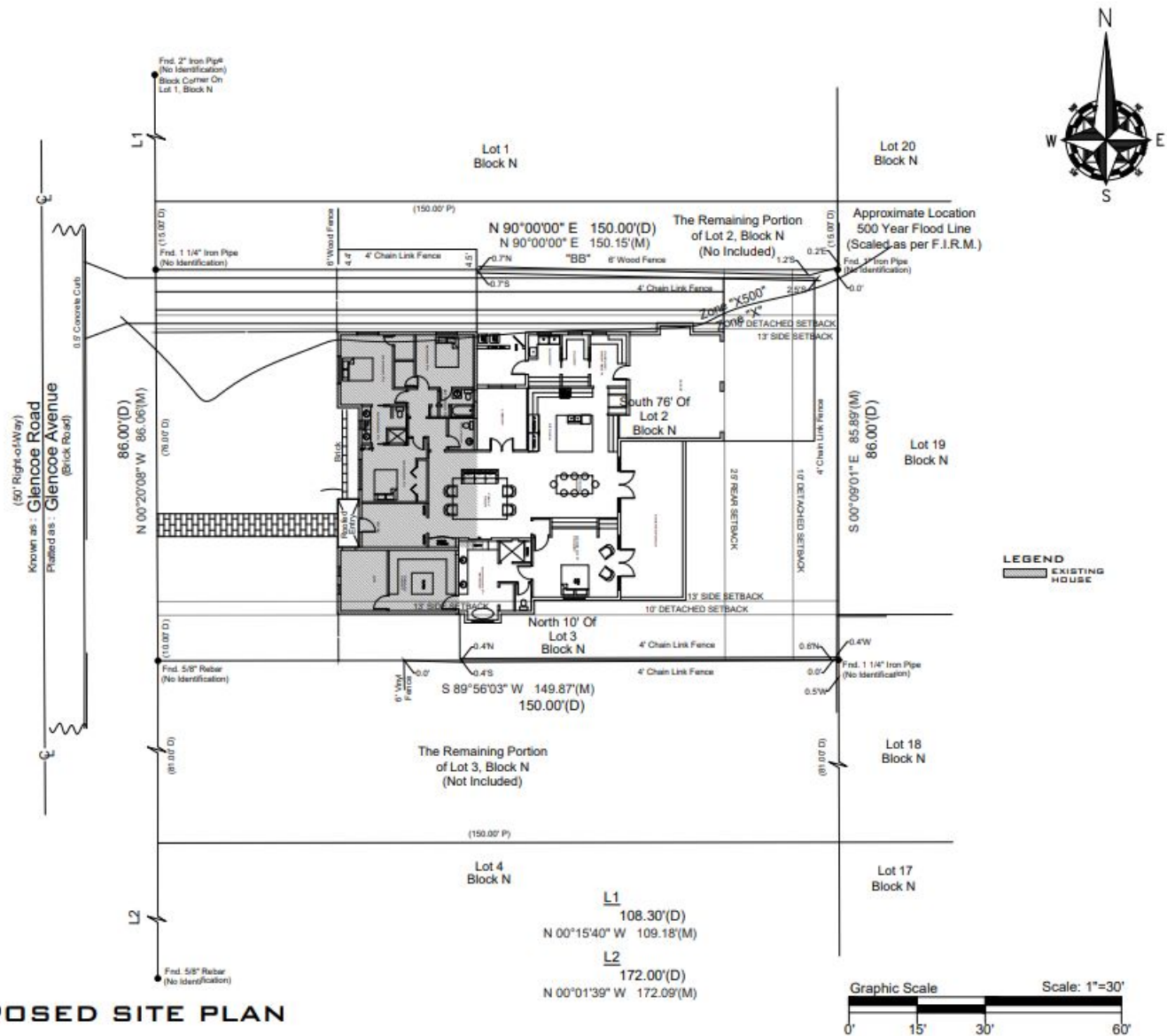
CS

1430 Glencoe Road
WINTER PARK, FL 32789

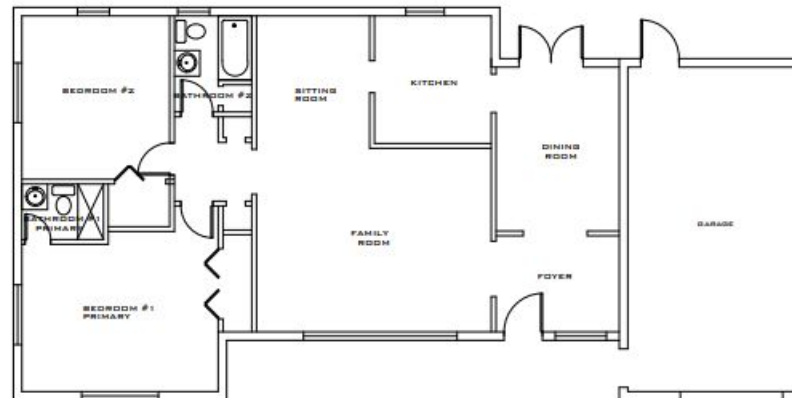
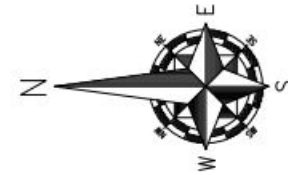


1430 Glencoe Road
WINTER PARK, FL 32789

PROPOSED SITE PLAN



1430 Glencoe Road
WINTER PARK, FL 32789



**EXISTING FLOOR PLAN
1 183 SQFT UNDER AIR**

DATE	ISSUED FOR

**LAMAR
DESIGN**
Lamar Design & Construction, LLC
1430 Glencoe Road, Winter Park, FL 32789
407-944-1430

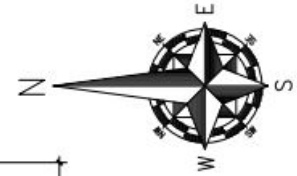
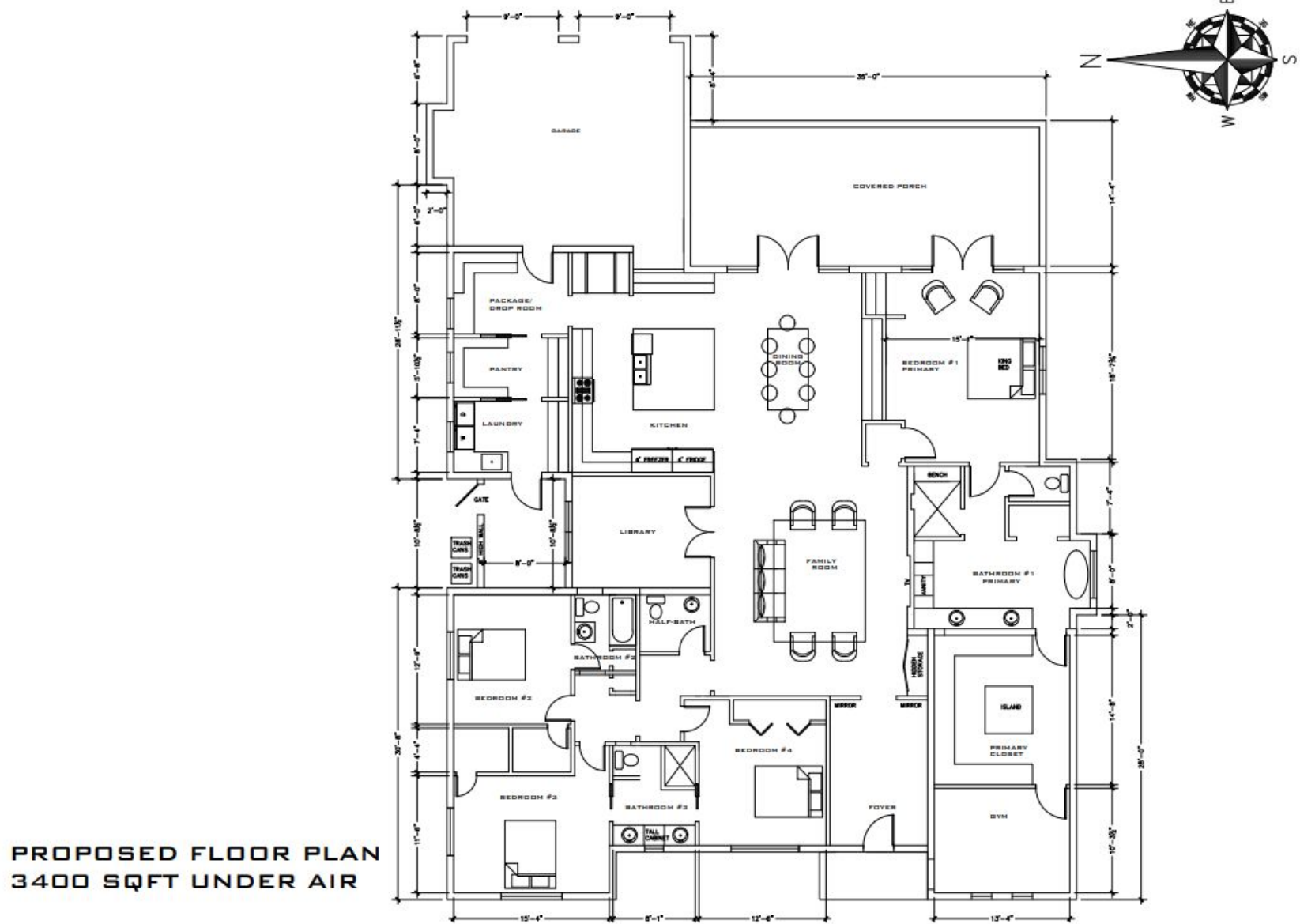
MILLER RESIDENCE
1430 GLENCOE ROAD
WINTER PARK, FL 32789

**EXISTING
FLOOR PLAN**

DRAWN	BY
DATE	26 MAY 2002
CHECKED	
SHEET SCALE	1/4"=1'-0"
PROJECT NO.	20230713
SHEET NO.	

A-1

**1430 Glencoe Road
WINTER PARK, FL 32789**



DATE	ISSUED FOR

**LAMAR
DESIGN**
Sharon R. Lamar & Mark
11570 Dana Street
Wilder Park, N. 31700
407-643-3262

MILLER RESIDENCE
1430 GLENCOE ROAD
WINTER PARK, FL 32789

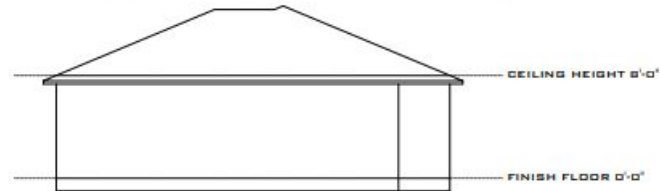
PROPOSED
FLOOR PLAN

DATE	28 NOV 2023
TIME	15
SHEET SCALE	
1/4" = 1'-0"	
PROJECT NO.	
20230713	
SHEET NO.	

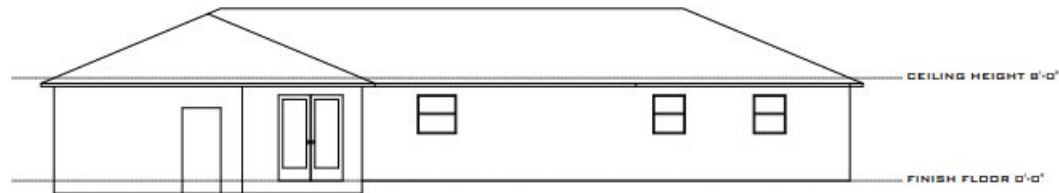
A-2



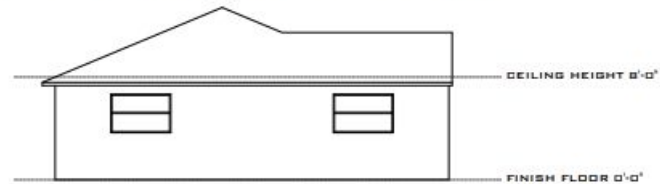
EXISTING WEST (FRONT) ELEVATION



EXISTING SOUTH (GARAGE SIDE) ELEVATION



EXISTING EAST (REAR) ELEVATION



EXISTING NORTH (SIDE) ELEVATION

DATE	REVISION FOR

LAMAR
DESIGN
Lamar B. Lamar, AIA, LEED AP
Winter Park, FL 32789
407-938-1382

MILLER RESIDENCE
1430 GLENCOE ROAD
WINTER PARK, FL 32789

**EXISTING
ELEVATIONS**

DATE	28 MAY 2011
CHNO	3
SHEET SCALE	1/4"=1'-0"
PROJECT NO.	20230713
SHEET NO.	

A-3

1430 Glencoe Road
WINTER PARK, FL 32789

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